



City of Rohnert Park Planning Commission Report

DATE: July 27, 2017

ITEM NO: 8.4

AGENDA TITLE: PLSR17-0005 Site Plan and Architectural Review for the Westside Public Safety Facility

ENTITLEMENTS: Site Plan and Architectural Review

LOCATION: 5870 Labath Avenue, APN 143-040-124

GP / ZONING: Public Institutional / Stadium Area Master Plan Planned Development

APPLICANT City of Rohnert Park

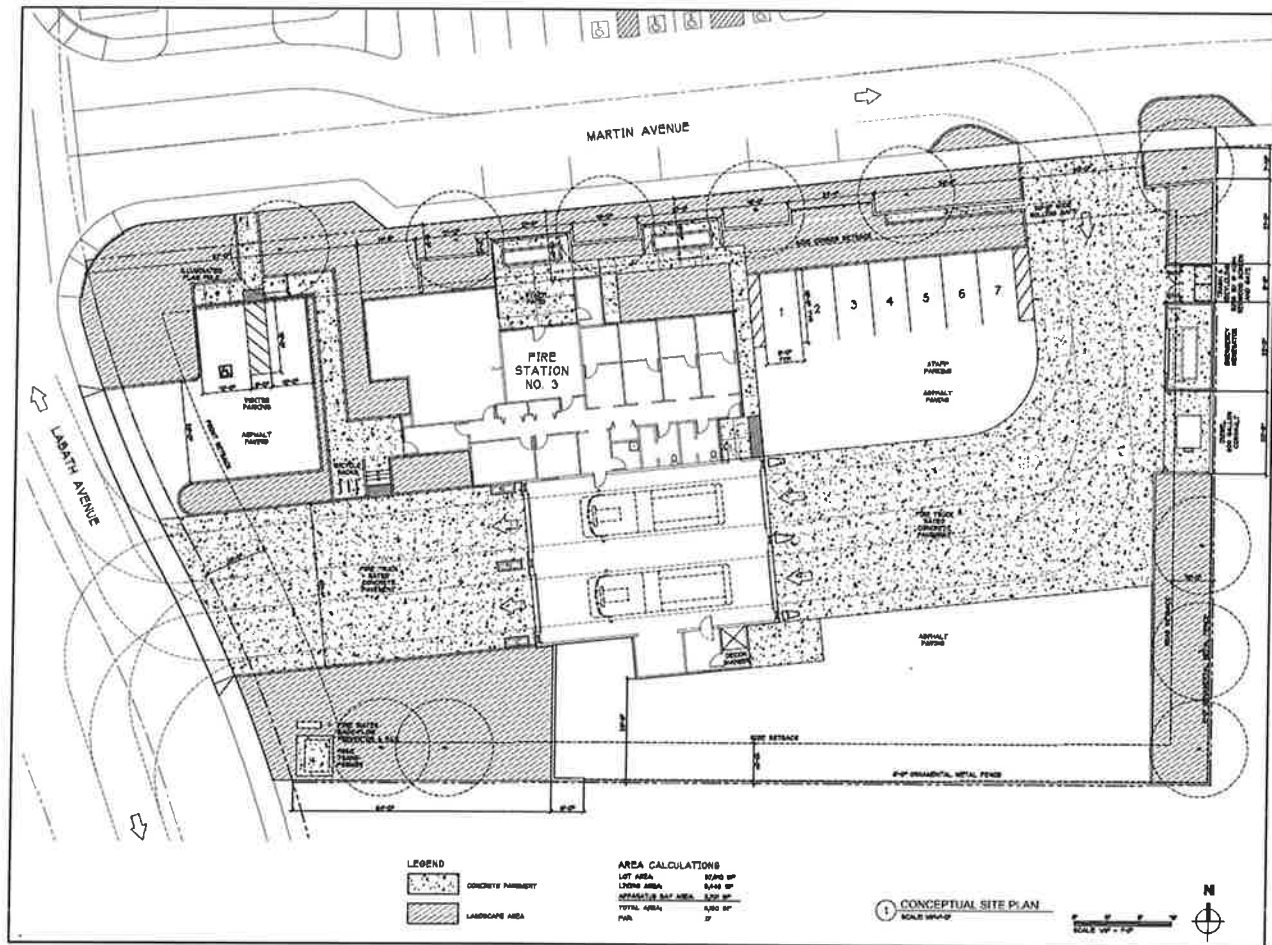
RECOMMENDATION

Staff is recommending approval of the Site Plan and Architectural Review of the Westside Public Safety Station. The new fire station will house three full time public safety officers per shift in three shifts daily with room for growth, and will provide additional coverage and service to the surrounding area on the west side of Rohnert Park as contemplated in the General Plan.

SUMMARY

This is a new public safety station for the City of Rohnert Park. It will primarily provide needed service to the growing west side of the city. Located at the southeast corner of Labath Avenue and Martin Avenue, it is designed to specifically accommodate new public safety equipment, including a new aerial apparatus, purchased to augment firefighting capabilities for the new multi-story hotels and Casino. In addition to facilitating equipment, the building will provide offices, training space, and accommodations for public safety officers. The project is designed to complement the other new projects planned for the Stadium Area Mast Plan (SAMP) Planned Development and surrounding areas.

Figure 1 – Project Site Plan



BACKGROUND

Surrounding Land Uses

The proposed fire station is surrounded by a diversity of existing and proposed land uses as described in Table 1 below. To the north of the Subject Site (north of Martin Avenue) is the Five Creek development. Five Creek includes the recently approved Cambria Hotel, the Park Vista Apartment Homes, a new 0.65 acre neighborhood park, and a future retail center. East of the subject site is a planned Fairfield Inn and Suites. Beyond, is Costco and the Ashley Furniture Homestore. To the south of the proposed project is Hinebaugh Creek, with the commercial areas along western Rohnert Park Expressway beyond. To the west of the project across Labath Avenue is a large business park with a mix of light industrial, warehousing, and office uses. The site design and building design are intended to create a cohesive project that fits into the neighborhood context.

Table 1 – Surrounding Land Uses

	Existing Land Use	Proposed	GP Designation
Subject Site	Vacant	Fire Station	Public/Institutional
North	Vacant	Cambria Hotel, Commercial, Park Vista Apartment Homes	Regional Commercial, High Density Residential
East	Vacant	Vacant (remainder of City property), Fairfield Inn & Suites	Public/Institutional, Regional Commercial
South	Hinebaugh Creek	n/a	Open Space
West	Business Parks	n/a	Industrial

Project Details

The station is located on a 0.85 acre portion of a city-owned parcel at the southeast corner of Labath Avenue and Martin Avenue. The primary façade of the fire station is proposed to face Labath Avenue, with responding fire apparatus trucks entering the street from the Labath Avenue frontage. Returning trucks will enter the station from an access on the to-be-built Martin Avenue extension. Public access to the fire station will be from Labath Avenue. The Martin Avenue frontage will be screened from the hotel by a decorative wall and fence arrangement with ample landscaping that will buffer sound and create a harmonious visual experience for adjacent users.

Parking

Two separate parking areas will be provided for the station. The requirement for parking for public facilities is one per employee plus one additional space for every 250 square feet of office space. This translates to four required parking spaces for this project. Public parking including an ADA space will be located at the Labath Avenue frontage of the building. A total of two public parking spaces will be provided. Additional off-street parking would be available on Labath and Martin Avenues. Public safety officers will have access to seven additional striped parking spaces within the gated area at the rear of the facility. Additional paved area will be provided to accommodate excess equipment and to provide outdoor space to wash and otherwise maintain public safety vehicles. The provided parking exceeds what is required by code by five spaces. Bicycle parking is located in front of the station and the station is easily reached through public transit available on Labath Avenue.

Site Plan Details and Amenities

Behind the fence/wall on the north side of the station is a patio area that is accessible from the multi-purpose and exercise rooms. This outdoor space will provide a shaded and private space for public safety employees to relax during shifts. In front of the station, adjacent to the public parking area, will be an illuminated flag pole.

Floor Plan

The building includes 6,150 square feet of finished space, 2,701 square feet of which are to be used for the apparatus bay. On the west side of the building is a public foyer within the architecturally distinctive red tower element. Beyond the foyer are offices, living accommodations for public safety officers, exercise room, storage space, and a large multi-purpose space with entertaining, training, kitchen, and dining ability. Attached to the apparatus bay is a changing room with decontamination facilities.

Building Elevations

The building exterior will consist of stucco walls, metal panels, stone, and brick. Colors will be in the beige and brown and gray tones. The building walls facing the two street frontages are well articulated to provide an attractive and interesting façade. The garage doors will have windows for natural lighting, security, and architectural enhancement. The Martin Avenue façade will be screened by a fence and wall combination with ample landscaping. Windows on the front façade will feature black metal louvers that match all the trim for the building. The Labath Avenue frontage is punctuated by a red tower that call attention to the station's public entrance. The louvers provide additional visual interest and are practical in terms of sun shading.

Figure 2 – Labath Avenue Elevation



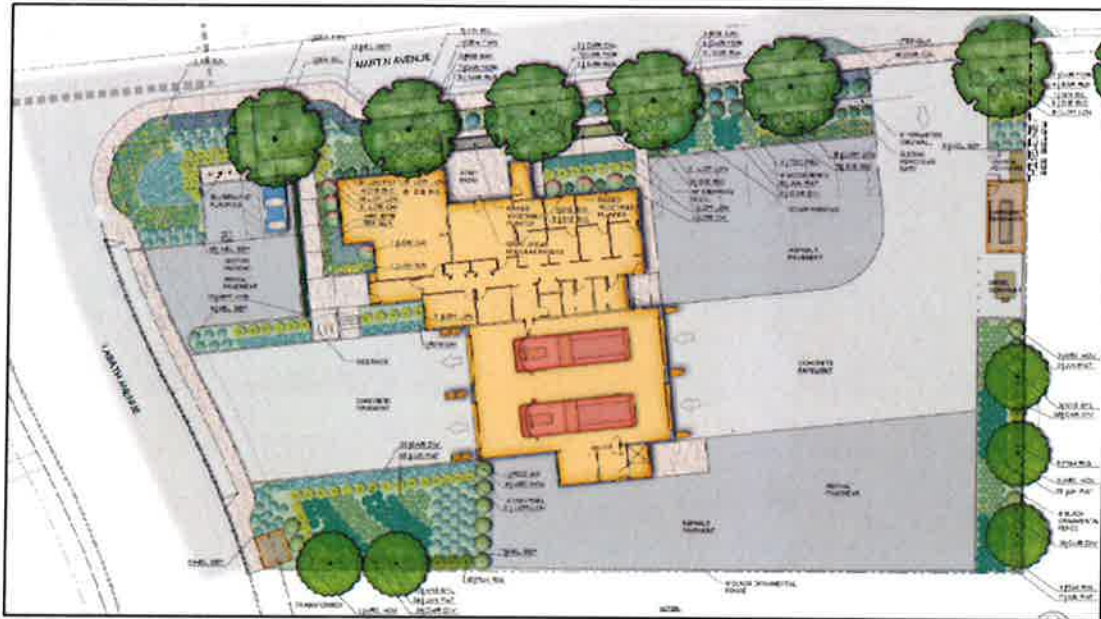
Signage and Lighting

The only signage proposed for the project is façade mounted lettering on the Labath Avenue frontage of the building. As proposed, the sign will read “Rohnert Park Fire Station 3”. Decorative pole lights will be placed throughout the parking areas and around the station. The lights will be LED for energy efficiency.

Landscaping

A preliminary landscape concept plan has been submitted. The proposed landscaping consists of a variety of trees, shrubs and ground cover. Trees will complement the trees planned for the rest of Martin Avenue. The landscape plan will include native Oak trees. The line of trees along Martin is planned to extend past the fire station site to include the remainder of the city-owned Martin Avenue frontage. The plant palate includes 75 percent native California or draught tolerant plant materials appropriate to this climate zone. Irrigation of the landscaping will be with recycled water that is available in Dowdell Avenue. Bioswales would be constructed at key locations for storm water drainage. The landscaping has been designed to be very low maintenance in order conserve staff time and city funds.

Figure 3 – Landscaping Plan



General Plan and Zoning Designation

The General Plan was amended to designate the subject area for Public/Institutional uses. The Stadium Area Master Plan implements the General Plan designation for this area.

Figure 4 – Stadium Area Master Plan, General Plan Designations



Project History

The SPAR for the Westside Fire Station is the most recent land use entitlement requested for this parcel. This SPAR approval builds on past approvals by the Planning Commission and City Council, including:

- Stadium Area Master Plan (adopted February 2008 and amended in 2013). 32.8 acre area covered by the Stadium Area Master Plan (SAMP).
- As part of the Residences at Five Creek Entitlement Approvals adopted by City Council on January 10, 2017):
 - Mitigation Negative Declaration (MND). An environmental impact report (EIR) was prepared for the original Stadium Area Master Plan. An Initial Study and subsequent Mitigated Negative Declaration were prepared to address the impacts of both the Five Creek project and the City facility project.
 - General Plan Amendments (GPA). The GPA allowed for high density residential and public parks in their proposed locations, and designated the area of the fire station as Public/Institutional.
 - Amendments to Stadium Area Master Plan (SAMP) and adoption of Final Development Plan (FDP) for Five Creek.
 - Development Agreement (DA). A development agreement was negotiated for the Five Creek development that included provisions that are mutually beneficial to the city and the developer. Key provisions were related to the timing of hotel construction, payment of additional fees due to the impact of the apartments on public services, purchase of carbon offset credits (a required mitigation measure), and dedication of the park.
 - Tentative Map (TM). The applicant has proposed splitting the property into five (5) parcels for each project components. The project's design proposes to extend Martin Avenue as a private street with public access easements in favor of the hotel, the shopping center and the city parcel where the fire station is proposed. The Martin Avenue extension to the north of the station will not be dedicated as a public street.

NOTIFICATION

The review of a SPAR application does not require a public hearing, so newspaper publication and mailing of the notice to surrounding property owners was not provided. The Agenda was posted as required and the meeting materials have been posted to the web site and have been made available to the public.

ANALYSIS

General Plan

The General Plan was amended (GPA) in November of 2013 to designate the subject site as Public/Institutional. Prior to that date this property was designated High Density Residential. The 2013 GPA "swapped" the location of the Public/Institutional land use designation with a High

Density Land Use designation elsewhere in the SAMP. This project implements the following General Plan Goals and Policies, as follows:

- LU-10A. Coordinate the adoption of each specific plan and planned development in a manner that provided for the systematic implementation of the General Plan, as is consistent with the growth management and public facilities goals and policies of the General Plan....

Staff Analysis: This project is an implementation of the Stadium Area Master Plan, Planned Development (SAMP PD), which provides for orderly and systematic growth of the former stadium property. The PD provides for the development of a mix of different, residential, commercial and institutional use.

- LU-38. Require preparation of a Planned Development prior to approval of any development in the Stadium Area.

Staff Analysis: The update and re-adoption of the SAMP PD in January, 2017 satisfies this General Plan policy.

- LU-39. Ensure that land uses are dispersed in accordance with the provisions of the Stadium Area Master Planned Development Zoning District:
 - Redevelopment of formerly developed industrial and institutional land;
 - Particular attention shall be given to the interface between the industrial, residential, commercial, and public/institutional land uses.
 - Provisions shall be made to ensure complementary transitions between uses through the arrangement between building and spaces,
 - The arrangement between structures and spaces shall result in a cohesive design among similar land uses,
 - Ensure that building material, color, linkages to sidewalks, parking placement, landscape design, and plant materials complement existing and proposed uses,
 - Include proper site design and/or noise attenuation devices to reduce indoor and outdoor noise levels for sensitive receptors.
 - Special consideration should be given to memorialize the “Stadium.”

Staff Analysis: The proposed fire station implements important portions of the above General Plan policies. The project manages the interface with adjacent properties without the use of a perimeter wall, which creates a visually inviting environment that hides activities and equipment that might not be as visually attractive. The landscaping provides visual and functional separation between the sidewalk, private street, and hotel on one side, and the fire station and associated activities on the other. Points of pedestrian access into the project from the adjacent public sidewalk will create an environment where encourages walking or bicycling to nearby commercial and open space destinations. The building design and materials of the fire station are consistent with the proposed hotel projects immediately to the north and east.

- HS-J. As part of the concurrency requirement for development on the westside, construct a public safety station west of US 101 in the general vicinity of the Wilfred Avenue/Labath Avenue intersections. A westside station will be necessary if additional construction occurs west of US 101 in order to respond to emergency calls within an acceptable response time. If the station were located in the general vicinity of the Wilfred Avenue/Labath Avenue intersections, emergency vehicles could respond within four minutes to calls in the area west of US 101.

Staff Analysis: The location and construction of the fire station satisfies the General Plan policy of locating a new fire station on the west side of US 101 and will result in improved response times to that area of Rohnert Park.

Zoning Regulations

Stadium Area Master Plan (SAMP) Planned Development

Staff Analysis: The proposed project is consistent with the SAMP PD. Staff has reviewed to project and has determined that it complies with all of the provisions within the PD, including:

- *The location of the proposed buildings is consistent with previous conceptual plans. The pedestrian system proposed by the project ties in well with the system approved in the Five Creek FDP;*
- *The architecture is modern in character, and complements both the modern and agrarian/regional vernacular styles of adjacent proposed development.*
- *The project provides open space consistent with the City's zoning ordinance.*

Development Standards

The proposed fire station's design is consistent with the development standards applicable to Public/Institutional projects within the Stadium Area Master Plan Planned Development.

Table 2 – Relevant Development Standards

	Proposed	Requirement	Description
Height	26' 2"	45' max	
Setbacks			
Front	50'	15' min	
Street Side	17'	15' min	
Side (Interior)	26'+	10' min	
Rear	100'+	10' min	
Parking			
Total Spaces	9	4 min	
Public Spaces	2	n/a	
Staff spaces	7	n/a	
Landscaping	11 trees +	3 trees	1 tree / 4 spaces
Maximum Lot Coverage	17%	50% max	
Floor Area Ratio	0.17	0.5 max	

Design Guidelines

The project is in compliance with the City of Rohnert Park Design Guidelines as described in the following section.

Architectural Style and Neighborhood Compatibility

The City of Rohnert Park Design Guidelines lists Modern under Architectural Styles. According to the Design Guidelines, Modern is an architectural style that emerged in the mid-20th Century and usually features geometric forms, large windows and flat roofs. Modern is the style the developer has used for the design of the hotel and the fire station design is visually compatible with the architecture of the hotel. The architect has utilized the following elements from the Design Guidelines:

- Building massing is inspired by traditional forms. Volumes are simple, asymmetrical yet balanced, and includes variations in height. Repetitive and alternating elements are present, with additional articulation provided by the use of colors, materials, screening, and recesses.
- The building incorporates façade elements such as the variation in depth, material changes, extensive use of glass, overhangs and louvers for screening from direct sunlight, lighting, and signage to enrich the quality of the public environment. These elements also take inspiration from green building principles in that they provide shading, promote energy-efficiency, and address sun orientation.
- The project takes advantage of the ample natural light available, by using a clerestory just below the roofline of the apparatus bay. Additional windows face east, north, and west. Large overhangs, louvers, and spandrel glass minimize the harsh effects of direct lighting, while maximizing indirect, natural lighting.
- Materials used in the construction of the fire station are incorporated in a variety of colors and textures to achieve visual interest. The use of natural materials in modern buildings is encouraged, and this structure proposes to prominently use brick and rough cut stone as well as a tan and brown color palette, punctuated by the red accent tower. The colors of additional building materials including the trim and the louvers on the windows complement the natural materials and colors.
- The building features a combination of pitched and flat roofs. Architectural screening and a parapet accented by height variation hides mechanical equipment and provides visual interest from the surrounding streets and properties.
- The trash enclosure is sited so as to minimize visibility from the street. The design of the trash enclosure is complimentary to the overall design of the project.

While the proposed fire station is generally modern in appearance, the architect has taken care to make sure the structure complements the regional vernacular design of the hotel and other components of the nearby Five Creek project, including the use of colors, and large pitched roofs.

Potential Solar

The roof is designed so as to be able to accommodate solar panels in the future. The City has expressed interest in adding solar to this facility at a later date, but such a proposal is primarily

contingent on the station being built within the approved budget and the availability of funding after construction. Staff is committed to exploring options for solar for this public building.

Noise Impacts

In the design of the fire station, careful attention was placed to siting, circulation, and site configuration in terms of minimizing noise from fire trucks potentially leaving the station with sirens going. The design of the station shields the hotel from a large amount of the noise from any exiting fire trucks by placing the egress doors of the apparatus bay at the southwest corner of the site, with trucks exiting on to Labath. The massing of the building, and the additional complementary walls and landscaping are designed to further reduce the impact of this noise. Returning trucks will enter the station through an entrance on Martin Avenue, but will not have their sirens going in those situations. Subject to overriding state and federal conditions, the City has made an agreement with the hotel developers to:

- Ensure all emergency vehicle egress will be on to Labath and not Martin.
- Not utilize sirens when vehicles are merely returning to the station.
- Not use sirens on non-emergency calls (other than mandatory testing, etc.).
- Not activate sirens for responding vehicles until they have exited the station and are oriented south on Labath (except in situations where they are responding to a call that is north).

Staff Analysis: The proposed project is consistent with Design Guidelines as it has been designed in a manner that is consistent with characteristics of the modern architectural style. The building is proposed to be situated in a manner that is considerate of current and planned uses in the immediately adjacent area. Generally, the building and the associated amenities on the site will provide an attractive, visually pleasing building that will be an asset to the community.

ENVIRONMENTAL DETERMINATION

An environmental impact report (EIR) was prepared for the original Stadium Area Master Plan. The recently approved changes to the General Plan and SAMP triggered additional environmental review consisting of a Mitigated Negative Declaration. There are new mitigation measures largely limited to air quality and greenhouse gas emissions. No further environmental review is required for Site Plan and Architectural Review for the fire station.

RESPONSE TO COMMENTS

No public comments have been received on this item.

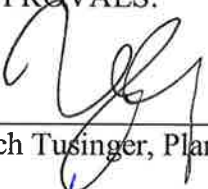
Attachments:

Resolution No. 2017-21 Approving Site Plan and Architectural Review for the Westside Public Safety Station at 5870 Labath Avenue.

Exhibit A – Cover Sheet
Exhibit B – Dimensional Site Plan
Exhibit C – Conceptual Site Plan
Exhibit D – Floor Plan

Exhibit E – Elevations
Exhibit F – Elevations
Exhibit G – Wall & Enclosure Details
Exhibit H – Site Condition Images
Exhibit I – Landscape Plan
Exhibit J – Plantings
Exhibit K – Photometrics
Exhibit L – Conditions of Approval

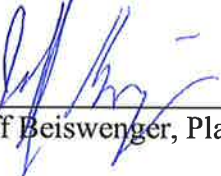
APPROVALS:



Zach Tusinger, Planner II

7/21/2017

Date



Jeff Beiswenger, Planning Manager

7/21/17

Date

PLANNING COMMISSION RESOLUTION NO. 2017-21

SITE PLAN AND ARCHITECTURAL REVIEW FOR THE WESTSIDE PUBLIC SAFETY FACILITY AT 5870 LABATH AVE.

WHEREAS, the applicant, City of Rohnert Park, filed Planning Application No. PLSR17-0005 for Site Plan and Architectural Review for the Westside Public Safety Facility in accordance with the City of Rohnert Park Municipal Code;

WHEREAS, Planning Applications No. PLSR17-0005 was processed in the time and manner prescribed by State and local law;

WHEREAS, the subject site is designated Public/Institutional in the General Plan and city facilities such a fire stations are permitted within that designation;

WHEREAS, the project is located within the Stadium Area Master Plan (SAMP), a Planned Development and so designated in the Rohnert Park Zoning Map;

WHEREAS, the Conditional Use Permit, required for any phase of development in the Stadium Lands Planned Development, was approved by the City Council on January 10, 2017;

WHEREAS, on July 27, 2017, the Planning Commission reviewed Planning Application No. PLSR17-0005 at which time interested persons had an opportunity to testify either in support of or opposition to the project; and

WHEREAS, at the July 27, 2017, Planning Commission meeting, upon considering all testimony and arguments, if any, of all persons desiring to be heard, the Commission considered all the facts relating to Planning Application No. PLSR17-0007.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ROHNERT PARK DOES RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1. That the above recitations are true and correct.

Section 2. Factors Considered. The Planning Commission, in approving Planning Application No. PLSR17-0005, makes the following factors, to wit:

- A. That the developments general appearance is compatible with existing development and enhances the surrounding neighborhood.*

Criteria Satisfied. The proposed public safety facility will be built in accordance with the land uses contemplated and approved in the Stadium Area Master Plan Planned Development. The appearance of the apartment is designed to complement existing and planned facilities in the area, including the planned Cambria Hotel, and the proposed Fairfield Inn and Suites. The public safety facility will be an attractive addition to the surrounding area. Special care has been taken to ensure that all buildings within the

SAMP have a consistent architectural character, and the public safety station is no exception. Architecture and site design components give the public safety station and immediately adjacent SAMP neighborhood a consistent look and feel.

- B. That the development incorporates a variation from adjacent on-site and off-site structures in height, bulk, and area; arrangement on the parcel; openings or breaks in the façade facing the street; and/or the line and pitch of the roof.*

Criteria Satisfied. The new building has an attractive appearance with a variety of materials including metal, fiber cement siding, metal accents, louvers and overhangs, brick veneer and a pitched metal roof. There is articulation in the building walls and variations in the roof height through colors, towers, and recesses. The building design will be complementary with other structures in the SAMP.

- C. That the development will be located and oriented in such a manner so as to provide pedestrian, bicycle and vehicular connections with adjacent properties, as appropriate, and avoids indiscriminate location and orientation.*

Criteria Satisfied. Public vehicular access to the property is from Labath Avenue, with employee and fire apparatus ingress located on the new Martin Avenue extension. There are bike lanes on Dowdell Avenue providing access to the project. There is bicycle access to the facility from the trail along Hinebaugh Creek and from Rohnert Park Expressway via Redwood Drive or Labath Avenue. Pedestrian sidewalks will connect the facility to the other buildings in the SAMP and to adjacent properties in the area. Bicycle parking will be provided. Public transportation is conveniently located on Labath Avenue. Orientation of the building, drives, and pathways was carefully considered for possible impacts to traffic circulation, safety, noise impacts, and visual quality.

Section 3. An Environmental Impact Report (EIR) was prepared for the original Stadium Area Master Plan. The recently approved changes to the General Plan and SAMP triggered additional environmental review consisting of a Mitigated Negative Declaration. There are new mitigation measures largely limited to air quality and greenhouse gas emissions. No further environmental review is required for Site Plan and Architectural Review for the public safety station.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does hereby approve Planning Application No. PLSR17-0005 subject to the following conditions attached as Exhibit A.

BE IT FURTHER RESOLVED that said action shall not be deemed final until the appeal period has expired and that the appeal period shall be ten (10) working days from the date of said action. No building permits shall be issued until the appeal period has expired, providing there are no appeals.

DULY AND REGULARLY ADOPTED on this 27th day of July 2017 by the City of Rohnert Park Planning Commission by the following vote:

AYES: _____ NOES: _____ ABSENT: _____ ABSTAIN: _____

ADAMS _____ BLANQUIE _____ BORBA _____ GIUDICE _____ HAYDON _____

Susan Haydon, Chairperson, Rohnert Park Planning Commission

Attest: _____
Susan Azevedo, Recording Secretary

Exhibit A

ADOPTED PER PLANNING COMMISSION Resolution No. 2017-21

Conditions of Approval

Site Plan and Architectural Review: Westside Public Safety Facility

The conditions below shall apply to the Westside Public Safety Facility project located at Labath and Martin Avenues (PLSU17-0005).

General Conditions

1. The Site Plan and Architectural Review approval shall expire one year from the Planning Commission approval date, unless prior to the expiration a building permit is issued and construction is commenced and diligently pursued toward completion and the use is initiated, or an extension is requested and approved.
2. All applicable provisions of the City of Rohnert Park Municipal Code, are made a part of these conditions of approval in their entirety, as if fully contained herein.
3. The violation of any condition listed herein shall constitute a nuisance and a violation of the RPMC. In conformity with Chapter 1.16 of the RPMC, a violation of the RPMC may be an infraction or a misdemeanor and shall be punishable as provided by law. In addition to criminal penalties, the City may seek injunctive relief.
4. Place Conditions of Approval on general notes on plan sheets.

Design Conditions

5. The project shall be designed and improved and installed to be consistent with the SAMP, the Final Map, and the related Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program.
6. The Project is approved as shown in Exhibits A through K attached to the July 27, 2017 Planning Commission staff report except as conditioned or modified below.
7. All exterior lighting shall be LED including wall lights on the building.
8. Provide a dewatering plan as part of the grading permit if groundwater is expected to be encountered (refer to soils report for GWE to determine if it is needed).
9. Landscaping shall be constructed in accordance with the State's Model Water Efficient Landscaping Ordinance (MWELo), or in accordance with water conservation standards which meet or exceed the requirements of the MWELo. The

Applicant shall submit a landscaping and irrigation plan that identifies landscape material types and locations, irrigation, water usage calculations, and other information as required. The plan shall be submitted to and reviewed and approved by the Development Services Department prior to construction. All costs for review of the requirements of the MWELo shall be borne by the Applicant. All landscaping and irrigation subject to the MWELo shall be substantially complete prior to the issuance of a Certificate of Occupancy.

10. Landscaping shall be irrigated using recycled water, to the extent that recycled water is available. The project shall apply for and comply with the City's standard Recycled Water Use Agreement.
11. Any new trees within five (5) feet of the public right-of-way or within five (5) feet of any paved areas within the project shall have root barriers that are approved by the City Engineer.

Public Safety

12. Provide illuminated address numbers visible from the street.
13. Fire extinguishers shall be installed per the Fire Code.
14. Fire sprinklers are required per NFPA 13 and local ordinance.

Grading and Improvement Plan Requirements

15. All improvements shall be designed in conformance with: the City of Rohnert Park, Manual of Standards, Details and Specifications in effect at the time of development
16. The Project benchmark shall be based on a City approved USGS benchmark, and also confirmed to be applicable for Final Map.
17. The applicant shall implement the design recommendations stated in the "Geotechnical Investigation of Rohnert Park Fire Station No. 3" submitted by Miller Pacific Engineering Group dated June 27, 2017 as a condition of development at the project site.
18. The grading plan shall be prepared by a Registered Civil Engineer, licensed in the State of California and shall be submitted for review and approval by the City Engineer.
19. The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved.

20. Grading plans shall include an erosion control (winterization) plan. The plan must include an order of work and staging/scheduling component indicating when facilities must be installed and when they may be removed.
21. Provide the following minimum Best Management Practices (BMPs) on the grading plans:
- a. "Construction crews shall be instructed in preventing and minimizing pollution on the job.
 - b. Construction entrances/exits shall be stabilized to prevent tracking onto roadway.
 - c. Exposed slopes shall be protected from erosion through preventative measures.
 - d. Use brooms and shovels when possible to maintain a clean site
 - e. Designate a concrete washout area. Maintain washout area and dispose of concrete waste on a regular basis.
 - f. Protect drain inlets from receiving polluted storm water through the use of filters such as fabrics, gravel bags or straw wattles.
 - g. Have necessary materials onsite before the rainy season
 - h. Inspect all BMPs before and after each storm event. Maintain BMPs on a regular basis and replace as necessary, through the entire course of construction.
 - i. All construction implementation measures as outlined in the approved Mitigation Monitoring and Reporting Program.
 - j. If human remains are encountered anywhere on the project site, all work shall stop in the immediate vicinity of the discovered remains. Both the County Coroner and a qualified archeologist shall be notified by the construction manager immediately so that an evaluation can be performed. If the remains are deemed to be Native American and prehistoric, the Native American Heritage Commission shall be contacted by the Coroner so that a "Most Likely Descendant" can be designated and recommendations for treatment solicited pursuant to CEQA Section 15064.5(e).
 - k. Per state law, in the event that paleontological resources or unique geologic features are encountered during construction, all earthwork within a 50 meter radius of the find will be stopped, the City of Rohnert Park notified, and a paleontologist retained to examine the find and make appropriate recommendations.
 - l. In the event of a spill of hazardous materials in an amount reportable to the DPS (as established by DPS guidelines), the contractor shall immediately control the source of the leak and contain the spill. If required by the DPS or other regulatory agencies, contaminated soils will be excavated and disposed of offsite at a facility approved to accept such soils.

22. Noise-generating activities at the construction site or in areas adjacent to the construction site associated with the Project in any way would be restricted to the hours of 8:00 a.m. to 6:00 p.m. (Ord. 152 § 3.1, 1971).
- a. Use available noise suppression devices and properly maintain and muffle loud construction equipment.
 - b. Avoid the unnecessary idling of equipment and stage construction equipment as far as reasonable from residences and radio station north of the site (preferably more than 200 feet from residences).
 - c. Notify adjacent uses of the construction schedule.
 - d. Designate a “noise disturbance coordinator” who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator would determine the cause of the noise complaints (e.g., starting too early, bad muffler, etc.) and would require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule.
 - e. All noise-producing project equipment and vehicles using internal combustion engines shall be equipped with mufflers, air-inlet silencers where appropriate, and any other shrouds, shields, or other noise-reducing features in good operating condition that meet or exceed original factory specification. Mobile or fixed “package” equipment (e.g., arc-welders, air compressors) shall be equipped with shrouds and noise control features that are readily available for that type of equipment.
 - f. All mobile or fixed noise-producing equipment used on the project that are regulated for noise output by a local, state, or federal agency shall comply with such regulation while in the course of project activity.
 - g. Construction site and access road speed limits shall be established and enforced during the construction period.
 - h. The use of noise-producing signals, including horns, whistles, alarms, and bells, shall be for safety warning purposes only.
 - i. Construction hours, allowable workdays, and the phone number of the job superintendent shall be clearly posted at all construction entrances to allow surrounding property owners to contact the job superintendent if necessary.”

23. The Grading Plans shall include the following required notes:

- a. "Any excess materials shall be considered the property of the contractor and shall be disposed of away from the job side in accordance with applicable local, state and federal regulations."
- b. "During construction, the Contractor shall be responsible for controlling noise, odors, dust and debris to minimize impacts on surrounding properties and roadways. Contractor shall be responsible that all construction

equipment is equipped with manufacturers approved muffler's baffles. Failure to do so may result in the issuance of an order to stop work."

- c. "If at any time during earth disturbing activities a concentration of artifacts or a cultural deposit is encountered, work shall stop in the immediate area and the construction manager shall contact the City and a qualified archeologist."
- d. "If human remains are encountered anywhere on the project site, all work shall stop in the immediate area and the construction manager shall contact the City, the County Coroner and a qualified archeologist."
- e. "If paleontological resources or unique geologic features are encountered during construction, all work shall stop in the immediate area and the construction manager shall contact the City and a qualified paleontologist."
- f. "Construction work hours shall be consistent with the Rohnert Park Municipal Code, Noise Ordinance."
- g. "All proposed on-site utilities shall be placed underground. This does not include surface mounted transformers, pedestal mounted terminal boxes and meter cabinets."
- h. "If hazardous materials are encountered during construction, the contractor will halt construction immediately, notify the City of Rohnert Park, and implement remediation (as directed by the City or its agent) in accordance with any requirements of the North Coast Regional Water Quality Control Board."

Site Civil and Landscape Plans

- 24. Sidewalk transitions shall be provided to allow a clear five foot walkway at all locations, including areas where mailboxes, streetlights, street signs and fire hydrants are to be installed.
- 25. The improvement plans shall illustrate accessible ramps and parking as required by State of California Title 24.
- 26. Site photometrics are to be submitted with the Site Civil Drawings for review and approval.
- 27. Landscape plans shall be submitted with the grading permit plans. Sidewalk alignment shall be shown on both the civil and landscape plans.
- 28. The landscape planting plans need to be compared with the civil engineering utility plans and confirmed no trees and large shrubs are proposed over water, sewer and storm drain pipes.

Hydrology, Storm Water and Storm Drain

- 29. The storm drain system shall be designed to meet the requirements of the Sonoma County Water Agency Flood Control Design Criteria (latest revision), specific to the Project and these conditions.

30. The site shall be in conformance with the City of Santa Rosa Storm Water Low Impact Development Technical Design Manual (latest edition).
31. Discharge of runoff onto pavement should be avoided.
32. Plans and certifications shall demonstrate compliance of all improvements, including building pads and finished floor elevations, with the City's Flood plain Ordinance, to the satisfaction of the Building Official and City Engineer. Pad elevations shall be constructed at a minimum of 1 foot above the 100-year Floodplain as determined by the City and certified by the project engineer.
33. Site drainage design must include facilities for the containment of recycled water runoff due to over irrigation, system leakage or control failure.

Water System Requirements

34. The grading plans shall show backflow prevention devices in accordance with the requirements of the City of Rohnert Park's Backflow Prevention Ordinance.
35. City water meters shall be located within the right-of-way unless otherwise approved by the Development Services Department. The improvement plans shall show fire protection in accordance with the requirements of Rohnert Park Fire Department.
36. The grading plans shall include a note that states "All hydrants shall be covered with bags indicating that the hydrant is not active until flow tests are completed by the City and the hydrants are approved."

Sewer System Requirements

37. Sewer grades must be designed such that ultimate finished floors are a minimum of 12" above upstream manhole or clean-out rim elevations.

Recycled Water System Requirements

38. The grading plans shall show recycled water use for irrigation.
39. The recycled water system improvements shall be designed in accordance with the City of Santa Rosa's Recycled Water Users Guide, the City of Santa Rosa and City of Rohnert Park standards, Title 22 of the California Code of Regulations and the requirements of the North Coast Regional Water Quality Control Board.
40. All recycled water mains, service laterals, plumbing, valves, pipes, appurtenances, irrigation parts, vaults and boxes must be purple. Recycled water notification signs shall be installed as directed by the City Engineer. Recycled water spray, mists and ponding must not be present in any designated eating area. All drinking fountains must be positioned or shielded to eliminate any exposure to recycled water sprays or mists.
41. Recycled water/potable water dual plumbing design and layout, construction-installation and final inspection review for individual lots or grouping of lots must be performed by an AWWA certified Cross Connection Specialist and all deficiencies must be corrected at the applicant's expense. Written reports of the

Cross Connection Specialist's finding must be submitted to and approved by the City.

Prior to the Issuance of Grading Permits and/or Improvement Agreements

42. No construction activity may commence until the applicant has demonstrated to the City that it has filed a Notice of Intent to comply with the Terms of General Permit to Discharge Storm Water Associated with Construction Activity (NOI) with the State of California Water Resources Control Board, if applicable.

During Construction

43. All construction shall conform to the City's most current Manual of Standards, Details, and Specifications latest edition, all City Ordinances and State Map Act and the approved plan.
44. Provide the final Storm Water Mitigation Plan for review and approval by the City.
45. Provide a signature line on sheet C1 for the project geotechnical engineer's review and approval of the civil engineering site plans.
46. The applicant shall complete all water and wastewater improvements, including pressure and bacterial testing and raising manholes and cleanouts to grade prior to connection of any improvements to the City water or wastewater systems.
47. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Sonoma County Environmental Health Department, the Fire Department, the Police Department, and the Development Services Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.
48. The applicant shall be responsible to provide erosion and pollution control in accordance with the approved plans and permits.
49. The applicant shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period.
50. If grading is to take place between October 15 and April 15, both temporary and permanent erosion control measures, conforming to the project erosion control plans shall be in place before October 1st. Erosion control measures shall be monitored and maintained continuously throughout the storm season.
51. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, liquefaction, erosion, settlement, and seismic activity.
52. The Project shall comply with the RPMC, including hours of construction. All construction equipment shall be adequately muffled and properly tuned in

accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.

53. Hours of work shall be limited to between 8 a.m. to 6 p.m. Monday through Friday. Work on Saturday or Sunday will only be permitted with written permission from the City. Requests for extended hours must be submitted 72 hours in advance.
54. Throughout the construction of the project, dust control shall be maintained to the satisfaction of the City, including all measures in the approved Mitigation Monitoring and Reporting Program. The applicant shall be responsible to implement reasonable measure to cure any problems that may occur. Provide this language on the grading plans: "At a minimum the dust control measures will include:
 - Cover all trucks hauling construction and demolition debris from the site.
 - Water on a continuous as-needed basis all earth surfaces during clearing, grading, earthmoving, and other site preparation activities.
 - Use watering to control dust generation during demolition...
 - Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved parking areas and staging areas.
 - Sweep daily (with water sweepers) all paved areas and staging areas.
 - Provide daily clean-up of mud and dirt carried onto paved streets from the site.
 - Properly maintain all construction equipment.
 - For construction sites near sensitive receptors (or if residential development occurs prior to commencement of commercial development):
 - Install wheel washers for all existing trucks, or wash off the tires or tracks of trucks and equipment leaving the site.
 - Suspend dust-producing activities during periods when instantaneous gusts exceed 25 mph when dust control measures are unable to avoid visible dust plumes.
 - Limit the area subject to excavation, grading and other construction or demolition activity at any one time."
55. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, § 2485 of California Code of Regulations). Clear signage regarding idling restrictions shall be provided for construction workers at all access points.
56. The applicant shall post a publicly visible sign with the telephone number and person to contact at the construction site and at the City of Rohnert Park regarding dust complaints. The applicant shall respond and take corrective action within 48 hours. The Bay Area Air Quality Management District's phone number shall also be visible to ensure compliance with applicable regulations.
57. The applicant shall post signs of possible health risk during construction. The applicant is responsible for compliance with the Bay Area Air Quality management District's rule regarding cutback and emulsified asphalt paving materials.

58. Add note to plans: "If, during construction, the contractor damages any existing facilities on the neighboring properties (i.e. fences, gates, landscaping, walls, etc.) contractor shall be responsible to replace all damaged facilities."

Prior to Occupancy

59. All improvements shown in the improvement plans deemed necessary for the health, safety and welfare of the occupant and general public shall be completed.
60. The applicant shall provide a written statement signed by his or her engineer verifying that the grading and/or drainage improvements are completed in accordance with the plans approved by the Sonoma County Water Agency, the City Engineer, and the Building Official.



City of Rohnert Park
FIRE STATION No. 3

LCA Architects | LCA 17004

FIRE STATION No. 3

SPAR PACKAGE

Revised 7/19/17

#17004



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**FIRE
STATION 3**

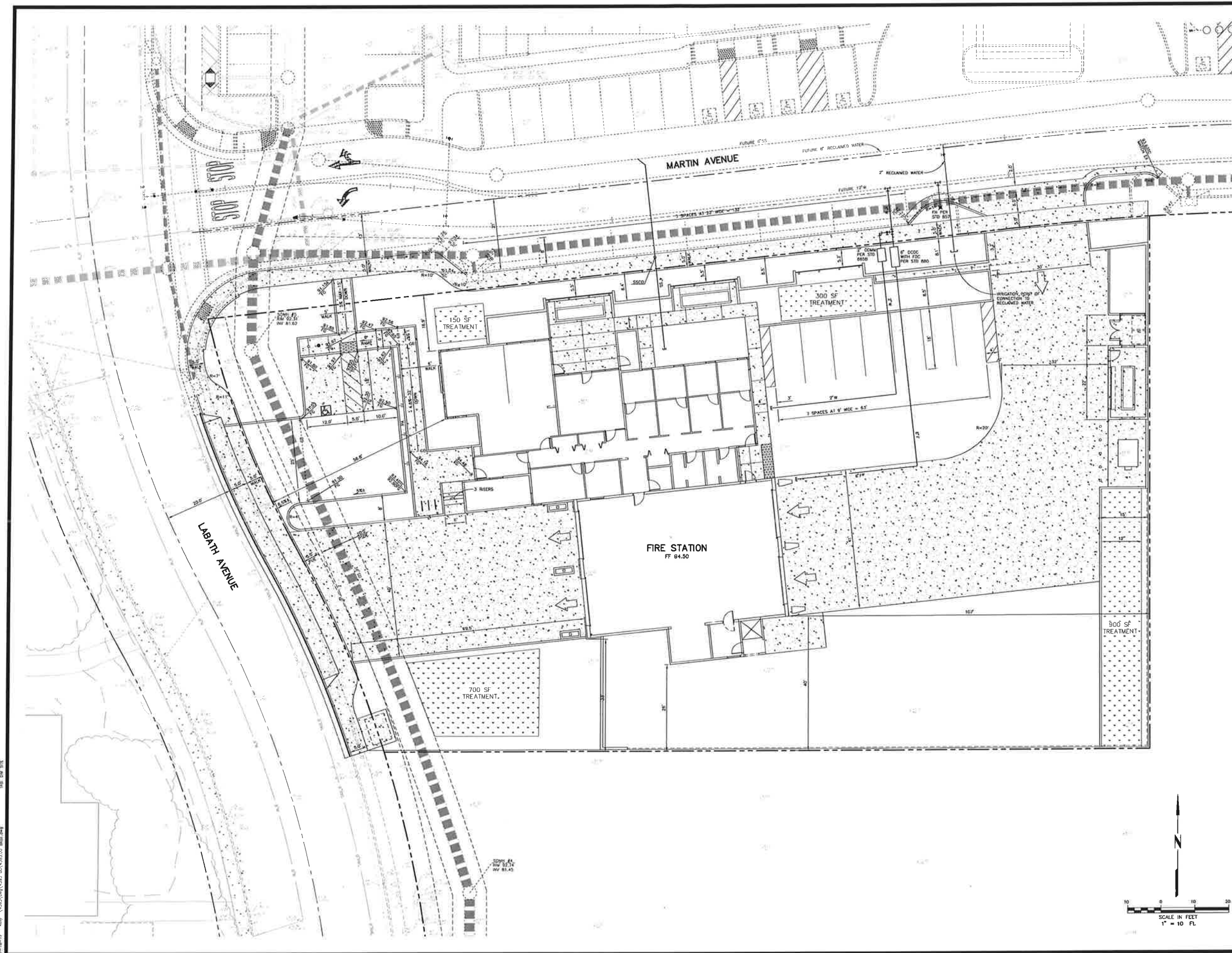
PRELIMINARY
FOR STUDY PURPOSES ONLY
DATE 07-18-17

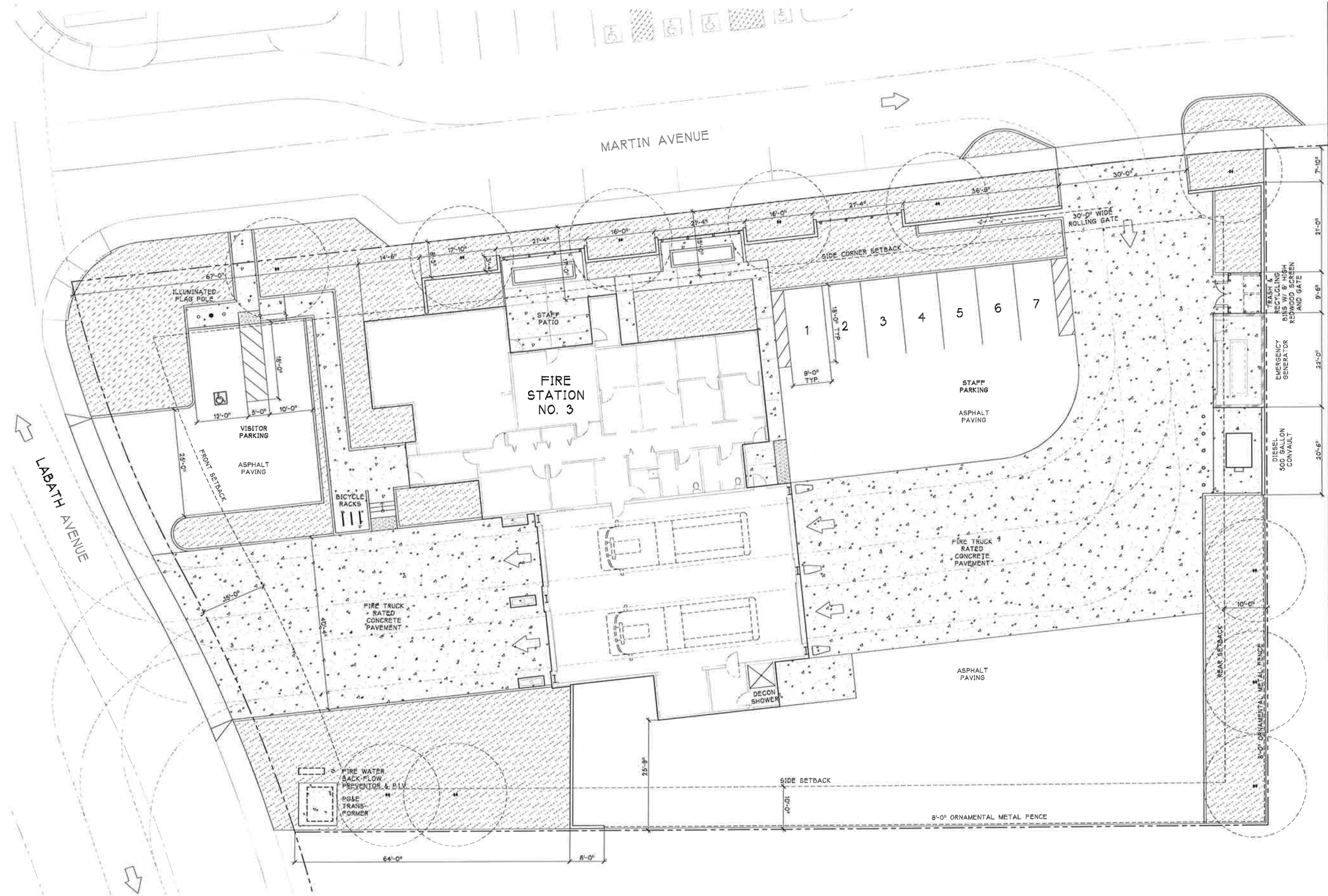
REVISIONS		
NO.	DATE	DESCRIPTION

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PROJECT 4393.00	DATE JUNE 2017
DRAWN BY PIT	CHECKED BY PVB

SHEET NO.





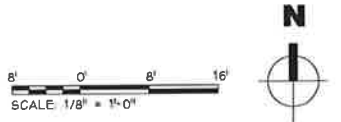
LEGEND

	CONCRETE PAVEMENT
	LANDSCAPE AREA

AREA CALCULATIONS

LOT AREA:	37,010 SF
LIVING AREA:	3,449 SF
APPARATUS BAY AREA:	2,701 SF
TOTAL AREA:	6,150 SF
FAR:	.17

1 CONCEPTUAL SITE PLAN
SCALE: 1/8" = 1'-0"



WWW.LCA-ARCHITECTS.COM
CARL E. CAMPOS
DAVID BOGOTZ
PETER STACKPOLE
330 YONKID VALLEY ROAD, SUITE 110
WALNUT CREEK, CALIFORNIA 94596
(925) 944-1522
1170 BROADWAY, SUITE 800
OAKLAND, CALIFORNIA 94612
(415) 775-1500

CITY OF ROHNERT PARK
FIRE STATION 3
ROHNERT PARK, CALIFORNIA

LCA ARCHITECTS
1170 BROADWAY, SUITE 800
OAKLAND, CALIFORNIA 94612
(415) 775-1500
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SITE PLAN

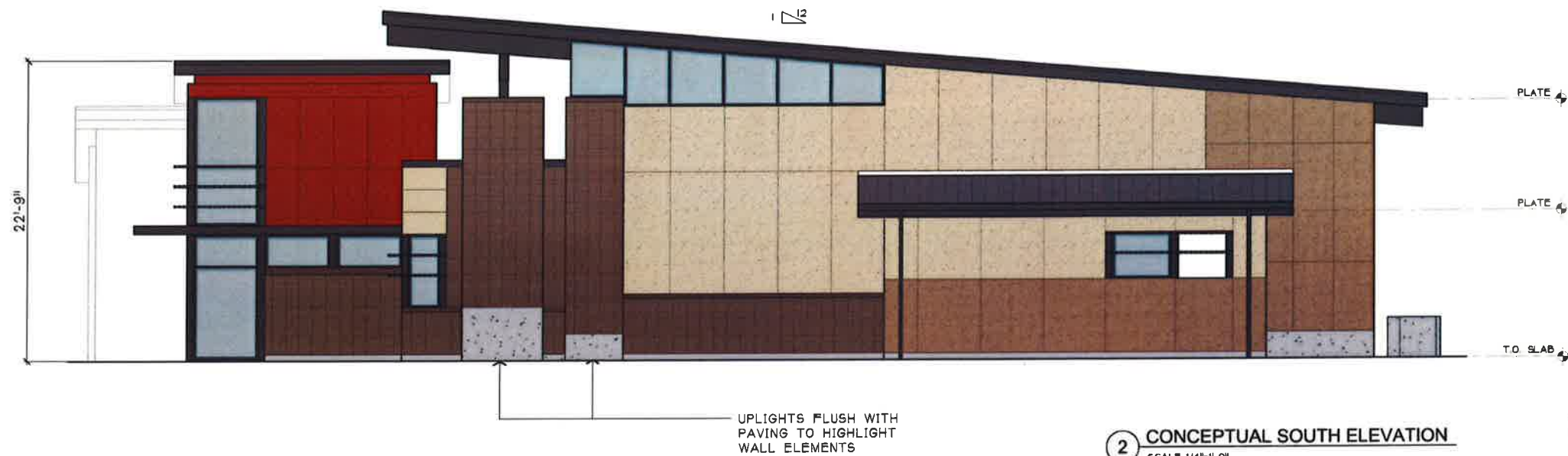
SCALE:	1/8" = 1'-0"
DATE:	4/28/2017
REVISIONS:	
SCHEMATIC DESIGN SET	6/2/17
	7/19/17

PROJECT NO. 17004
A1
SHEET OF





1 CONCEPTUAL WEST ELEVATION
SCALE: 1/4"=1'-0"



2 CONCEPTUAL SOUTH ELEVATION
SCALE: 1/4"=1'-0"

NOTE: COLORS & MATERIALS SHOWN ARE TYPICAL, SEE COLOR/MATERIAL BOARD FOR MORE INFORMATION



WWW.LCA-ARCHITECTS.COM
DAVID E. CAMPOS
DAVID BOGGS
PETER STACKPOLE
350 VINTAGE VALLEY ROAD, SUITE 310
WALNUT CREEK, CALIFORNIA 94598
(925) 944-1525
1570 BROADWAY, SUITE 800
OAKLAND, CALIFORNIA 94612
(415) 775-1180

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EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"
DATE: 4/28/2017

REVISIONS:
SCHEMATIC DESIGN SET
6/2/17
7/18/17

PROJECT NO. 17004

A3.1
SHEET OF

C7 STANDING SEAM METAL ROOFING

PAINTED METAL
ROLL-UP DOOR
WITH GLASS PANELS
C6

EXPOSED CONCRETE
BASE

PAINTED METAL ROOF SCREEN C6

PLATE

PAINTED CEMENT PLASTER
FINISH C4

PAINTED CEMENT PLASTER
FINISH C5

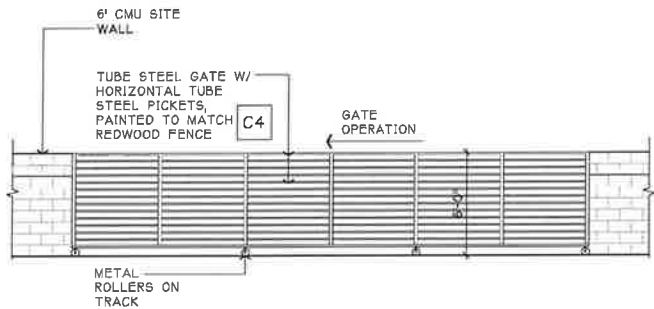
METAL PANELS C2

T.O. SLAB

1 CONCEPTUAL EAST ELEVATION
SCALE: 1/4"=1'-0"

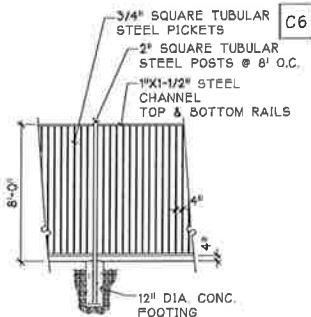


2 CONCEPTUAL NORTH ELEVATION
SCALE: 1/4"=1'-0"

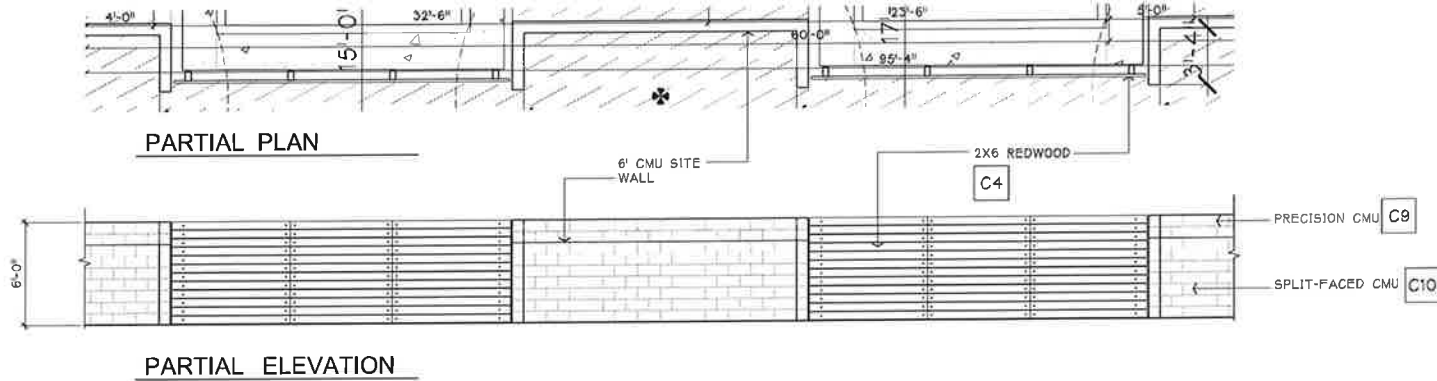


3 ROLLING METAL VEHICULAR GATE
1/4" = 1'-0"

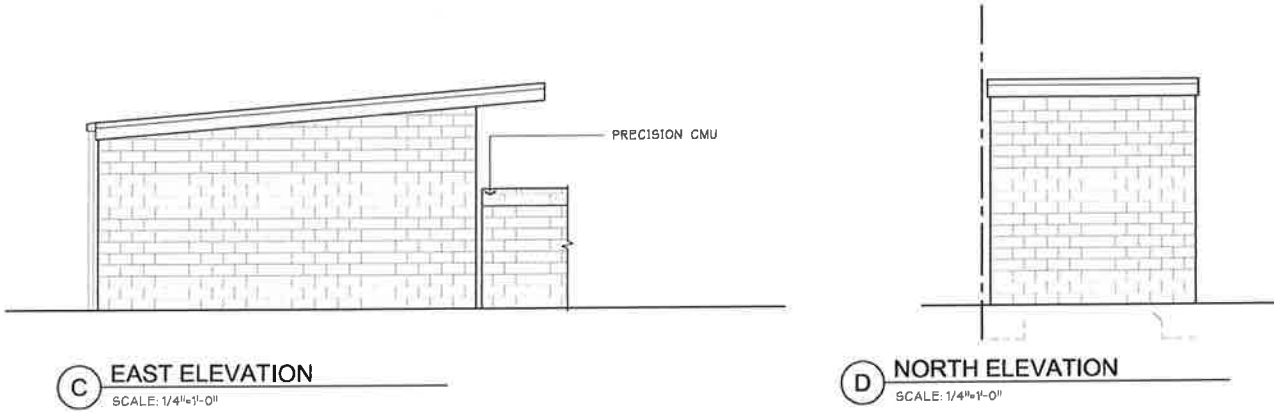
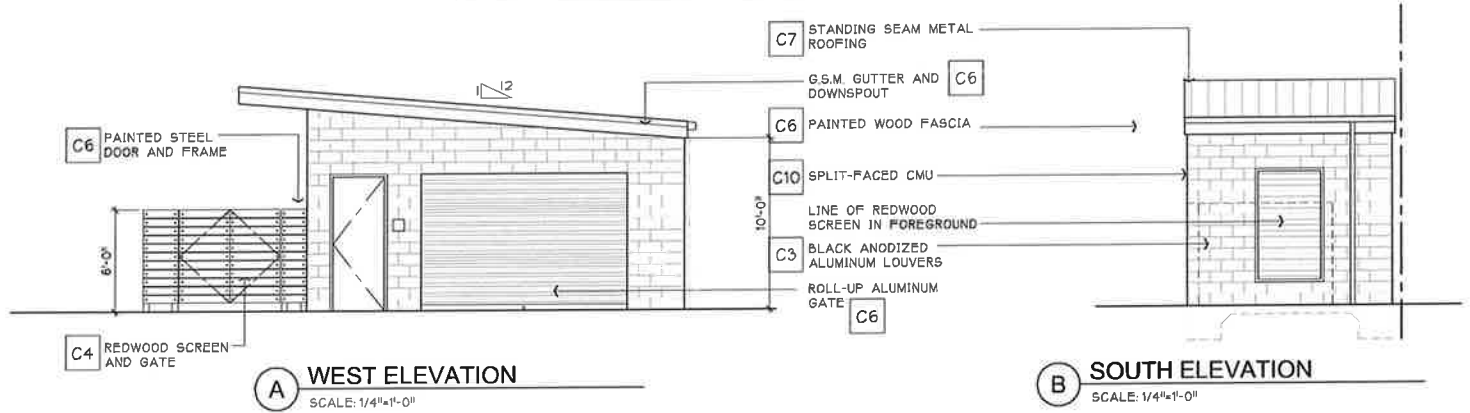
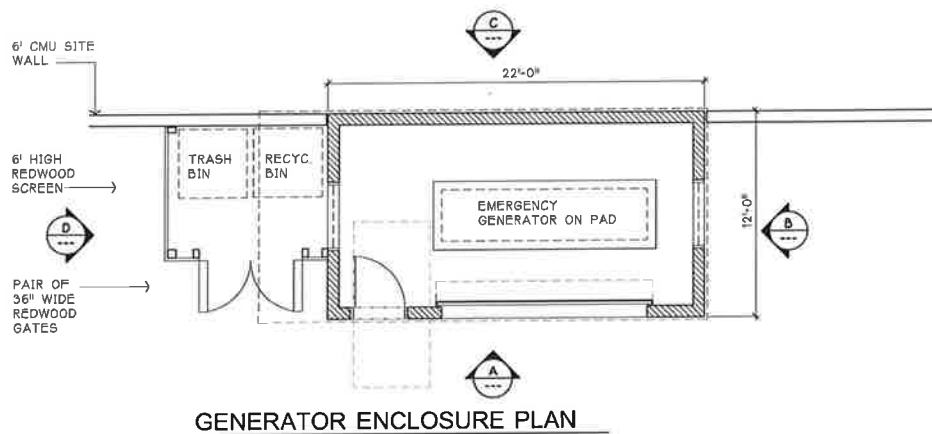
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4 ORNAMENTAL METAL FENCE
1/4" = 1'-0"



2 SITE WALL
1/4" = 1'-0"



1 EMERGENCY GENERATOR ENCLOSURE
1/4" = 1'-0"



WWW.LCA-ARCHITECTS.COM
CARL E. CAMPOS
DAVID BOGGS
PETER STACKPOLE
390 YONKID VALLEY ROAD, SUITE 310
WALNUT CREEK, CALIFORNIA 94596
(925) 934-1126
1570 BROADWAY, SUITE 800
OAKLAND, CALIFORNIA 94612
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GENERATOR ENCLOSURE
MONUMENT SIGN
SITE WALL
SCALE: AS NOTED
DATE: 5/2/2017
REVISIONS:
SCHEMATIC DESIGN SET
6/2/17
7/19/17

PROJECT NO. 17004
A4
SHEET OF



1 VIEW LOOKING SOUTHEAST FROM LABATH



2 VIEW LOOKING EAST TOWARD DOWDELL



3 VIEW LOOKING NORTH



4 VIEW LOOKING NORTHEAST TOWARD DOWDELL



5 VIEW LOOKING WEST TOWARD LABATH



6 VIEW LOOKING NORTHWEST TOWARD LABATH



EXISTING SITE
SCALE: NONE



WWW.LCA-ARCHITECTS.COM
CARL E. CAMPOS
DAVID BOGOTIC
PETER BRADSHAW
300 PIEDMONT VALLEY ROAD, SUITE 310
VAN HOUT CREEK, CALIFORNIA 94608
(925) 944-1058
1570 BROADWAY, SUITE 800
OAKLAND, CALIFORNIA 94612
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EXISTING
SITE PHOTOS

SCALE: NONE
DATE: 4/28/2017
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SCHEMATIC DESIGN SET
6/2/17

PROJECT NO. 17004

A5
SHEET OF

TREES



GINKGO BILOBA
MAIDENHAIR TREE



NYSSA SYLVATICA
TUPELO

PAVING



Plant Legend

Symbol	Botanical Name	Common Name	Size	Wucote
TREES:				
GN BL	Ginkgo biloba	MAIDENHAIR TREE- MALE	24' Box	M
LAG MJB	Lagerstroemia 'Muskogee'	CRAPPE MYRTLE	15 gallon	L
NYB SYL	Nyssa sylvatica	TUPELO	24' Box	M
SHRUBS:				
ARC HOW	Arctostaphylos 'Howard McMin'	HOWARD MCMINN MANZANITA	5 gallon	L
CAR CAL	Carpenteria californica 'Elizabeth'	BUSH ANEMONE	5 gallon	L
CAR MOR	Carex morrowii 'Aurea-variegata'	VARIEGATED JAPANESE SEDGE	1 gallon	M
DIE BIC	Dieta bicolor 'Liz's Selection'	YELLOW WILD IRIS	1 gallon	L
HEL SEM	Helictotrichon sempervirens	BLUE OAT GRASS	5 gallon	L
HEM HYB	Hemerocallis 'Stella de Oro'	DAYLILY	1 gallon	M
LOM LON	Lomandra longifolia 'Breeze'	DWARF MAT RUSH	1 gallon	L
LOR CH	Loropetalum chinense 'Monraz'	RAZZLEBERRY FRINGE FLOWER	5 gallon	L
MUH RIG	Muhlenbergia rigens	DEER GRASS	5 gallon	L
PHO ORE	Phoridium c. 'Cream Delight'	CREAM DELIGHT FLAX	5 gallon	L
RIB SAN	Ribes sanguineum 'Claremont'	PINK FLOWERING CURRANT	5 gallon	L
SAR RUS	Sarcococca ruscifolia	FRAGRANT SARCOCOCCA	5 gallon	M
TEC FRU	Teucrium fruticans 'Aureum'	BUSH GERMANDER	5 gallon	L
INFILTRATION PLANTING:				
CAR DIV	Carex divulsa	BERKELEY SEDGE	1 gallon	L
JUN PAT	Juncus patens 'Elk Blue'	CALIFORNIA GREY RUSH	1 gallon	L
GROUNDCOVERS:				
ARC EME	Arctostaphylos 'Emerald Carpet'	EMERALD CARPET MANZANITA	1 gallon • 36" oz.	L
CEA YAN	Ceanothus 'Yankee Point'	CALIFORNIA LILAC	1 gallon • 55" oz.	L
FES GLA	Festuca glauca 'Elijah Blue'	ELIJAH BLUE FESCUE	1 gallon • 25" oz.	L
LAN SUN	Lantana x 'Sunburst'	SUNBURST LANTANA	1 gallon • 4' oz.	L
LIR MJB	Liriope muscari 'Big Blue'	LILY TURF	1 gallon • 24" oz.	M
ROS WH	Rosa 'White Carpet'	WHITE CARPET ROSE	1 gallon • 4' oz.	M

SHRUBS & GRASSES



ARCTOSTAPHYLOS
'HOWARD MCCMINN'
MANZANITA



CAREX MORROWII
VARIEGATED JAPANESE
SEDE



CARPENTERIA CALIFORNICA
'ELIZABETH'
BUSH ANEMONE



DIETES BICOLOR
'LIZ'S SELECTION'
YELLOW WILD IRIS



HELICTOTRICHON
SEMPERVIRENS
BLUE OAT GRASS



HEMEROCALLIS 'STELLA
D'ORO'
DAYLILY



LOMANDRA LONGIFOLIA
'BREEZE'
DWARF MAT RUSH



LOROPETALUM
CHINENSE
'MONRAZ'
RAZZLEBERRY FRINGE
FLOWER



MUHLENBERGIA
RIGENS
DEER GRASS



RIBES
SANGUINEUM
PINK FLOWERING
CURRANT



SARCOCOCCA
RUSCIFOLIA
FRAGRANT
SARCOCOCCA



TEUCRIUM
FRUITICANS
'AZUREUM'
BUSH GERMANDER

GRAY LINEAR MODULAR PAVERS

INFILTRATION PLANTING



CAREX DIVULSA
BERKELEY SEDGE



JUNCUS PATENS 'ELK BLUE'
CALIFORNIA GREY RUSH

GROUNDCOVERS



ARCTOSTAPHYLOS
'EMERALD CARPET'
MANZANITA



FESTUCA GLAUCA
'ELIJAH BLUE'
BLUE FESCUE



CEANOTHUS 'YANKEE
POINT'
CALIFORNIA LILAC



LANтана X 'SUNBURST'
SUNBURST LANTANA



LIRIOPE MUSCARI
'BIG BLUE'
LILY TURF



ROSA 'WHITE CARPET'
WHITE CARPET ROSE



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Associates**
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2520 CAMINO DIABLO
WALNUT CREEK, CA 94597
P: (925) 941-6490
EMAIL: tc@campandcamp.com

FIRE STATION 3
ROHNERT PARK
CALIFORNIA

PLANT &
MATERIAL
IMAGES



REVISIONS:

•
•
•
•
•

DATE: 07/19/2017

SCALE: NTS

JOB # 17-009

SHEET

L-2



Site Plan
Scale: 1/8" = 1'

Statistics	Area	Perimeter	Volume	Weight	Cost	Notes
Area	10.0	100.0	100.0	100.0	100.0	100.0

Item	Qty	Description	Unit	Material	Cost	Notes
1	1	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 1)	1	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 1)	100.0	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 1)
2	1	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 2)	1	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 2)	100.0	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 2)
3	1	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 3)	1	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 3)	100.0	ASBESTOS-REMEDIATION AND REMEDIATION, INC. (TYPE 3)