



City of Rohnert Park  
Planning Commission Report

**DATE:** July 13, 2017

**ITEM NO:** 8.2

**SUBJECT:** PLSR17-0006 Study Session for Site Plan and Architectural Review for Kentucky Fried Chicken

**LOCATION:** 6700 Commerce Boulevard APN 143-061-003

**REQUEST:** Interior and Exterior remodel of an existing KFC

**APPLICANT:** Victoria Benham Lendlease Development Inc.

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**Background**

The Kentucky Fried Chicken restaurant at 6700 Commerce Boulevard was constructed in 1976. Since then there have been only minor changes to the site. The proposed interior and exterior changes to the site requires Site Plan and Architectural Review (SPAR).

Staff recommends that the Planning Commission conduct a study session to provide the applicant and staff with guidance on proposed modifications to the exterior appearance of the KFC building on Commerce Boulevard and provide direction regarding site design components to the site. Commission comments will assist the applicant in making revisions to the building and site design to be in compliance with the City Design Guidelines, Central Rohnert Park, Priority Development Area Plan, and Zoning Ordinance.

The building is located in a prominent location within the community. The City recently adopted the Central Rohnert Park, Priority Development Area plan and this site is located close to the southern boundary of the PDA. The Planning Commission recently approved The Avram House apartment project immediately to the south of this project. The PDA document recognized this area as a gateway into Central Rohnert Park and calls for both private sector and public sector enhancements to the area.

### Applicant's Proposal

Interior Renovation- The interior changes will consist of new paint finish, lighting, service counters, floor tile, furniture and wall décor. Interior seating will be reduced from 41 seats to 38 seats. During the interior renovation, the restaurant will remain in operation. The interior renovations are not subject to SPAR approval.

Exterior Modifications to the Building Walls and Pyramid Roof Structure- The applicant proposes a number of exterior building features will be removed as follows:

- There is an existing pyramid roof over the main building tower feature facing Commerce Boulevard. The proposal is to remove that portion of the building resulting in a flat roof feature.
- The “Colonel” sign cabinet feature on the wall facing Commerce Boulevard is proposed to be removed and replaced with a new sign.
- Existing exterior awnings/canopies are proposed to be removed and replaced with new metal awnings.
- Existing “KFC” letter set and sign canopy is proposed to be removed.
- Existing lighting over dining room doors is proposed to be removed.
- Existing A&W signage is proposed to be removed and replaced with new signs.

The existing building is a beige color with red trim. The proposal is to repaint the building with the following colors:

- White
- Rembrandt Ruby
- Startling Orange
- Sable
- Iron Ore

The west wall facing Commerce Boulevard is proposed to be combination of white, orange, sable and ruby. The main elevated portion of the building would have the Colonel Sanders logo and orange and white stripes. The east or rear wall is proposed to utilize all four colors with the primary colors being white and ruby. The south elevation would be white, iron ore and ruby with ruby being the primary color. Some of the wall would be alternating ruby and white stripes. The north wall is primarily white with orange and ruby accent. The new metal awnings over the windows would be the orange color.

New lighting fixtures would be provided on the building walls. All of the proposed lighting would be LED energy efficient fixtures.

Signs- The tower feature facing Commerce Boulevard would have the KFC logo and text. There would also be a small A&W sign and the words All American Food. On the south wall would be the letters KFC.

Modifications to the Site Plan – None Proposed

### **Staff Analysis**

The restaurant is located along Commerce Boulevard in a highly visible location within the community. The SPAR for the Avram House apartment project was recently approved by the Planning Commission immediately to the south of this site. This area is considered to be a “gateway” location into the Central Rohnert Park area as identified in the recently adopted Priority Development Area plan and an objective of the City is to see enhancement to architecture and the streetscape in this area.

The goal of a SPAR review is to help the applicant identify ways to enhance the building architecture and site design in such a way that is beneficial to the community at large. The current proposal is deficient in many respects and guidance from the Planning Commission will be beneficial to help create many of the design deficiencies, as follows:

**Tower Roof Element-** There is an existing tower element at the southwest corner of the building, which is the right side of the front elevation facing Commerce Boulevard. It has a metal pyramid roof. The applicant proposes removing the pyramid roof resulting in a flat roof over that portion of the building. The Rohnert Park Design Guidelines for Commercial, Mixed-Use and Multi-Family Buildings adopted in 2012 has Section 2.2 regarding towers. It states that towers should be used to break up long facades. The incorporation of towers is encouraged to add interest to the skyline and break up long facades. Towers with flat roofs or parapets are typically used on modern buildings. Removal of the pyramid roof would be in conflict with the Design Guidelines which specifies that pitched roofs are important for architectural diversity.

**Building Façade** – The remodel of the building could be an opportunity to improve and modernize the façade. The PDA design guidelines call for transparent storefront facades along the street. The current building has windows along the front of the store, but they are typically blocked with signs. An increase in the amount of glass and a more modern façade would be compatible with the recently approved Avram House project immediately to the south of this site.

**Building Material** – The use of higher quality materials, such as brick, stone, metal are not proposed for the new building design. The new building design mostly relies on paint for architectural interest.

**Building Colors-** The design guidelines state that a main building color should be used on primary building surfaces such as walls. The design guidelines in the PDA document call for the use of high quality materials and a “complementary color palette using neutral shades.” Bright primary colors should be avoided. The existing building wall primary color is beige with some red trim colors. On large buildings up to three colors may be used. The proposal is to use four building colors. The use of alternating colors of red and white stripes. The obvious intent is to gain attention to the building using the colors as a type of sign. There is no main building color and the orange and ruby colors are very bright. The proposed color scheme is not consistent with the Design Guidelines or with other commercial buildings in the area.

Compatibility with Surroundings - The Design Guidelines (DG) have two sections regarding compatibility with the surrounding area.

- To maintain visual continuity along street frontages (Page 7 Community Expectations).
- Existing buildings should be designed in keeping with the scale and character of Rohnert Park (Page 8 Improve the aesthetic qualities of buildings).

There are several older shopping centers in the general vicinity of KFC. These have recently been renovated and in one case two new buildings added. They have followed the Design Guidelines using materials and colors that are in keeping with the character of Rohnert Park. They have used subdued colors and have not painted the buildings bright colors to attract attention. The proposed color scheme of KFC does not maintain continuity with the Commerce Boulevard street frontage and is out of character with surrounding commercial development.

Building Architecture should not be used as “Signs” - In the Zoning Ordinance, a partial definition of “Sign” is as follows:

“Sign” means a device, display, figure, message, placard or structure, including its component parts, situated indoors or outdoors, which is constructed, designed, intended or used to advertise or otherwise attract of direct attention, provide information, to a business, event or location, institution, person, product or service...

The alternating red and white stripes on the south facing building wall match the stripes on the container that is used for take-out orders at KFC. Under the definition of a “Sign”, ruby and white stripes on the south facing building wall is clearly intended to attract attention to the business. The maximum sign area is based on the frontage of the property and the frontage of the building facing the street. Taking into consideration the area of the striped portion of the building wall would substantially exceed the permitted sign area for KFC.

Lack of Bicycle Amenities – This site is immediately adjacent to the well-used Copeland Creek bicycle trail. A break in the perimeter wall on the property line, provide a good connection from the trail, but improvement could be considered to enhance this connection. The site does not currently have a designated bicycle parking area as required by the zoning ordinance and the California building code. The PDA design guidelines call for bicycle parking to be located in a clearly visible and secure and well-lit locations.

Lack of Outdoor Amenities – the restaurant has no outdoor seating. Outdoor seating is encouraged throughout Rohnert Park and would be useful in this specific location to help contribute to an active pedestrian oriented environment.

Landscaping – No improvements to the site landscaping are proposed. The applicant should be encouraged to comply with the Water Efficient Landscape Ordinance and upgrade the site landscaping. The use of low impact development (LID) feature should also be considered.

## Discussion Topics-

1. *Building and roof forms*- Staff recommends that the pyramid roof form be maintained or replaced consistent with the following Design Guidelines. The following guideline applies “The incorporation of towers is encouraged to add interest to the skyline and break up long facades (DG Page 25 2.2 Towers)... Towers should be simple massing that corresponds to the style and scale of the building (DG Page 25 C).”
2. *Building façade enhancements* – Staff recommends that the windows facing Commerce are enlarged and that window signage is reduced (in compliance with the zoning ordinance).
3. *Permitted Sign Area*- The applicant proposes a façade feature that is a painted sign according to the Municipal Code definition of a “sign”. The definition of a “Sign” means a device, display, figure, message, placard or structure, including its component parts, situated indoors or outdoors, which is constructed, designed, intended or used to advertise or otherwise attract of direct attention, provide information, to a business, event or location, institution, person, product or service...” The building colors, especially the alternating red and white stripes, correspond to the KFC take-out container and are intended to attract attention to the building and business. Staff recommends that the building colors be modified to not attract attention as a sign.
4. *Building Materials and Colors*- Design Guidelines on page 37 Number 2. state that “Building colors should us a combination of two or three colors and an accent color. A main building color should be used on primary building surfaces such as walls. The PDA design guidelines call for quality materials and a complimentary color palette using neutral colors.
  - Higher quality materials are recommended (e.g. stone, brick, etc.).
  - Subdued color shades are recommended.
  - Avoid bright primary colors.

The proposed colors do not have a main building color, the proposed colors are not subdued shades and bright primary colors are used. This is not in conformance with the Design Guidelines. Staff recommends that a revised color scheme be submitted with colors that comply with the Design Guidelines and are consistent with the surrounding commercial development.

5. *Site Design*- The applicant is not proposing any modifications to the exterior of the site with the exception to modifications to the building facade. Staff is recommending that the following site enhancements are considered:
  - a. Conforms to all ADA requirements;
  - b. Comply with Zoning Ordinance requirement of one (1) tree be planted for every four (4) parking spaces.
  - c. Add a bicycle parking area as required by the zoning ordinance and building code.
  - d. Improve connection from the Copeland Creek Trail

- e. Add outdoor seating in front of the building along Commerce Boulevard.
- f. Enhance landscaping along Commerce Boulevard (water efficient plantings).

**Environmental Determination**

This application is Exempt under CEQA under Article 19 Categorical Exemptions 15301 Existing Facilities Class 1.

**Staff Recommendation:**

Staff recommends that the Planning Commission review the proposal and make recommendations regarding any changes to the proposed building design and site plan.

Attachments:

Applicant's Supporting Statement  
Exhibit A Cover sheet G-1.0  
Exhibit B Site Plan  
Exhibit C Existing Building Elevations and Demolition Floor Plan D-1.0  
Exhibit D Revised Floor Plan A-1.1  
Exhibit E Revised Colored Building Elevations A-2.0  
Exhibit F Lighting Details

APPROVALS:

Norman Weisbrod / sc  
Norman Weisbrod, Technical Advisor

7.7.17  
Date

Jeff Beiswenger  
Jeff Beiswenger, Planning Manager

7-7-17  
Date



June 6, 2017

City of Rohnert Park – Development Services  
Attn: Susan Azevedo  
130 Avram Avenue  
Rohnert Park, CA 94928

**Re: KFC Remodel of Store #E720180 – 6700 Commerce Blvd**

Ms. Azvedo:

On behalf of KFC, Lendlease is submitting the attached documents in support of an application for a Site Plan & Architectural Review to remodel an existing KFC/A&W located at 6700 Commerce Blvd in Rohnert Park.

I have attached the following documents for review per the direction of Norm Weisbrom:

- Zoning and Land Use Application
- 11 drawing sets (1 copies full size and 10 11"x17" copy in color)
- Letter of Authorization from the Owner
- Acknowledgment of Reimbursement Form
- Color and Materials Board
- Cutsheets of Exterior Lighting
- CD with PDF files of Submittal

Scope of work covers interior and exterior cosmetic renovations to the existing KFC to enhance its image. The restaurant kitchen and drive-thru areas will remain in operation during the interior dining room renovation, which includes new paint finish, lighting, service counters, floor tile, furniture, and wall décor. The exterior image upgrade will consist of new exterior branding and new paint finishes. **As this work is cosmetic in nature, no changes will be made to the site plan, building footprint, plumbing or mechanical systems, restrooms or restaurant kitchen.**

**Changes to exterior signage shall be permitted separately by the sign vendor.**

**Please contact me directly once permit review fees have been determined, so that I may arrange for payment.** In the meantime, please do not hesitate to contact me with any review comments or questions.

Thank you,

Victoria Benham

Assistant Zoning Manager, Multi-Site Group, Project Management & Construction  
125 S. Clark Street, 17<sup>th</sup> Floor, Chicago, IL 60603  
T: (312)248-1448 | F: (312)423-1301  
[victoria.benham@lendlease.com](mailto:victoria.benham@lendlease.com) | [www.lendlease.com](http://www.lendlease.com)



Lendlease Development Inc.  
One North Wacker Drive, Suite 850, Chicago, IL 60606 [www.lendlease.com](http://www.lendlease.com)  
T 312 245 1000 F 312 245 1379









**KFC**

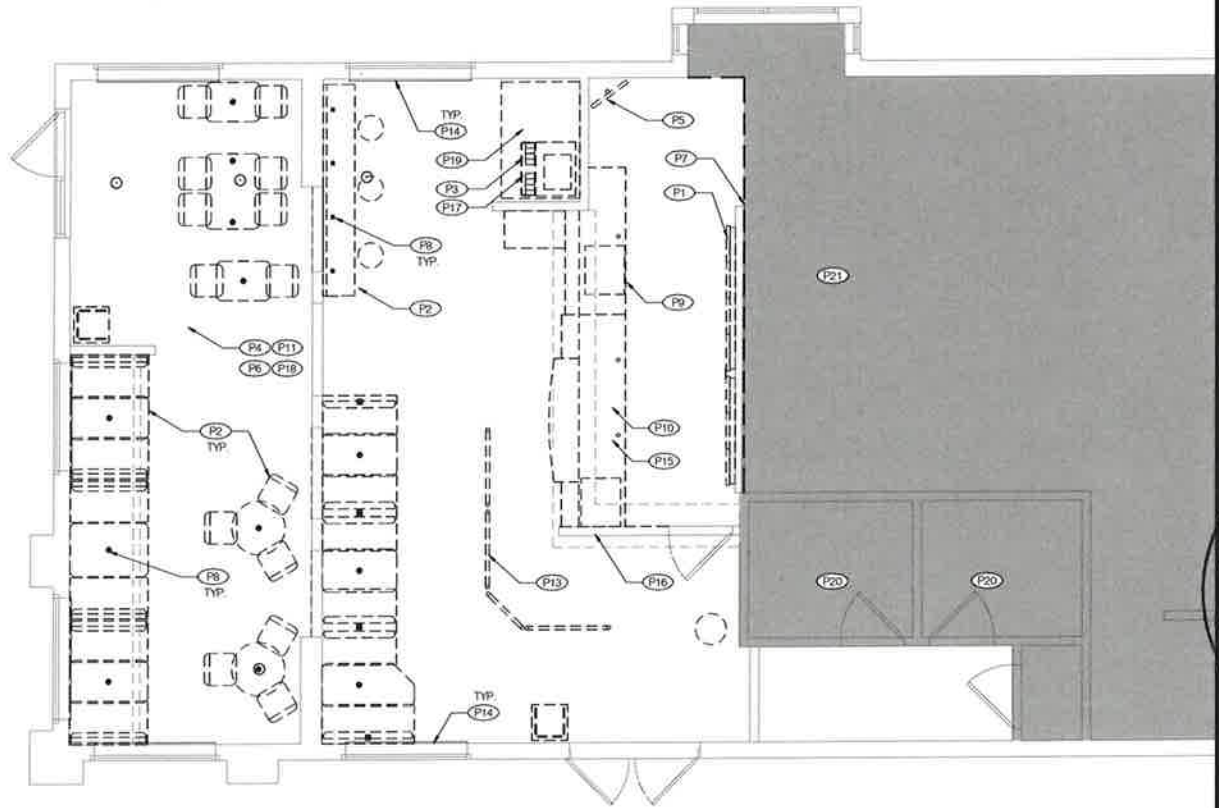
**DAVID BOYCE**  
ARCHITECT

604 COURTLAND STREET SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.445.6008  
FX 407.629.9124

SEAL  
THIS DOCUMENT IS NOT FOR CONSTRUCTION  
UNLESS THE ARCHITECT'S SEAL AND SIGNATURE  
APPEAR BELOW



JUN 26 2017



#### LEGEND



#### DEMOLITION FLOOR PLAN

Scale: 1/4" = 1'-0"

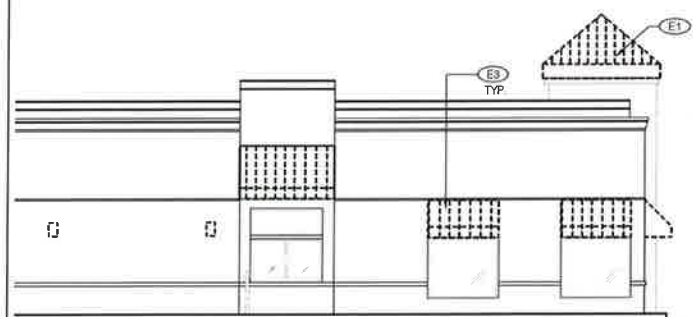


#### DEMOLITION FLOOR PLAN KEY NOTES - ISR

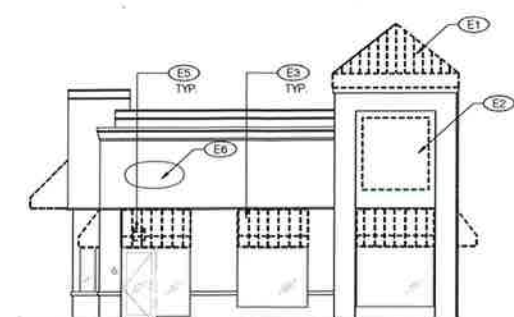
- |   |  |   |
|---|--|---|
| <p>(P1) REMOVE EXISTING MENUBOARD &amp; SAVE FOR REUSE</p> <p>(P2) REMOVE ALL EXISTING FIXTURES, BOOTHS, TABLETOPS &amp; CHAIRS IN DINING ROOM - EXISTING TABLE STEEL POST TO REMAIN UNLESS NOTED OTHERWISE</p> <p>(P3) EXISTING BEVERAGE DISPENSER TO BE REMOVED BY OWNERS VENDORS</p> <p>(P4) REMOVE CHAIR RAIL AND WALLCOVERING ABOVE (TILE BASE AND WAINSCOTING TO REMAIN, UNLESS NOTED OTHERWISE)</p> <p>(P5) EXISTING SECURITY MONITOR SYSTEM TO REMAIN, PROTECT AS NECESSARY</p> <p>(P6) REMOVE ALL INTERIOR WALL SIGNS, DECOR ELEMENTS &amp; ARTWORK - SAVE "KFC FOUNDATION" ARTWORK FOR REUSE</p> <p>(P7) TEMPORARY VISQUEEN DUST PARTITION, COORDINATE EXACT LOCATION IN FIELD WITH FRANCHISEE AND PROVIDE A TIGHT SEAL</p> | <p>(P8) EXISTING TABLE STEEL POST TO BE REMOVED</p> <p>(P9) EXISTING UNDER COUNTER SAFE TO REMAIN PROTECT FROM DUST</p> <p>(P10) EXISTING POS, CASH DRAWER, CUP DISPENSER AND ALL HARDWARE TO BE REMOVED, SAVED AND SEALED IN A DUST FREE ENVIRONMENT</p> <p>(P11) EXISTING FLOORING AND COVE BASE TO REMAIN</p> <p>(P12) REMOVE EXISTING HALF HEIGHT WALL - PATCH FLOOR AS NEEDED</p> <p>(P13) REMOVE ALL QUEUING RAILS AND POSTS - PATCH FLOOR AS NEEDED</p> <p>(P14) REMOVE EXISTING WINDOW SILLS</p> <p>(P15) EXISTING SERVICE COUNTER TO BE REMOVED (KNEE WALL TO TO BE MODIFIED AS NEEDED)</p> | <p>(P16) EXISTING HALF HEIGHT WALL TO REMAIN - NEW PANEL AND CAPS</p> <p>(P17) GENERAL CONTRACTOR TO PUMP DOWN, REMOVE, AND SALVAGE EXISTING ICE MACHINE FOR REUSE</p> <p>(P18) REMOVE EXISTING ELECTRICAL (LED PANELS) MENU BOARD AND SAVE - FOR REINSTALL BY OWNER/VENDOR</p> <p>(P19) EXISTING FOUNTAIN DRINK COUNTER TO BE REMOVED (KNEE WALL TO TO BE MODIFIED AS NEEDED) - UNLESS SS COUNTER</p> <p>(P20) KEEP EXISTING RR FIXTURES AND ACCESSORIES</p> <p>(P21) NO WORK IN THIS AREA</p> |
|---|--|---|

#### ELEVATION KEY NOTES - ISR

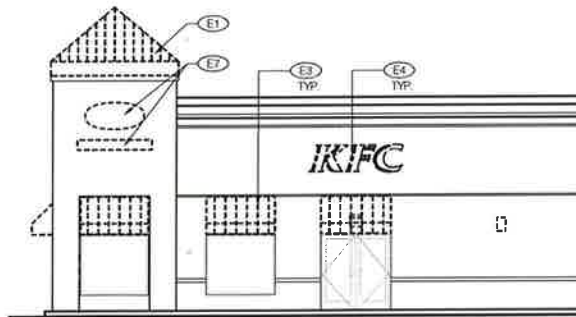
- (E1) REMOVE STRIPED PYRAMID ROOF, FRAMING, SKIRT AND EXISTING LIGHT FIXTURE-RETAIN CIRCUIT FOR RE-USE
- (E2) REMOVE "COLONEL" SIGN CABINET - DISCONNECT POWER & RETAIN CIRCUIT FOR RE-USE
- (E3) EXISTING EXTERIOR AWNINGS / CANOPIES TO BE REMOVED
- (E4) REMOVE EXISTING "KFC" LETTER SET-SIGN FACE AND CABINET
- (E5) REMOVE EXISTING WALL-PACK LIGHTING OVER DINING ROOM DOORS
- (E6) EXISTING A&W SIGNAGE TO REMAIN
- (E7) EXISTING A&W SIGNAGE TO BE REMOVED



**3 - EXISTING DRIVE-THRU ELEVATION**  
Scale: 1/8" = 1'-0"



**2 - EXISTING FRONT ELEVATION**  
Scale: 1/8" = 1'-0"



**1 - EXISTING ENTRY ELEVATION**  
Scale: 1/8" = 1'-0"

#### GENERAL NOTES

- A. THE G.C. SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT, OR ADJACENT TO THE PREMISES. THE G.C. SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- B. THESE DEMOLITION PLANS ARE TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF WORKING DRAWINGS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- C. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
- D. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- E. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED SURFACES AS OUTLINED IN THE DRAWINGS.
- F. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION.
- G. ABANDONED PIPES SHALL BE CAPPED IN A MANNER TO CONCEAL WITHIN WALL, CEILING OR FLOOR.
- H. DEMOLITION MEANS AND METHODS ARE CONTRACTORS RESPONSIBILITY.
- G. A SINGLE RESTROOM TO BE AVAILABLE AND FUNCTIONING AT ALL TIMES FOR EMPLOYEES DURING RENOVATION.

IP, PROJECT NO. 2016.6163

#### DRAWING SUBMITTALS

DATE		BY	
07/18/16	DATE	DM	BY
DATE		PERMIT SET SUBMITTAL	
07/18/16	DATE	DM	BY
DATE		PERMIT SET REVIEW	
DATE	DATE	BY	BY

#### REVISION:

Mark	Date	By
1	06/18/17	MS

CITY COMMENTS

#### PROJECT TITLE

"K-30 SERIES 6000  
TO AMERICAN SHOWMAN"  
TEMPLATE VERSION  
RELEASE 2.0 MAR. 2016

6700 COMMERCE BLVD.  
ROHNERT PARK CA 94928

COMMISSION NO. E720180  
ISSUE DATE 07-01-2016

#### SHEET TITLE

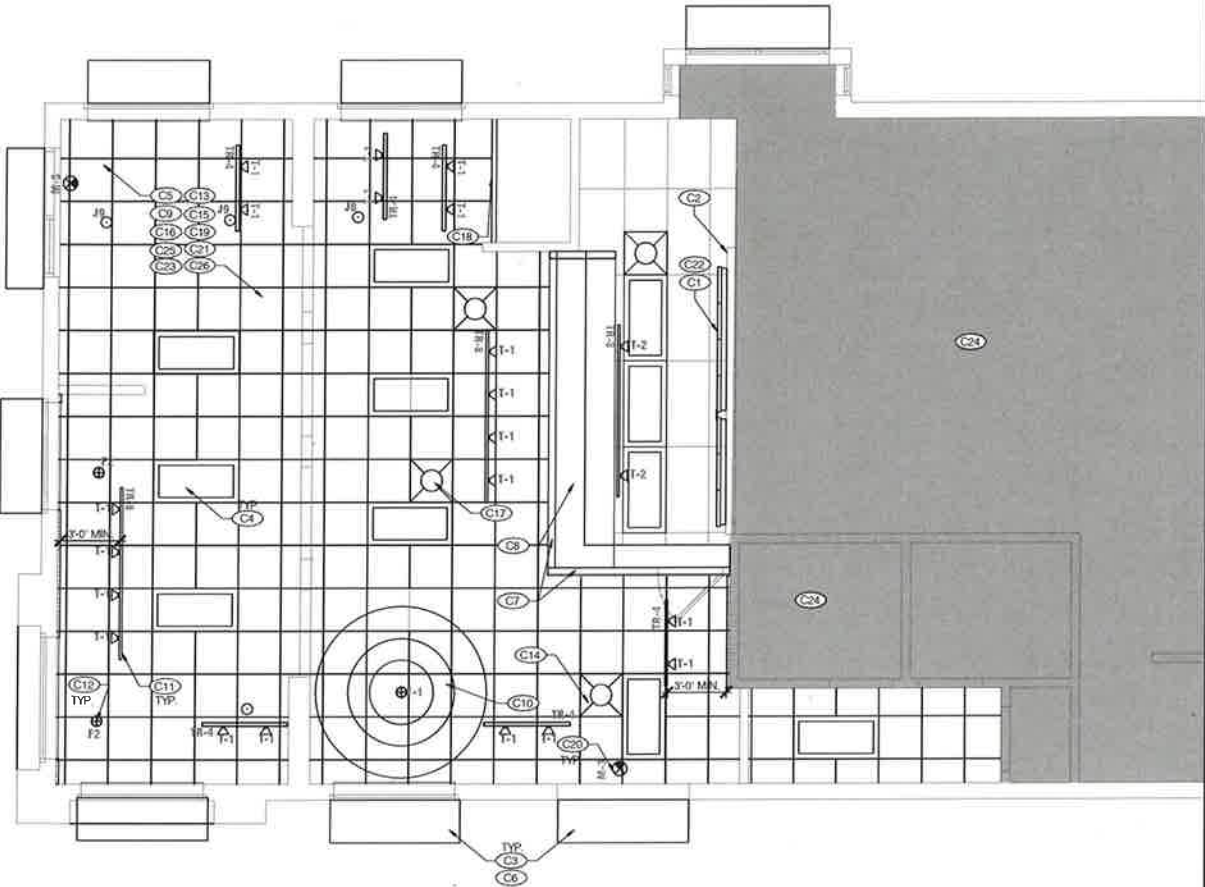
**DEMOLITION FLOOR  
PLAN, CEILING PLAN  
& EXTERIOR  
ELEVATIONS**

#### SHEET NO.

**D-1.0**



CEILING HEIGHT:  
9'-0" A.F.F. V.A.P.



**CEILING PLAN**  
Scale: 1/4" = 1'-0"



**LEGEND**



**NOTE:**  
REFER TO A-2.0 EXTERIOR  
ELEVATIONS FOR WALL  
SCOFFE LOCATIONS

**REFLECTED CEILING PLAN KEY NOTES - ISR BASE**

- |  |   |   |
|--|---|---|
| <p>C1 REINSTALL EXIST. MENU BOARD.</p> <p>C2 NEW STAINLESS STEEL CAP AT UNDERSIDE OF EXISTING BULKHEAD</p> <p>C3 WIRING OF LIGHTS IN CANOPY BY VENDOR. E.C. SHALL MAKE FINAL CONNECTION TO EXISTING LIGHTING CIRCUIT THIS AREA</p> <p>C4 REPLACE EXISTING LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES IN DINING, BEHIND SERVICE COUNTER, RESTROOMS, HALLWAYS</p> <p>C5 EXISTING CEILING RECEPTABLES TO REMAIN</p> <p>C6 NEW EXTERIOR AWNING / LOUVER, REFER TO EXTERIOR ELEVATIONS</p> <p>C7 CUSTOM MILLWORK, FAUX WOOD BEAMS - MODIFY EXISTING SOFFIT/ CEILING AS NEEDED TO ACCOMMODATE NEW BEAM EXISTING</p> <p>C8 SOFFIT TO BE PAINTED (P-6, WEDDING VEIL) EGGSHELL FINISH</p> <p>C9 NEW CEILING TILE AND INTERMEDIATE GRID TO MATCH EXISTING WHERE LAY-IN LIGHT WAS REMOVED</p> | <p>C10 NEW BUCKET PENDANT LIGHT AND LIGHT RING. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS</p> <p>C11 NEW TRACK LIGHTING - POSITION AT 3'-0" FROM WALL UNO ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS</p> <p>C12 NEW PENDANT LIGHTING CENTERED ABOVE TABLE</p> <p>C13 PAINT CEILING (P-6)</p> <p>C14 EXISTING GRILLES AND DIFFUSERS</p> <p>C15 EXIST. CEILING GRID/TILES, REPLACE DAMAGED CEILING TILES AS REQ'D - MATCH EXISTING TILE</p> <p>C16 EXISTING SPEAKERS WHITE (P-6)</p> <p>C17 RELOCATED DIFFUSERS, ADJUST SUPPLY LINE TO FEED NEW DIFFUSER</p> <p>C18 INSTALL NEW PEPSI SIGN</p> | <p>C19 EXISTING WI-FI ROUTER IN SAME LOCATION</p> <p>C20 REINSTALL EXISTING BUG LIGHTS, EXT. SIGNS, EM LIGHTS AS NEEDED</p> <p>C21 EXISTING CCTV/CAMERAS/SMOKE DETECTORS TO BE RELOCATED BY OWNER'S VENDOR AS NEEDED</p> <p>C22 REINSTALL EXISTING ELECTRICAL (LED PANELS) MENU BOARD BY OWNER VENDOR</p> <p>C23 RELOCATE EXISTING T-STAT AS NEEDED</p> <p>C24 NO WORK THIS AREA</p> <p>C25 RELOCATED LIGHT FIXTURE LOCATION FOR NEW TRACK LIGHTS, USE CIRCUIT FROM LIGHTING REMOVED</p> <p>C26 INSTALL NEW LED LIGHT BULBS IN EXISTING RECESSED CAN LIGHTS IN DINING, BEHIND SERVICE COUNTER AS NEEDED</p> |
|--|---|---|

**GENERAL NOTES - LIGHTING / ELECTRICAL**

- A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER
- B. EMERGENCY AND STANDARD LIGHTING MARKED WITH 'NL' SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNSWITCHED HOT TO STANDARD AND EMERGENCY BALLASTS
- C. EMERGENCY LIGHTING NOT MARKED WITH 'NL' SUBSCRIPT: PROVIDE UNSWITCHED CONSTANT HOT TO EMERGENCY BALLAST AND SWITCHED HOT TO STANDARD BALLAST
- D. CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE
- E. ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABLE CIRCUITS IN ELECTRICAL PANELS AND REUSE EXISTING CIRCUITS AS AVAILABLE
- F. CONNECT LIGHTING CIRCUITS TO EXISTING LIGHTING CONTROL PANEL. COORDINATE CONTROL SEQUENCE AND TIME OF DAY SCHEDULING WITH FRANCHISEE
- G. EXISTING 2X4 AND 2X2 LIGHTING TO BE RE-LAMPED (WITH LED)
- H. REFER TO A2.0 FOR ADDITIONAL EXTERIOR LIGHTS NOT SHOWN ON PLAN
- I. ALL NEW LIGHTING TO BE COORDINATED WITH EXISTING MECHANICAL GRILLES
- J. EXISTING ELECTRICAL PANEL LOCATIONS & NEW CIRCUITS SHALL BE VERIFIED BY E.C. E.C. SHALL COORDINATE & VERIFY FINAL ELECTRICAL WITH LIGHTING / SIGNAGE SUPPLIERS
- K. PROVIDE ESCUTCHEON PLATES AND SEALANT AT ALL UTILITY PENETRATIONS OF WALLS, CEILINGS, AND FLOORS. DO NOT USE CAULK OR EXPANDING FOAM FOR SEALANT
- L. ALL WIRING TO BE PER NEC INSTALLATION REQUIREMENTS SIZED FOR 40% MAX FILL PER NEC
- M. RELOCATED DEVICES TO BE ROUTED IN FLEXIBLE METAL CONDUIT.
- N. G.C./E.C. IS RESPONSIBLE FOR FIELD VERIFYING THE EXISTING ELECTRICAL CAPACITY AND CONFIRMING THAT THE NUMBER OF SPARES AT THE PANELS IS ADEQUATE FOR THE ADDITION/RELOCATION OF THE SERVICES SHOWN. G.C. TO NOTIFY KFC PM IF EITHER SERVICE OR NUMBER OF SPARES IS FOUND TO NOT MEET THE NECESSARY REQUIREMENTS
- O. E.C. SHALL PROVIDE J-BOX FOR SIGNAGE BY SIGN VENDOR. FINAL CONNECTION TO BUILDING POWER BY E.C.
- P. E.C. SHALL PROVIDE J-BOX FOR NEW EXTERIOR LIGHT FIXTURE. FINAL CONNECTION TO BUILDING POWER BY E.C.
- Q. E.C. SHALL COORDINATE EXACT ROUTING OF ALL NEW AND RELOCATED CIRCUITS. FIELD VERIFY EXISTING CONDITIONS. ALL WORK AND WIRING PER NEC INSTALLATION REQUIREMENTS. ALL WORK TO BE CONCEALED. SURFACE MOUNT RACEWAYS ARE NOT PERMITTED
- R. EXTERIOR DOOR CLOSERS SHALL BE ADJUSTED TO HAVE A MAXIMUM 5 LBS OPENING FORCE

**LIGHTING SCHEDULE**

NO.	LOCATION	MFG/CATALOG NUMBER	DESCRIPTION	WATTS/ VOLTS
D-1	SALES FLOOR	ELITE: B6C-AT-W (HOUSING) TCP: 70874 LED14DR5630K95	6" IC AIR SHUT RECESSED CAN WITH MEDIUM BASE SOCKET AND HANGER BARS, WHITE 6" 3000K 95 CRI TRIM WITH QUICK CONNECT PLUG	14 WATTS / 120 VOLTS
D-2	SALES FLOOR	CONTECH: LVR316S-39WATT (HOUSING) CONTECH: CTR301-WHT-P	3" LOW VOLTAGE DOWNLIGHT WITH WHITE ADJUSTABLE BAFFLE TRIM WITH 15 DEGREE ADJUSTMENT	7 WATTS / 120 VOLTS
D-3	SALES FLOOR	CONTECH: LVR316S-39WATT (HOUSING) CONTECH: CTR301-WHT-P	3" LOW VOLTAGE DOWNLIGHT WITH WHITE FULLY ADJUSTABLE TRIM	7 WATTS / 120 VOLTS
F-2	SALES FLOOR	MINKA: 2280-44	GLASS PENDANT WITH BRUSHED NICKEL FINISH MEDIUM BASE SOCKET	3 WATTS / 120 VOLTS
T-1	SALES FLOOR	JUNO: R660LJHCNWH	VERTICAL INTEGRATED LED TRACK LIGHT WHITE FINISH 3000K HI-CRI 23 DEGREE NARROW BEAM	10 WATTS / 120 VOLTS
T-2	MENU BOARD LIGHT	CONTECH: CTL181VSCDP	VERTICAL INTEGRATED LED WALL WASHER TRACK LIGHT 3000K HI-CRI	35 WATTS / 120 VOLTS
TRACK	SALES FLOOR	CONTECH: LTP14L1P LMP1 LSP	SINGLE CIRCUIT LINE VOLTAGE TRACK LIGHT WHITE FINISH	
D1CA	TITLE 24 SALES FLOOR DOWNLIGHT (REPLACEMENT)	ELITE: B6-GU24-IC120-W (HOUSING) ELITE: RL628DMTR-120-30K-90-W-WH-GU24 SA	6" IC AIR SHUT RECESSED CAN WITH GU24 BASE SOCKET AND HANGER BARS	15 WATTS / 120 VOLTS
L-1	SALES FLOOR RECESSED TROFFER	MOBERN: MFPEL24LED55DMWH485	2X4 LED EDGE LIT FLAT PANEL 3500K	4 WATTS / 120 VOLTS
L-2	SALES FLOOR RECESSED TROFFER	MOBERN: MFPEL24LED35DMWH485	2X2 LED EDGE LIT FLAT PANEL 3500K	35 WATTS / 120 VOLTS
L-3	RESTROOM RECESSED TROFFER	MOBERN: MFPEL14LED37DMWH485 MOBERN: SMK14-MFPEL PROGRESS: P5675-31 (LIGHT) PROGRESS: P8799-31 (TOP COVER) RAB: WPLED20Y	1X4 LED EDGE LIT FLAT PANEL 3500K WITH FLANGE KIT (2) LAMP EXTERIOR RATED UP/DOWN WALL SCONCE BLACK FINISH WITH TOP LENS COVER EXTERIOR RATED LED WALL PACK 3000K BRONZE FINISH	37 WATTS / 120 VOLTS 28 WATTS / 120 VOLTS 20 WATTS / 120 VOLTS
M-2	WALL SCONCE			
M-3	WALL SCONCE			

**LEGEND**



**FINISH PLAN KEY NOTES - ISR**

- |  |  |   |
|--|--|---|
| <p>F1 POST MAX. OCCUPANT LOAD ON WALL ADJACENT TO MAIN ENTRY</p> <p>F2 SKIM COAT EXISTING WALLS (TO LEVEL 3) WHERE WALLCOVERING HAS BEEN REMOVED. PRIME AND PAINT WALLS AND PAINT EXISTING WAINSCOT, UNLESS OTHERWISE NOTED</p> <p>F3 EXISTING KNEE WALL - MODIFY / REBUILD AS NEEDED TO ACCOMMODATE COUNTERTOP AT 33" A.F.F. COVER WITH NEW DECORATIVE PANELS - SERVICE COUNTER &amp; FOUNTAIN UNIT COUNTER</p> <p>F4 NEW SURFACE MOUNTED STAINLESS STEEL CORNER GUARDS, PROVIDE AND INSTALL GUARD 18GA 3/4" x 3/4" WIDE TO EXPOSED SURFACES WITH SILICONE ADHESIVE</p> <p>F5 EXISTING FLOOR AND BASE TILE TO REMAIN. PATCH FLOOR WITH NEW FLOOR TILE WHERE POSTS, RAILS AND WALLS ARE REMOVED. NEW TILE TO MATCH EXISTING. PATCH AND REPAIR ANY DAMAGED TILE TO THE NEAREST FULL TILE</p> <p>F6 NEW BLOCKING IN WINDOW OPENING TO SUPPORT DECORATIVE WALL PANELS</p> | <p>F7 NEW PREFINISHED FLOOR TO CEILING DECORATIVE WALL TRIM PANELS ON EXISTING WALL SURFACE. INSTALL PANELS 1/2" BELOW CEILING FOR VENTILATION PURPOSES</p> <p>F8 NEW PRE-PRIMED VENDOR PROVIDE #1 WINDOW TRIM TO BE PAINTED P-6. REFER TO FINISH SCHEDULE</p> <p>F9 NEW FRP PANELS OVER EXISTING SIDE WALLS &amp; BULKHEAD TILE</p> <p>F10 NEW VENDOR PROVIDED FLOOR TO CEILING "QUOTE WALL" - REFER TO INTERIOR ELEVATIONS</p> <p>F11 NEW WHITE CORIAN WINDOW SILL / WALL CAP (SS-2)</p> <p>F12 INSTALL 6" RUBBER WALL BASE OVER NEW WALL PANEL</p> <p>F13 INSTALL NEW SOLID SURFACE COUNTERTOPS</p> <p><del>F14 RE-GLAZED UNDERWALL WITH NEW LAMINATE PANELS PROVIDED BY MILLWORK VENDOR. RE-GLAZE OVER EXISTING PANELS, and INSTALL CORIAN TOP CAP. REFER TO FINISH SCHEDULE</del></p> | <p>F15 RESTROOMS - PAINT EXISTING CEILING/WALLS</p> <p>F16 INSTALL NEW WAINSCOTING AND CHAIR RAIL</p> <p>F17 PREFINISHED ALUMINUM CORNER GUARDS TO MATCH NEW WALL FINISH</p> <p>F18 NO WORK THIS AREA</p> |
|--|--|---|

**FLOOR FINISH PLAN**  
Scale: 1/4" = 1'-0"



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SEAL  
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UNLESS THE ARCHITECT'S SIGNATURE IS  
PRESENT AND THE SEAL IS AFFIXED BELOW



JUN 26 2017

IP: PROJECT NO # 2016 6163

**DRAWING SUBMITTALS**

EXTERIOR DEVELOPMENT REVIEW SET

DATE: 05/19/17 BY: MS

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DATE: 05/19/17 BY: MS

DATE: 05/19/17 BY: MS

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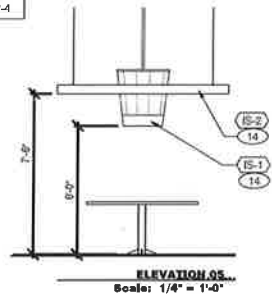
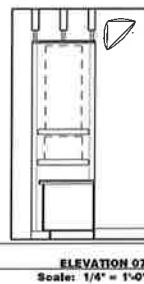
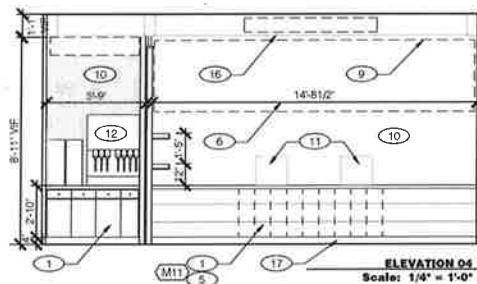
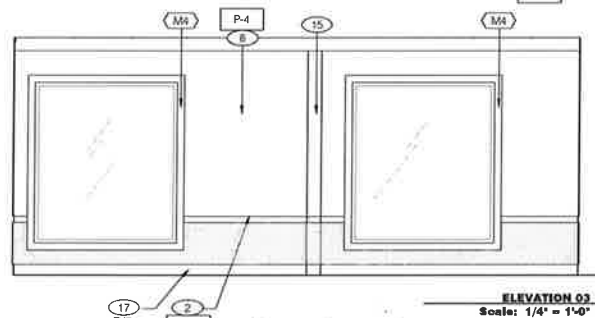
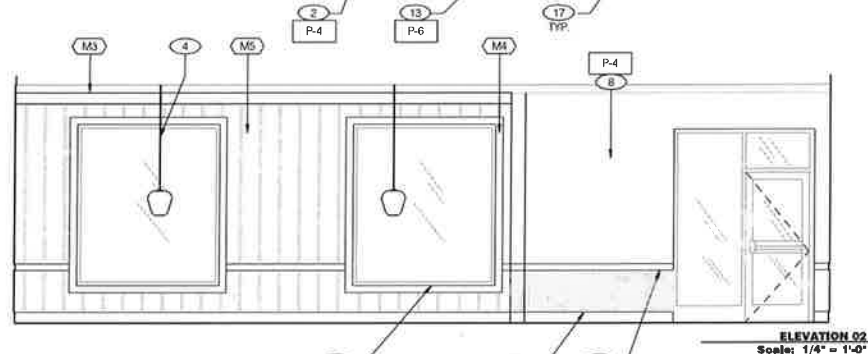
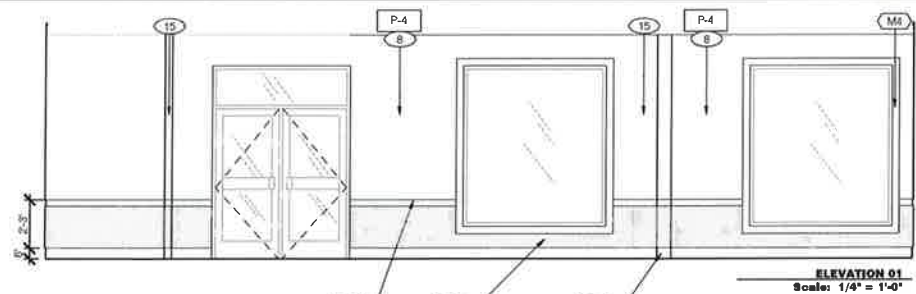
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#### INTERIOR ELEVATION KEY NOTES - ISR

NOTE: REFER TO FINISH SCHEDULE ON SHEET A-1.0

- NEW SERVICE COUNTER (OVER EXISTING KNEE WALL)
- NEW CHAIR RAIL PRE-PRIMED BY VENDOR, INSTALL WITH REVEAL TO CEILING
- VENDOR PROVIDED WINDOW SILL, JAMB AND HEADER RETURNS ON RED WALL TO BE PAINT P-6
- NEW PENDANT LIGHT FIXTURES - SEE CEILING PLAN
- VENDOR PROVIDED FRAMED ARTWORK, USE PROVIDED TEMPLATE TO INSTALL
- EXISTING MENUBOARD
- PAINT EXISTING WAINSCOT
- SKIM COAT EXISTING WALLS (TO LEVEL 3), PRIME AND PAINT ABOVE CHAIR RAIL
- EXISTING SOFFIT (FACE AND UNDERSIDE) TO BE PAINTED P-4
- NEW FRP PANEL OVER EXISTING TILE
- EXISTING POS EQUIPMENT
- EXISTING PEPSI DISPENSER / ICE MACHINE
- STAINLESS STEEL HEADER CAP ON EXISTING BULKHEAD
- NEW SUSPENDED BUCKET GRAPHIC ELEMENT
- NEW SURFACE MOUNTED CORNER GUARDS
- NEW ORDER COUNTER FAUX BEAMS OVERHEAD
- NEW 6" WALL BASE

#### IMAGE COMPONENT SCHEDULE (CONT'D)

GRAPHICS	
G1	*KITCHEN* SIGN
G2	CHALK BOARD - PRINTED
G3	REAL MEALS GUARANTEE
G4	SECRET PROCESS ART
G5	PEPSI FILLING STATION SIGN
G6	FOCAL WALL ART
G7	POSTER ARTWORK HANGING RAIL SYSTEM
G7a	POSTER ARTWORK - "SOUTHERN INSPIRED"
G7b	POSTER ARTWORK - "SANDERS FOR SENATOR"
G7c	POSTER ARTWORK - "COLONEL 101"
G7d	POSTER - "NO! CHICKEN SALESMAN"
G7e	POSTER ARTWORK - "PRESSURE COOKER"
G7f	POSTER ARTWORK - "BUCKET LIST"
G7g	POSTER ARTWORK - "SECRET RECIPE"
G7h	POSTER ARTWORK - "4000 STATUES"
G8	"THANKS" MESSAGE
G9a	STORE HOURS - ENTRY DOOR
G9b	STORE HOURS - DT WINDOW
G9c	STORE HOURS - SPEAKER POST
G10	RESTROOM SIGNS
G11	COLONEL'S OFFICE SIGN
G12	RESTROOM MIRROR MESSAGE
G13	COMMUNITY MESSAGE
G15a	BOH ART - COMMUNICATION BOARD (VERT. & HORIZ)
G15b	BOH ART - FAMILY PRIDE BOARD
G15c	BOH ART - COLONEL PROUD BANNER
G15d	BOH ART - COLONEL TIE MIRROR
G15e	BOH ART - GREATEST CHICKEN COLLAGE
G15f	BOH ART - SERVICE PROMISE SIGN

#### LEGEND



\*\* COORDINATE EXACT GRAPHIC LOCATIONS AND HANGING INSTRUCTIONS WITH VENDOR SPECS

#### IMAGE COMPONENT SCHEDULE (CONT'D)

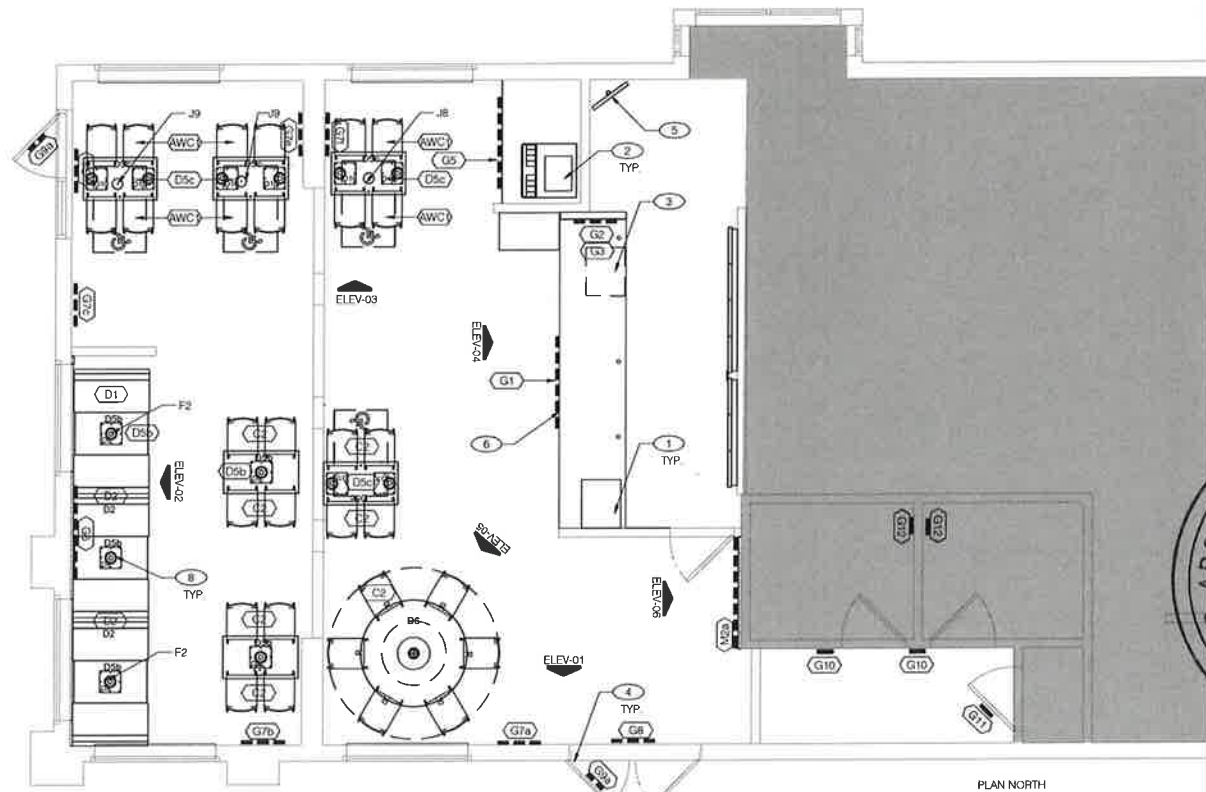
MILLWORK	
M1a	ORDER COUNTER/DRINK COUNTER COMPONENTS - K30
M1b	ORDER COUNTER/DRINK COUNTER COMPONENTS - K50
M1c	ORDER COUNTER/DRINK COUNTER COMPONENTS - K36
M1d	ORDER COUNTER/DRINK COUNTER COMPONENTS - K60
M1e	ORDER COUNTER/DRINK COUNTER COMPONENTS - K32
M1f	ORDER COUNTER/DRINK COUNTER COMPONENTS - K90
M1g	ORDER COUNTER/DRINK COUNTER COMPONENTS - Y04
M2a	ENTRY FOCAL WALL WITH REAL MEALS QUOTE - STANDARD
M2b	ENTRY FOCAL WALL WITH REAL MEALS QUOTE - OVER CHAIR RAIL
M3	FOCAL WALL PANELS - BACK RED WALL
M4	WINDOW TRIM - PRE-PRIMED
M5	CROWN MOULDING
M6	BUCKET BOOTH WITH BAR COUNTER/CURVED GLASS DIVIDER SCREEN
M7	CONDIMENT STATION WITH RAIL ASSEMBLY
A&W DECOR	
AWD1	CUSTOM A&W SETTEE (14'-0" L)
AWD2	A&W UPHOLSTERED BOOTH SEATS
AWD3	A&W UPHOLSTERED BOOTH SEAT BACKS
AWD4	CONDIMENT COUNTER
AWD5	A&W DINING SCREEN - PARTIAL HEIGHT (11'-0" L)
A&W GRAPHICS	
AWG1	A&W SINCE 1919 (SIGN)
AWG2	A&W BULLS EYE (SIGN)
AWG3	A&W FRESH ROOT BEER (SIGN)
AWG4	A&W SIMPLE DELICIOUS (SIGN)
AWG5	A&W ROOT BEER 5 CENT (MURAL)

#### IMAGE COMPONENT SCHEDULE (XX)

INTERIOR SPECIALTIES		
TAG	QTY	ITEM DESCRIPTION
IS-1		BUCKET
IS-2		RING CEILING ELEMENT
DECOR		
D1		SANDERS BOOTH - SINGLE
D2		SANDERS BOOTH - DOUBLE
D3		TRASH UNIT - SINGLE
D4		TRASH UNIT - DOUBLE
D5a		TABLE TOP - 21" X 24"
D5b		TABLE TOP - 24" X 42"
D5c		TABLE TOP - 24" X 42" HC W/ SYMBOL
D5d		TABLE TOP - 30" X 42" HC W/ SYMBOL
D5e		TABLE TOP - 30" X 33-1/2"
D5f		TABLE TOP - 30" ROUND
D5g		TABLE TOP - 30" ROUND HC W/ SYMBOL
D5h		TABLE TOP - 36" ROUND
D5i		TABLE TOP - 36" ROUND HC W/ SYMBOL
D6		FOCAL TABLE 60" ROUND WITH CUSTOM BASE
D7		FOCAL TABLE CUSTOM SIZE ROUND WITH CUSTOM BASE
D8		CLIP DOWN STEEL TABLE POST WITH ESCUTCHEON BASE AND MOUNTING PLATE HC
D9		CLIP DOWN STEEL TABLE POST WITH ESCUTCHEON BASE AND MOUNTING PLATE HC
D10		CLIP DOWN STEEL TABLE POST WITH ESCUTCHEON BASE AND OFFSET MOUNTING PLATE HC
CHAIRS		
C1		CAFE DINING CHAIRS
C2		CAFE DINING CHAIRS - KFC RED SEAT
C3		CAFE BAR CHAIRS - KFC RED SEAT

#### FIXTURES & GRAPHICS KEY NOTES:

- EXISTING P.O.S. EQUIPMENT - INCL. EXIST. OR NEW UNDER COUNTER CASH DRAWER BRACKET
- RE-INSTALL EXISTING ICE MACHINE & BEVERAGE DISPENSER - SEE SHEET D1.0
- EXISTING SAFE
- REPLACE EXTERIOR/INTERIOR BRANDED, PLASTIC DOOR PANEL WITH PREFINISH PANEL TO MATCH DOOR FRAME
- EXISTING SECURITY MONITOR, RELOCATE AS NECESSARY FOR NEW SERVICE COUNTER LAYOUT
- CUSTOM MILLWORK PROVIDED BY VENDOR
- RE-INSTALL EXISTING KFC FOUNDATION ARTWORK
- PAINT EXISTING TABLETOP POSTS - MATTE BLACK



FIXTURES & GRAPHICS PLACEMENT PLAN  
Scale: 1/4" = 1'-0"



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JUN 26 2017

IP, PROJECT NO. 2016.6163

#### DRAWING SUBMITTALS

DATE		BY
07/18/16	SM	
07/18/16	BT	
07/18/16	BT	
07/18/16	BT	
07/18/16	BT	

#### REVISION:

Mark	Date	By
1	06/16/17	MS

#### PROJECT TITLE

"K-30 SERIES 6000  
TO AMERICAN SHOWMAN"  
TEMPLATE VERSION  
RELEASE 2.0 MAR. 2016

6700 COMMERCE BLVD.  
ROHNERT PARK CA 94928

COMMISSION NO. E720180

ISSUE DATE 07-01-2016

SHEET TITLE

FIXTURE GRAPHIC  
PLACEMENT PLAN &  
INTERIOR  
ELEVATIONS

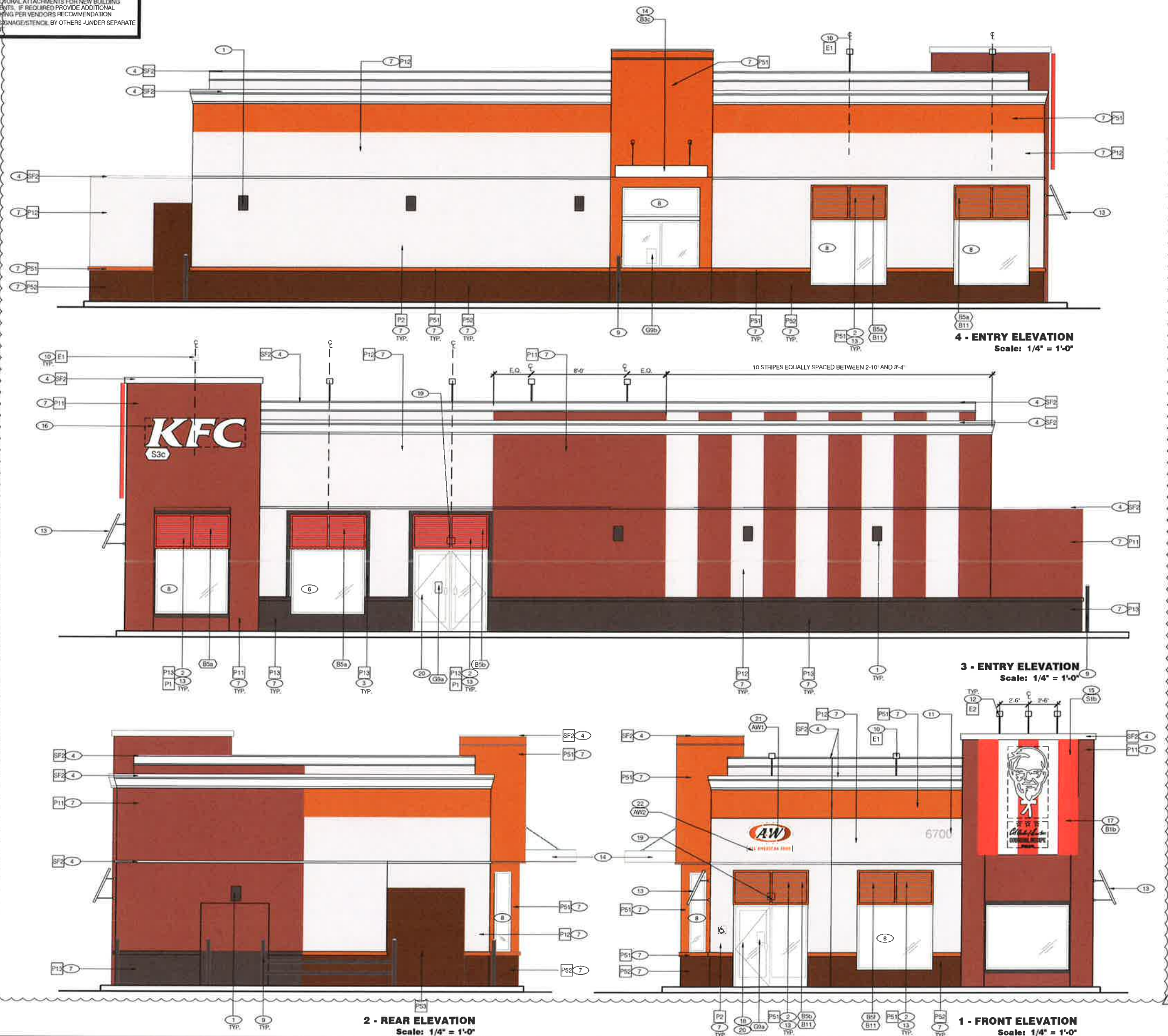
SHEET NO.

A-1.1

DAVID BOYCE ARCHITECT © 2017



G.C. TO PROVIDE VERIFICATION OF EXISTING  
STRUCTURAL ATTACHMENTS FOR NEW BUILDING  
ELEMENTS. IF REQUIRED PROVIDE ADDITIONAL  
BLOCKING PER VENDORS RECOMMENDATION  
KFC SIGNAGE/STENCIL BY OTHERS -UNDER SEPARATE  
PERMIT



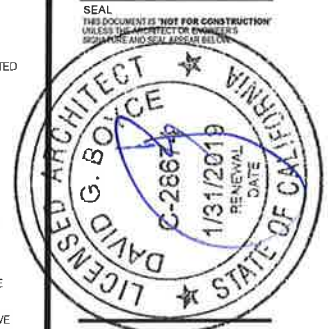
PAINT SCHEDULE					
KFC - RED NEUTRAL					
P11	EXTERIOR PAINT	SHENAIM WILLIAMS P-18003434-4335 charles.jenkinson@kfc.com	COLOUR REIMANMENT PURE COOK. 20% WAX COLOUR REIMANMENT PURE RED	RED NEUTRAL	
P12	EXTERIOR PAINT	SHENAIM WILLIAMS P-18003434-4335 charles.jenkinson@kfc.com	COLOUR PURE WHITE COOK. 100% ACRYLIC HYBRID NEUTRAL	RED NEUTRAL GRY NEUTRAL	
P13	EXTERIOR PAINT	SHENAIM WILLIAMS P-18003434-4335 charles.jenkinson@kfc.com	COLOUR BROWN COOK. 84% OF 100% 100% ACRYLIC HYBRID	RED NEUTRAL GRY NEUTRAL	
P14	EXTERIOR METAL	BENJAMIN MOORE P-18003434-5147 G (525245-108) charles.jenkinson@kfc.com	COROTECT POLYESTER URETHANE. 7125-20 MIDGEOG VOLT GLOSS CATALYST	COROTECT PRIMER (V)	
P15	EXTERIOR METAL	BENJAMIN MOORE P-18003434-5147 G (525245-108) charles.jenkinson@kfc.com	COROTECT POLYESTER URETHANE. 2123-20 BLACK DODGE RED TONER GLOSS CATALYST	COROTECT PRIMER (V)	
P16	EXTERIOR METAL	BENJAMIN MOORE P-18003434-5147 G (525245-108) charles.jenkinson@kfc.com	COROTECT POLYESTER URETHANE. 2066-10 DODGE RED TONER GLOSS CATALYST	COROTECT PRIMER (V)	
<b>A&amp;W PAINT</b>					
P17	EXTERIOR PAINT	BENJAMIN MOORE P-18003434-5147 G (525245-108) charles.jenkinson@kfc.com	STARTING ORANGE 2016-10 LOW LUSTER 83%	RAW	BAAGURY SUBSTRATE PRIMER NON GLAZED TILE SUBSTRATE PRIMER 845-110
P18	INTERIOR PAINT	SHENAIM WILLIAMS P-18003434-4335 charles.jenkinson@kfc.com	7W 4603-3 SAMPLE	RAW	
P19	INTERIOR PAINT	BENJAMIN MOORE P-18003434-5147 G (525245-108) charles.jenkinson@kfc.com	WET CATEGORY 25 (SHEEN) APPLYING COLOUR 25 (SHEEN) HIGHLIGHT 34-2 INTERIOR GLOSS CATALYST 111- DODGE AND WHITE	RAW	

- 1 NEW M16M2 EXTERIOR LIGHT SCONCES (INSTALLED ABOVE EXISTING CEILING @ EXISTING LOCATIONS)
- 2 PAINT WALL SURFACE BEHIND NEW AWNINGS
- 3 PAINT 4" WIDE BORDER WINDOW SURROUND AS INDICATED
- 4 EXISTING PARAPET COPING TO BE REPAIRED, SEALED AND PAINTED
- 5 EXISTING RAILING TO BE PAINTED SFG
- 6 PENCIL PAINTED GRAPHIC ELEMENT
- 7 NEW EXTERIOR PAINT TREATMENT
- 8 EXISTING WINDOWS
- 9 EXISTING BOLLARD
- 10 NEW EXTERIOR LIGHT FIXTURE CENTERED ON WINDOW AND/OR GRAPHIC, OTHERWISE AS INDICATED IN ELEVATION. PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT
- 11 REINSTALL ADDRESS NUMBERS AFTER PAINTING
- 12 NEW SIGNAGE ACCENT LIGHT FIXTURE. REFER TO LIGHT FIXTURE SCHEDULE
- 13 NEW PRE-FINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE RAIN DIVERTERS)
- 14 NEW DRIVE-THRU CANOPY
- 15 NEW STAND OFF METAL PANEL SYSTEM W/ VINYL GRAPHICS
- 16 NEW KFC INDIVIDUAL LETTER FACES AND CABINET CANS
- 17 NEW METAL PANEL SYSTEM ATTACHED TO AND HELD OFF EXISTING TOWER. TOP OF PANELING TO ALIGN WITH BOTTOM OF EXISTING TOWER COPING.
- 18 PAINT EXISTING EXTERIOR DOOR AND FRAME
- 19 NEW EXTERIOR WALL LIGHT, M-3
- 20 EXISTING STOREFRONT
- 21 EXISTING A&W SIGNAGE TO REMAIN
- 22 INSTALL NEW A&W SIGNAGE

SIGNAGE		
TAG	ITEM DESCRIPTION	
S1b	VINYL LOGO/GRAPHICS FOR TOWER PANEL - HALF HT.	
S3c	KFC CHANNEL LETTERS - 30" WHITE	
G9a	STORE HOURS - ENTRY	
G9b	STORE HOURS - DT WINDOW	
<b>BUILDING EXTERIOR ELEMENTS</b>		
B1b	TOWER PANEL WITH LOGO AND GRAPHICS - HALF HT.	
B5b	SHUTTERED AWNINGS - 6'-4" WIDE	
B5a	SHUTTERED AWNINGS - 6'-0" WIDE	
B5f	SHUTTERED AWNINGS - 5'-0" WIDE	
<b>A&amp;W SIGNAGE/EXTERIOR ELEMENTS</b>		
AW1	A&W OVAL SIGN	
AW2	A&W ALL AMERICAN FOOD BOW TIE SIGN	
B3c	DT WINDOW CANOPY - 8' WIDE A&W	
B11	SHUTTERED AWNINGS - A&W ORANGE (SIZE VARIES)	

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JUN 26 2017

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STATE OF CALIFORNIA  
INDOOR LIGHTING

CEC-NRCC-LTI-01-E (Revised 08/15)

CALIFORNIA ENERGY COMMISSION

## CERTIFICATE OF COMPLIANCE

NRCC-LTI-01-E

Indoor Lighting

(Page 1 of 6)

Project Name: Kentucky Fried Chicken - E720180

Date Prepared: 8/23/16

## A. General Information

Climate Zone:	3	Conditioned Floor Area:	1120 Sq Ft
Building Type:	<input checked="" type="checkbox"/> Nonresidential	<input type="checkbox"/> High-Rise Residential	<input type="checkbox"/> Hotel/Motel
<input type="checkbox"/> Schools	<input type="checkbox"/> Relocatable Public Schools	<input type="checkbox"/> Conditioned Spaces	<input type="checkbox"/> Unconditioned Spaces
Phase of Construction:	<input type="checkbox"/> New Construction	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Alteration
Method of Compliance:	<input type="checkbox"/> Complete Building	<input checked="" type="checkbox"/> Area Category	<input type="checkbox"/> Tailored
Project Address:	6700 Commerce Boulevard, Rohnert Park CA		

## B. Lighting Compliance Documents (select yes for each document included)

For detailed instructions on the use of this and all Energy Efficiency Standards compliance documents, refer to the Nonresidential Manual published by the California Energy Commission.

YES	NO	FORM	TITLE
<input checked="" type="radio"/>	<input type="radio"/>	NRCC-LTI-01-E	Certificate of Compliance. All Pages required on plans for all submittals.
<input checked="" type="radio"/>	<input type="radio"/>	NRCC-LTI-02-E	Lighting Controls, Certificate of Compliance, and PAF Calculation. All Pages required on plans for all submittals.
<input checked="" type="radio"/>	<input type="radio"/>	NRCC-LTI-03-E	Indoor Lighting Power Allowance
<input checked="" type="radio"/>	<input type="radio"/>	NRCC-LTI-04-E	Tailored Method Worksheets
<input checked="" type="radio"/>	<input type="radio"/>	NRCC-LTI-05-E	Line Voltage Track Lighting Worksheets

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

August 2015

STATE OF CALIFORNIA  
INDOOR LIGHTING

CEC-NRCC-LTI-01-E (Revised 08/15)

CALIFORNIA ENERGY COMMISSION

## CERTIFICATE OF COMPLIANCE

NRCC-LTI-01-E

Indoor Lighting

(Page 2 of 6)

Project Name: Kentucky Fried Chicken - E720180

Date Prepared: 8/23/16

## C. Summary of Allowed Lighting Power

Conditioned and Unconditioned Space Lighting must not be combined for compliance			
Indoor Lighting Power for Conditioned Spaces		Indoor Lighting Power for Unconditioned Spaces	
	Watts		Watts
1. Installed Lighting NRCC-LTI-01-E, page 4	1089	Installed Lighting NRCC-LTI-01-E, page 4	
2. PORTABLE ONLY FOR OFFICES NRCC-LTI-01-E, page 3			
3. Minus Lighting Control Credits NRCC-LTI-02-E, page 2		Minus Lighting Control Credits NRCC-LTI-02-E, page 2	
4. Adjusted Installed Lighting Power (row 1 plus row 2 minus row 3)	1089	Adjusted Installed Lighting Power (row 1 minus row 3)	0
5. Complies ONLY if Installed ≤ Allowed		Complies ONLY if Installed ≤ Allowed	
6. Allowed Lighting Power Conditioned NRCC-LTI-03-E, page 1	1232	Allowed Lighting Power Unconditioned NRCC-LTI-03-E, page 1	

## D. Declaration of Required Installation Certificates

Declare by selecting yes for all Installation Certificates that will be submitted. (Retain copies and verify forms are completed and signed.)

YES	NO	Form/Title	
<input checked="" type="radio"/>	<input type="radio"/>	NRCC-LTI-01-E - Must be submitted for all buildings	<input type="checkbox"/> Field Inspector
<input type="radio"/>	<input checked="" type="radio"/>	NRCC-LTI-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS), to be recognized for compliance.	<input type="checkbox"/> Field Inspector
<input type="radio"/>	<input checked="" type="radio"/>	NRCC-LTI-03-E - Must be submitted for a line-voltage track lighting integral current limiter, or for a supplementary overcurrent protection panel used to energize only line-voltage track lighting, to be recognized for compliance.	<input type="checkbox"/> Field Inspector
<input type="radio"/>	<input checked="" type="radio"/>	NRCC-LTI-04-E - Must be submitted for two interlocked systems serving an auditorium, a convention center, a conference room, a multipurpose room, or a theater to be recognized for compliance.	<input type="checkbox"/> Field Inspector
<input type="radio"/>	<input checked="" type="radio"/>	NRCC-LTI-05-E - Must be submitted for a Power Adjustment Factor (PAF) to be recognized for compliance.	<input type="checkbox"/> Field Inspector
<input type="radio"/>	<input checked="" type="radio"/>	NRCC-LTI-06-E - Must be submitted for additional wattage installed in a video conferencing studio to be recognized for compliance.	<input type="checkbox"/> Field Inspector

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

August 2015

STATE OF CALIFORNIA  
INDOOR LIGHTING

CEC-NRCC-LTI-01-E (Revised 08/15)

CALIFORNIA ENERGY COMMISSION

## CERTIFICATE OF COMPLIANCE

NRCC-LTI-01-E

Indoor Lighting

(Page 3 of 6)

Project Name: Kentucky Fried Chicken - E720180

Date Prepared: 8/23/16

## E. Declaration of Required Certificates of Acceptance

Declare by checking all of the Certificates of Acceptance that will be submitted. (Retain copies and verify forms are completed and signed.)

YES	NO	Form/Title	
<input checked="" type="radio"/>	<input type="radio"/>	NRCA-LTI-02-A - Must be submitted for occupancy sensors and automatic time switch controls.	<input type="checkbox"/> Field Inspector
<input checked="" type="radio"/>	<input type="radio"/>	NRCA-LTI-03-A - Must be submitted for automatic daylight controls.	<input type="checkbox"/> Field Inspector
<input checked="" type="radio"/>	<input type="radio"/>	NRCA-LTI-04-A - Must be submitted for demand responsive lighting controls.	<input type="checkbox"/> Field Inspector

A separate Lighting Schedule Must Be Filled Out for Conditioned and Unconditioned Spaces. Installed Lighting Power listed on this Lighting Schedule is only for:

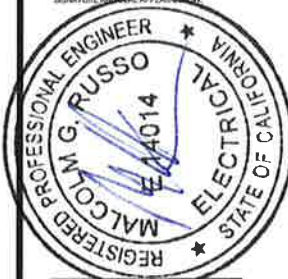
☐ CONDITIONED SPACE ☐ UNCONDITIONED SPACE

## F. Indoor Lighting Schedule and Field Inspection Energy Checklist

- ☐ The actual indoor lighting power listed on this page and on the next page includes all installed permanent and planned portable lighting systems.
- ☐ When Complete Building Method is used for compliance, list each different type of luminaire on separate lines.
- ☐ When Area Category Method or Tailored Method is used for compliance, list each different type of luminaire by each different function area on separate lines.
- ☐ Also include track lighting in schedule, and submit the track lighting compliance form (NRCC-LTI-05-E) when line-voltage track lighting is installed.

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

August 2015

**KFC****DAVID BOYCE**  
ARCHITECT604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124SEAL  
THIS DOCUMENT IS "NOT FOR CONSTRUCTION"  
UNLESS THE ARCHITECT OR ENGINEER'S  
SIGNATURE AND STAMP ARE PRESENT.

JUN 26 2017

STATE OF CALIFORNIA  
INDOOR LIGHTING

CEC-NRCC-LTI-01-E (Revised 08/15)

CALIFORNIA ENERGY COMMISSION

## CERTIFICATE OF COMPLIANCE

NRCC-LTI-01-E

Indoor Lighting

(Page 4 of 6)

Project Name: Kentucky Fried Chicken - E720180

Date Prepared: 8/23/16

## G. Installed Portable Luminaires in Offices - Exception to Section 140.6(a)

- This section shall be filled out ONLY for portable luminaires in offices (As defined in §100.1). All other planned portable luminaires shall be documented on next page of this compliance form.
- This section is used to determine if greater than 0.3 watts of portable lighting is planned for any office.
- Fill out a separate line for each different office. Small offices that are typical (having the same general and portable lighting) may be grouped together. This allowance shall not be traded between offices having different lighting systems.

Office Portable Luminaire Schedule		Office Installed Portable Luminaire Watts Per Square Foot					Office Location		Field Inspector	
1	2	3	4	5	6	7	8	9	10	11
Complete Luminaire Description (i.e., LED, under cabinet, furniture mounted, direct/indirect)	Watts per luminaire	Quantity	Installed portable luminaire watts in this office (G2 x G3)	Source Wattage at this office	Watts per square foot (G4 / G5) If G6 > 0.3, (G6 / G5)	If G6 ≤ 0.3, enter zero.	G5 x G7	Identify Office area in which these portable luminaires are installed	Pass	Fail
Total installed portable luminaire watts that are greater than 0.3 watts per square foot per office:									Enter sum total of all pages into NRCC-LTI-01-E, Page 2	

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

August 2015

STATE OF CALIFORNIA  
INDOOR LIGHTING

CEC-NRCC-LTI-01-E (Revised 08/15)

CALIFORNIA ENERGY COMMISSION

## CERTIFICATE OF COMPLIANCE

NRCC-LTI-01-E

Indoor Lighting

(Page 5 of 6)

Project Name: Kentucky Fried Chicken - E720180

Date Prepared: 8/23/16

A separate Lighting Schedule Must Be Filled Out for Conditioned and Unconditioned Spaces. Installed Lighting Power listed on this Lighting Schedule is only for:

☒ CONDITIONED SPACE ☐ UNCONDITIONED SPACE

## C. INDOOR LIGHTING SCHEDULE and FIELD INSPECTION ENERGY CHECKLIST

Luminaire Schedule		Installed Watts		Location		Field Inspector	
1	2	3	4	5	6	7	8
Name or Item Tag	Complete Luminaire Description (i.e., 3 lamp fluorescent troffer, F32TR, one dimmable electronic ballast)	Watts per luminaire	How wattage was determined CEC Output from AMB According to §100.01	Number of Luminaires	Total Installed Watts in this area (C3 x C5)	Primary Function area in which these luminaires are installed	Pass
D1	LED Downlight	14	<input checked="" type="checkbox"/>	1	14	Sales/Dining Area	<input checked="" type="radio"/>
L1	2x4 LED Recessed Troffer	47	<input checked="" type="checkbox"/>	11	517	Sales/Dining Area	<input checked="" type="radio"/>
T1	LED Track Head	10	<input checked="" type="checkbox"/>	20	200	Sales/Dining Area	<input checked="" type="radio"/>
T2	LED Track Head	35	<input checked="" type="checkbox"/>	2	70	Sales/Dining Area	<input checked="" type="radio"/>
P1	LED Pendant	3	<input checked="" type="checkbox"/>	1	3	Sales/Dining Area	<input checked="" type="radio"/>
P2	LED Pendant	3	<input checked="" type="checkbox"/>	1	3	Sales/Dining Area	<input checked="" type="radio"/>
P3	LED Pendant	200	<input checked="" type="checkbox"/>	1	200	Sales/Dining Area	<input checked="" type="radio"/>
P4	LED Pendant	38	<input checked="" type="checkbox"/>	2	76	Sales/Dining Area	<input checked="" type="radio"/>
INSTALLED WATTS PAGE TOTAL:					1089	Enter sum total of all pages into NRCC-LTI-01-E, Page 2	

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

August 2015

STATE OF CALIFORNIA  
INDOOR LIGHTING

CEC-NRCC-LTI-01-E (Revised 08/15)

CALIFORNIA ENERGY COMMISSION

## CERTIFICATE OF COMPLIANCE

NRCC-LTI-01-E

Indoor Lighting

(Page 6 of 6)

Project Name: Kentucky Fried Chicken - E720180

Date Prepared: 8/23/16

## DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Abel Morales	Documentation Author Signature: <i>Abel Morales</i>
Company: Interplan LLC	Signature Date: August 23, 2016
Address: 604 Courtland Street, Suite 100	CEC Code on Identification (if applicable)
City/State/Zip: Orlando, FL 32804	Phone: 407.645.5008

## RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Malcolm G. Russo	Responsible Designer Signature: <i>Malcolm G. Russo</i>
Company: Interplan LLC	Date Signed: 8/23/16
Address: 604 Courtland Street, Suite 100	License: E014010
City/State/Zip: Orlando, FL 32804	Phone: 407.645.5008

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

August 2015

## DRAWING SUBMITTALS

REVISION DEVELOPMENT REVIEW SET

DATE BY

07/19/16 SM

DATE BY

07/15/16 SM

DATE BY

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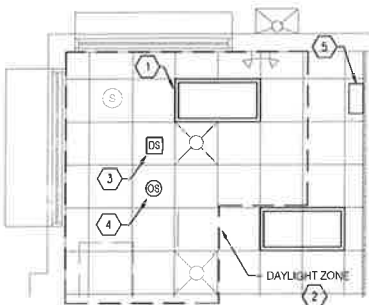
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**TYPICAL LIGHTING CONTROL DETAIL**  
Scale: 1/4" = 1'-0"

### KEYED NOTES

- ALL GENERAL LIGHTING WITHIN DAYLIGHT ZONES SHALL BE SEPARATELY CONTROLLED FROM GENERAL AREA LIGHTING IN COMPLIANCE WITH SECTION 130.1(d) OF CEC BUILDING ENERGY EFFICIENCY STANDARDS.
- LINE DENOTING DAYLIGHT ZONE TYPICAL FOR ALL AREAS ADJACENT TO VERTICAL FENESTRATION WITH DIMENSIONAL CRITERIA AS FOLLOWS:  
DEPTH:  
- WINDOW HEIGHT INTO SPACE, OR  
- TO NEAREST CEILING HEIGHT OPAQUE PARTITION (WHICHEVER IS LESS)  
WIDTH:  
- WIDTH OF WINDOW PLUS ONE-HALF TIME WINDOW HEAD HEIGHT ON EACH SIDE, OR  
- WINDOW WIDTH PLUS DISTANCE TO OPAQUE PARTITIONS, OR  
- WINDOW WIDTH PLUS ONE-HALF THE DISTANCE TO ADJACENT SKYLIGHT OR VERTICAL FENESTRATION (WHICHEVER IS LEAST)
- PROVIDE CEILING MOUNTED DAYLIGHT SENSOR FOR EACH DAYLIGHT ZONE TO CONTROL GENERAL LIGHTING LUMINAIRES WITHIN THE DAYLIGHT ZONE. LOCATION AND CALIBRATION OF SENSOR SHALL NOT BE READILY ACCESSIBLE TO UNAUTHORIZED PERSONNEL AND SHALL BE CONFIGURED IN THE FIELD.
- PROVIDE CEILING MOUNTED OCCUPANCY SENSORS LOGISTICALLY LOCATED IN THE SALES AREA TO AUTOMATICALLY SHUT OFF ALL LIGHTING WHEN THE SPACE IS TYPICALLY UNOCCUPIED IN COMPLIANCE WITH SECTION 130.1(c) OF THE CEC BUILDING ENERGY EFFICIENCY STANDARDS.
- PROVIDE DIMMER SWITCHES COMPATIBLE WITH LIGHTING FIXTURES BEING INSTALLED. REFER TO FIXTURE SCHEDULE ON ARCHITECTURAL SHEETS FOR MORE FIXTURE INFORMATION. DIMMERS SHALL BE EQUIPPED WITH MANUAL ON/OFF CAPABILITY FOR ALL SALES AREA LIGHTING IN COMPLIANCE WITH SECTIONS 130.1 (a) AND (b) FOR AREA CONTROLS AND MULTILEVEL LIGHTING CONTROLS OF THE CEC BUILDING ENERGY EFFICIENCY STANDARDS. FINAL LOCATION OF CONTROLS TO BE VERIFIED WITH KFC CONSTRUCTION MANAGER.

### STATE OF CALIFORNIA INDOOR LIGHTING - LIGHTING CONTROLS

CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Lighting Controls  
Project Name: Kentucky Fried Chicken - E720180  
Date Issued: August 23, 2016  
Page 1 of 3

The NRCC-LTI-02-E shall be used to document all mandatory and prescriptive lighting controls that are applicable to the project.

#### A. Mandatory Lighting Control Declaration Statements (Indicate if the measure applies by checking yes or no below.)

YES	NO	Control Requirements
<input type="radio"/>	<input type="radio"/>	Lighting shall be controlled by self-contained lighting control devices which are certified to the Energy Commission according to the Title 20 Appliance Efficiency Regulations in accordance with Section 110.9.
<input type="radio"/>	<input checked="" type="radio"/>	Lighting shall be controlled by a lighting control system or energy management control system in accordance with Section 110.9. An Installation Certificate shall be submitted in accordance with Section 130.4(b).
<input type="radio"/>	<input checked="" type="radio"/>	One or more Track Lighting Integral Current Limiters shall be installed which have been certified to the Energy Commission in accordance with Section 110.9 and Section 130.0. Additionally, an Installation Certificate shall be submitted in accordance with Section 130.4(b).
<input type="radio"/>	<input checked="" type="radio"/>	A Track Lighting Supplementary Overcurrent Protection Panel shall be installed in accordance with Section 110.9 and Section 130.0. Additionally, an Installation Certificate shall be submitted in accordance with Section 130.4(b).
<input checked="" type="radio"/>	<input type="radio"/>	All lighting controls and equipment shall comply with the applicable requirements in Section 110.9 and shall be installed in accordance with the manufacturer's instructions in accordance with Section 130.1.
<input checked="" type="radio"/>	<input type="radio"/>	All luminaires shall be functionally controlled with manually switched ON and OFF lighting controls in accordance with Section 130.1(a).
<input checked="" type="radio"/>	<input type="radio"/>	General lighting shall be separately controlled from all other lighting systems in an area. Floor and wall display, window display, case display, ornamental, and special effects lighting shall each be separately controlled on circuits that are 20 amps or less. When track lighting is used, general, display, ornamental, and special effects lighting shall each be separately controlled in accordance with Section 130.1(a).
<input checked="" type="radio"/>	<input type="radio"/>	The general lighting of any enclosed area 100 square feet or larger, with a connected lighting load that exceeds 0.5 watts per square foot shall meet the multi-level lighting control requirements in accordance with Section 130.1(b).
<input checked="" type="radio"/>	<input type="radio"/>	All installed indoor lighting shall be equipped with controls that meet the applicable Shut-Off control requirements in Section 130.1(c).
<input checked="" type="radio"/>	<input type="radio"/>	Lighting in all Daylit Zones shall be controlled in accordance with the requirements in Section 130.1(d) and daylit zones are shown on the plans.
<input type="radio"/>	<input checked="" type="radio"/>	Lighting power in buildings larger than 10,000 square feet shall be capable of being automatically reduced in response to a Demand Responsive Signal in accordance with Section 130.1(e).
<input type="radio"/>	<input checked="" type="radio"/>	Before an occupancy permit is granted for a newly constructed building or area, or a new lighting system serving a building, area, or site is operated for normal use, indoor lighting controls serving the building, area, or site shall be certified as meeting the Acceptance Requirements for Code Compliance in accordance with Section 130.4 (a). The controls required to meet the Acceptance Requirements include automatic daylight controls, automatic shut-off controls, and demand responsive controls.

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

August 2015

### STATE OF CALIFORNIA INDOOR LIGHTING - LIGHTING CONTROLS

CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Lighting Controls  
Project Name: Kentucky Fried Chicken - E720180  
Date Issued: August 23, 2016  
Page 2 of 3

A separate document must be filled out for Conditioned and Unconditioned Spaces; This page is used only for the following:

- ☒ CONDITIONED SPACES ☐ UNCONDITIONED SPACES

#### B. Mandatory and Prescriptive Indoor Lighting Control Schedule, PAF Calculation, and Field Inspection Checklist

Lighting Control Schedule													PAF Credit Calculation		Field Inspection	
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q
Location in Building	Type/Description of Lighting Control (i.e.: occupancy sensor, automatic time switch, dimmer, automatic daylight, etc.)	# of Units	\$130.1(a)	\$130.0(b)	\$130.1(c)	\$130.1(d)	\$130.1(e)	\$130.1(f)	\$130.1(g)	\$130.1(h)	\$130.1(i)	\$130.1(j)	PAF	Control Credit (k x L)	Acceptance Test Required	Field Inspector
Dining Area	Daylight Sensor													0	<input type="checkbox"/>	<input type="checkbox"/>
Dining Area	Dimmers			*										0	<input type="checkbox"/>	<input type="checkbox"/>
Dining Area	Occupancy Sensor				*									0	<input type="checkbox"/>	<input type="checkbox"/>
Control Credit PAGE TOTAL (Sum of Column M):													0			
IF MULTIPLE PAGES ARE USED, ENTER SUM TOTAL OF Control Credit for all pages HERE (Sum of all Column M):															Enter Control Credit total into NRCC-LTI-02-E, Page 1	

1. \$130.1(a) = Manual area controls; \$130.0(b) = Multi-Level; \$130.1(c) = Auto Shut-Off; \$130.1(d) = Mandatory Daylight; \$130.1(e) = Demand Responsive; \$130.1(f) = Additional lighting controls installed to earn a PAF; \$130.1(g) = Prescriptive Secondary Daylight Controls.  
2. Check Table 140.6-A for correct Factor. PAFs shall not be traded between conditioned and unconditioned spaces. As a condition to earn a PAF, an Installation Certificate is also required to be filled out, signed, and submitted.

CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance

August 2015

### STATE OF CALIFORNIA INDOOR LIGHTING - LIGHTING CONTROLS

CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Lighting Controls  
Project Name: Kentucky Fried Chicken - E720180  
Date Issued: August 23, 2016  
Page 3 of 3

#### DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.  
Documentation Author Name: Abel Morales  
Signature Date: August 18, 2016  
Company: Interplan LLC  
Address: 604 Courtland Street  
City/State/Zip: Orlando, FL 32804  
Phone: 407.645.5008

#### RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:  
1. The information provided on this Certificate of Compliance is true and correct.  
2. I am an eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).  
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.  
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.  
Responsible Designer Name: Malcolm G. Russo  
Signature Date: 8/18/16  
Company: Interplan LLC  
Address: 604 Courtland Street, Suite 100  
City/State/Zip: Orlando, FL 32804  
Phone: 407.545.5008



**KFC**

**DAVID BOYCE**  
ARCHITECT

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

SEAL  
THIS DOCUMENT IS NOT FOR CONSTRUCTION  
UNLESS THE ARCHITECT OR ENGINEER'S  
SIGNATURE AND SEAL APPEAR BELOW.



JUN 26 2017

#### DRAWING SUBMITTALS

REVISIONS  
DATE BY  
07/18/16 SM BY  
07/18/16 SM BY  
DATE BY

#### REVISION:

Mark Date By  
08/18/17 MS  
CITY COMMENTS

#### PROJECT TITLE

"K-30 SERIES 6000  
TO AMERICAN SHOWMAN"  
TEMPLATE VERSION  
RELEASE 2.0 MAR. 2016

#### COMMISSION NO.

#### ISSUE DATE

#### SHEET TITLE

#### TITLE 24

#### SHEET NO.

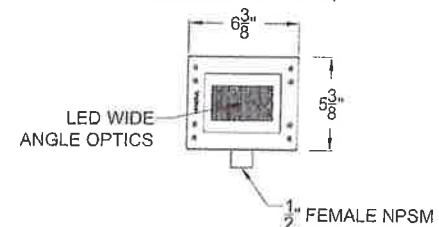
**T24.2**





WAF1.5/BLDG MNT/WAF1/30/BLK

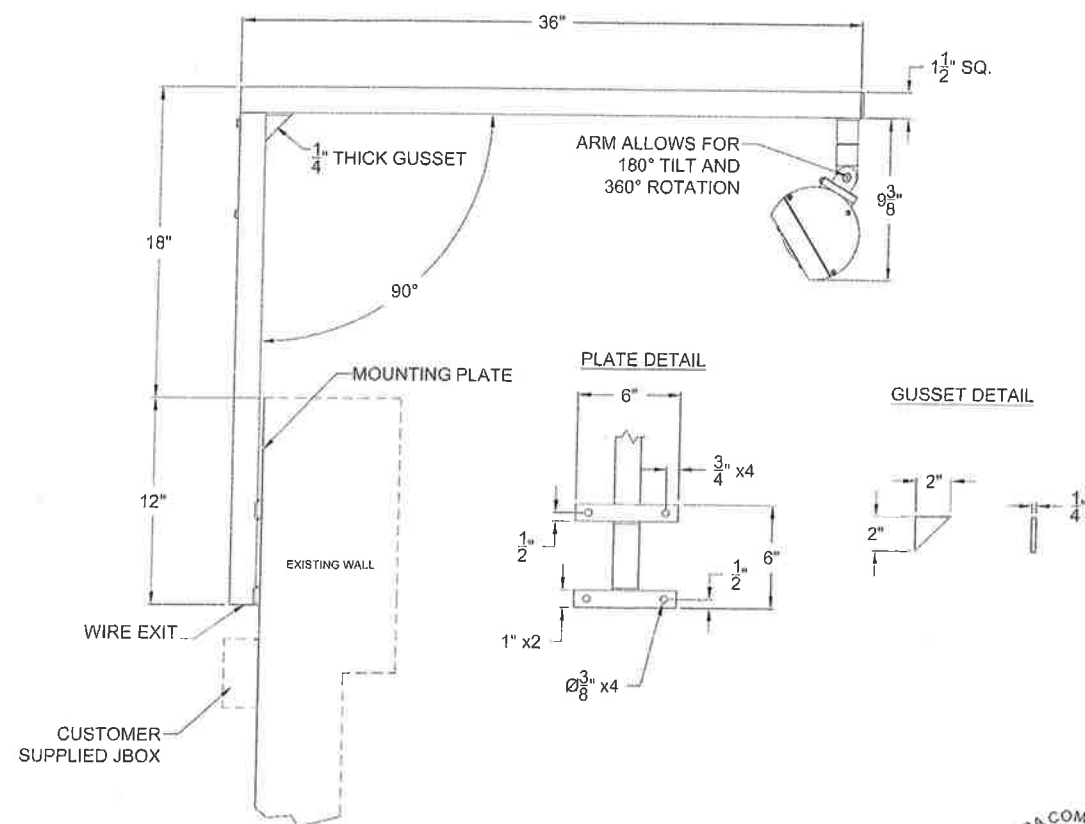
FRONT VIEW  
(LIGHT ENGINE ONLY)



RECEIVED

JUN 08 2017


CITY OF ROHNERT PARK




Approved By \_\_\_\_\_ Date \_\_\_\_\_



NOTICE: THIS DRAWING IS FOR REFERENCE ONLY. CHECK FOR LATEST REVISION PRIOR TO ORDERING. THIS DRAWING SHOULD ACCOMPANY YOUR ORDER. THANK YOU

DATE 11/19/2015	PART STRING WAF1.5/BLDG MNT/WAF1/30/BLK	FILE NAME KFC_35083.dwg
QUOTE #/ SO # 35083		NOTES
JOB NAME: KFC		
www.amerluxexterior.com 5220 SHANK ROAD PEARLAND, TX. 77581 PHONE: (281) 997-5400 FAX: (281) 997-5441 TOLL FREE: (800) 364-0098	LIGHT SOURCE ● LED	VOLTAGE ● 120-277V
	FINISH ● BLK SMOOTH ● SATIN BLACK	DRAWN BY HT
		REVISION 2
		GENERAL: EXTERIOR HARDWARE WILL BE STAINLESS STEEL. ELECTRICAL COMPONENTS WILL BE ETL LISTED "SUITABLE FOR WET LOCATIONS."

 CAPITOL LIGHT	YUM BRANDS		Type E1
	Fixture Manufacturer: AMERLUX	Lamp Manufacturer: N/A	
	Cat#: WAF1/BLDG MNT/WAF/30/BLK	Cat#: N/A	
	Capitol Light is not responsible for inaccuracies in manufacturers published specifications		

VARIETA  
SINGLE ARRAY LED FLOOD LIGHT

**APPLICATION:**  
Accent lighting for exterior retail, commercial and hospitality environments

**CONSTRUCTION:**  
• Die-Cast aluminum faceplate  
• Extruded aluminum enclosure  
• IP67 sealed optical modules

**MOUNTING:**  
• Cast aluminum pivot  
• 180° tilt  
• 360° rotation

**ELECTRICAL:**  
Integral drivers  
Input voltage 120v-277v auto-sensing  
Power consumption 31W  
1/2" NPT wire entry  
Standard product is shipped as non-dimming unless specified

**OPTICS:**  
• Lumen maintenance: 70% @ 50,000 hours  
• 1 lens module containing 16 LEDs available in a number of symmetric or asymmetric axial beam spread patterns

**AMBIENT OPERATING RANGE:**  
-30°C to 40°C

**WEIGHT:**  
5 lbs

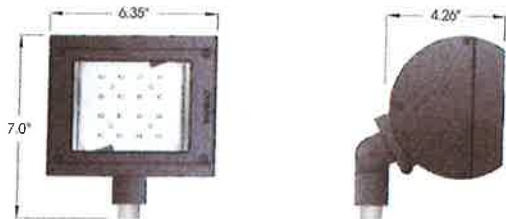
**EPA:**  
0.25

**FINISH:**  
Premium quality thermoset polyester powdercoat for a durable finish in the following:  
**BLK** -Satin Black  
**CLB** -Classic Bronze  
**GRN** -Green  
**TBK** -Textured Black  
**WHT** -White

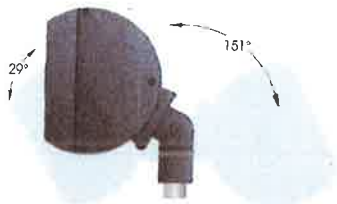
FL1  
LED



PROJECT:  
TYPE:



MOUNTING:



EXTERNAL GLARE SHIELD



ORDERING INFORMATION:

Model	Light Distribution	CCT	CRI	Approx. Lumens	Total Efficacy	Finish	Accessories	Dimming Option
FL1	NSP	30 (3,000K)	80	2,580	83 lm/W	BLK CLB GRN TBK WHT	EGS (Ext Glare Shield) GSP17 (Ground Stake) PMBS-2-18 (Pole Mount) WMS14 (Wall Mount)	DM
		40 (4,000K)	80	2,640	84 lm/W			
		50 (5,000K)	70	3,020	97 lm/W			
	HMS VMS	30 (3,000K)	80	2,340	75 lm/W			
		40 (4,000K)	80	2,670	86 lm/W			
		50 (5,000K)	70	2,740	88 lm/W			
	HWS VWS	30 (3,000K)	80	2,280	72 lm/W			
		40 (4,000K)	80	2,580	83 lm/W			
		50 (5,000K)	70	2,640	85 lm/W			
	SQS	30 (3,000K)	80	2,270	73 lm/W			
		40 (4,000K)	80	2,580	82 lm/W			
		50 (5,000K)	70	2,680	85 lm/W			
	MFL	30 (3,000K)	80	2,710	87 lm/W			
		40 (4,000K)	80	3,090	99 lm/W			
		50 (5,000K)	70	3,170	102 lm/W			
	HMF VMF	30 (3,000K)	80	2,490	80 lm/W			
		40 (4,000K)	80	2,840	91 lm/W			
		50 (5,000K)	70	2,920	94 lm/W			
	HWF VMF	30 (3,000K)	80	2,420	78 lm/W			
		40 (4,000K)	80	2,750	89 lm/W			
		50 (5,000K)	70	2,830	91 lm/W			
	SQF	30 (3,000K)	80	2,460	79 lm/W			
		40 (4,000K)	80	2,800	90 lm/W			
		50 (5,000K)	70	2,870	92 lm/W			

Ordering options in BOLD

Amerlux reserves the right to change details that do not affect overall function and performance.

www.amerlux.com • 5220 Shank Rd, Pearland, Texas 77581 • (T) 281.997.5400 • (F) 281-997-5441

Electrostatic sensitive device,  
observe precautions for handling

5 year limited  
warranty



Part String

Example: FL1/NSP/30/BLK/EGS/DM

amerlux



YUM BRANDS

Fixture Manufacturer: AMERLUX

Cat#: FL1/HWS/30/BLK

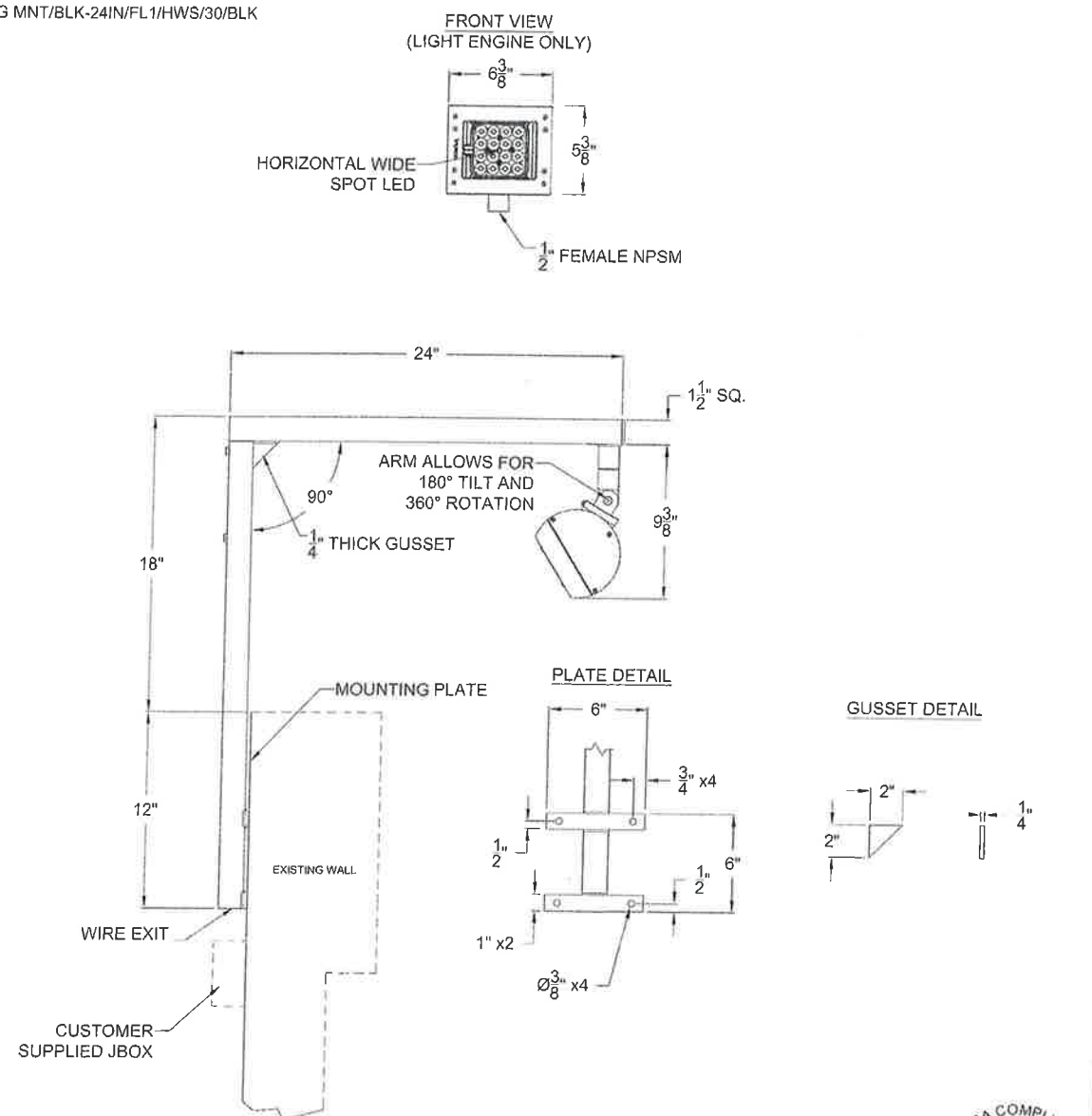
Lamp Manufacturer: N/A

Cat#: N/A

Capitol Light is not responsible for inaccuracies in manufacturers published specifications

Type  
E2


WAF1.5/BLDG MNT/BLK-24IN/FL1/HWS/30/BLK




Approved By \_\_\_\_\_ Date \_\_\_\_\_



**NOTICE:** THIS DRAWING IS FOR REFERENCE ONLY. CHECK FOR LATEST REVISION PRIOR TO ORDERING. THIS DRAWING SHOULD ACCOMPANY YOUR ORDER. THANK YOU

DATE 11/19/2015	PART STRING WAF1.5/BLDG MNT/BLK-24IN/FL1/HWS/30/BLK		FILE NAME KFC_35083.dwg
QUOTE #/ SO # 35083			NOTES
JOB NAME: KFC			
www.amerluxexterior.com 5220 SHANK ROAD PEARLAND, TX. 77581 PHONE:(281)997-5400 FAX:(281) 997-5441 TOLL FREE: (800) 364-0098	LIGHT SOURCE ● LED	VOLTAGE ● 120-277V	DRAWN BY HT
 EXTERIOR LIGHTING GROUP	FINISH ● BLK SMOOTH ● SATIN BLACK		REVISION 1
			GENERAL: EXTERIOR HARDWARE WILL BE STAINLESS STEEL. ELECTRICAL COMPONENTS WILL BE ETL LISTED "SUITABLE FOR WET LOCATIONS."

 CAPITOL LIGHT	YUM BRANDS		Type  E2BRACKET
	Fixture Manufacturer: AMERLUX	Lamp Manufacturer: N/A	
	Cat#: WAF1 BRACKET	Cat#: N/A	
	Capitol Light is not responsible for inaccuracies in manufacturers published specifications		





Project \_\_\_\_\_  
Fixture Type \_\_\_\_\_  
Location \_\_\_\_\_  
Contact \_\_\_\_\_

P5675 SERIES

LED Wall Mount • Wet Location



Specifications:

Description:

The P5675 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Construction:

- Powdercoated Antique Bronze (-20), White (-30), Black (-31), Metallic Gray (-82)
- Die-cast aluminum construction
- Flicker-free dimming to 10% brightness with most ELV type dimmers (See Dimming Notes)
- Covers a standard 4" recessed outlet box
- Mounting strap for outlet box included

Performance:

Number of Modules	2
Input Power	17W per module
Input Voltage	120V
Input Frequency	60Hz
Lumens/LPW	1000/59 (LM-79) PER MODULE
CCT	3000K
CRI	90
Life	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 yrs.
Labels	cCSAus certified for wet locations

P5675-30/30K

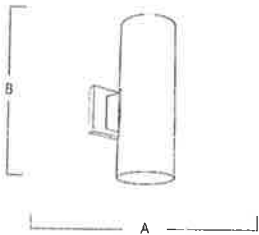
Images:



Dimensions:

A	B
5"	14"

Extends H/CTR  
8-7/8" 8"



Catalog number:

Base	Finish	Color Temp	CRI
P5675	<del>20 - Antique Bronze</del> <del>30 - White</del> 31 - Black <del>82 - Metallic Gray</del>	30K - 3000K	90 CRI

For more information visit our website: [www.progresslighting.com](http://www.progresslighting.com)

Progress Lighting • 701 Millennium Boulevard • Greenville, SC 29607



YUM BRANDS

Fixture Manufacturer: PROGRESS

Cat#: P5675-31

Capitol Light is not responsible for inaccuracies in manufacturers published specifications

Lamp Manufacturer: TCP

Cat#: 43717 LED14P30D30KNFL

Type  
M2

# MINKA-LAVERY®

Job Name:	
Job Type:	
Quantity:	

Family:	N/A
Product Category:	Mini-Pendants
Item#:	2260-84
Finish:	Brushed Nickel
Certification:	3057374



## Lamping

Light Type:	E26 ST58
Socket Type:	E26, Medium
Max Wattage:	40
Bulbs Included:	Y
Dimmable:	N
CRI:	N/A
Color Temp:	N/A
Initial Lumens:	N/A
Delivered Lumens:	N/A
Rated Life Hours:	N/A
Photo Cell Included:	N
Ballast:	N/A

## Shipping

Carton Weight:	6.6
Carton Width:	14.25
Carton Height:	14.25
Carton Length:	15.5
Carton Cubic Feet:	1.821
Master Pack:	1
Master Pack Weight:	N/A
Master Pack Width:	N/A
Master Pack Height:	N/A
Master Pack Length:	N/A
Master Cubic Feet:	N/A
*Multi-Pack:	N/A
Small Package Shippable:	Y

## Measurements

Width:	12.25
Height:	11.5
Length:	12.25
Min Overall Height:	17
Max Overall Height:	133
Height Adjustable:	Y
Extension:	N/A
Net Weight:	4.59
Back Plate/Canopy Width:	4.88
Back Plate/Canopy Height:	1
Canopy Length:	N/A
Center to Top of Fixture:	N/A
Center to Bottom of Fixture:	N/A
Slope:	Y
Chain Length:	N/A
Wire Length:	120

## Shade


*Shade Description:	Clear
*Shade Material:	Glass
*Shade Quantity:	1
*Shade Number:	G2260
*Shade Width:	12.25
*Shade Height:	8.75
*Shade Length:	N/A

## Miscellaneous

Safety Cable Included:	N
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\*For additional information, please contact Customer Care: 1-800-221-7977.

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	YUM BRANDS		Type F2
	Fixture Manufacturer: MINKA LAVERY	Lamp Manufacturer: FEIT	
	Cat#: 2260-84	Cat#: BPST/19/LED	
	Capitol Light is not responsible for inaccuracies in manufacturers published specifications		