

RESOLUTION NO. 2014-167

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROHNERT PARK, CALIFORNIA, APPROVING AN AMENDED DEVELOPMENT AREA PLAN FOR THE SOUTHEAST SPECIFIC PLAN PROJECT SITE LOCATED SOUTH OF THE CANON MANOR SPECIFIC PLAN AREA, WEST OF PETALUMA HILL ROAD, AND NORTH OF VALLEY HOUSE DRIVE (APN 047-111-030)

WHEREAS, the applicant, Redwood Equities LLC filed Planning Applications proposing a Specific Plan Amendment (PLSP2014-0003), revised Final Development Plan (PLFD2014-0001), revised Development Area Plan (PLDP2014-0001), Tentative Map (PLSD2014-0008), and amended Development Agreement (PLDA2014-0005), for the Southeast Specific Plan ("SESP") (collectively, the "Project") located south of the Canon Manor Specific Plan Area, west of Petaluma Hill Road, and north of Valley House Drive (APN 047-111-030), in accordance with the City of Rohnert Park Municipal Code ("RPMC"); and

WHEREAS, in conjunction with Application No. PLDP2014-0001, the applicant seeks approval of a development area plan for the entire Project site, as provided in the proposed Development Area Plan – Southeast Area attached to this Resolution as **Exhibit A**; and

WHEREAS, on October 23, 2014 the Planning Commission held a public hearing at which time interested persons had an opportunity to testify either in support of or opposition to the proposal; and

WHEREAS, at the October 23, 2014 Planning Commission hearing, the Planning Commission reviewed and considered the revised Development Area Plan and recommended its approval by the City Council; and

WHEREAS, the City Council of the City of Rohnert Park has certified the Final EIR prepared for the Project and the City has otherwise carried out all requirements for the Project pursuant to CEQA; and

WHEREAS, pursuant to California State Law and the Rohnert Park Municipal Code, public hearing notices were mailed to all property owners within an area encompassing a 300 foot radius of the subject property and a public hearing was published for a minimum of 10 days prior to the public hearing in the *Community Voice*; and

WHEREAS, on November 25, 2014, the City Council held public hearings at which time interested persons had an opportunity to testify either in support of or opposition to the proposal; and

WHEREAS, the City Council has reviewed and considered the information contained in Planning Application No. PLDP2014-0001 for the proposed Development Area Plan.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Rohnert Park makes the following findings and determinations with respect to the proposed Development Area Plan:

Section 1. That the above recitations are true and correct.

Section 2. Environmental Review:

A. On December 7, 2010, the City Council of the City of Rohnert Park certified the Final EIR for this Project, including adoption of associated CEQA Findings, Statement of Overriding Considerations, and the Mitigation Monitoring and Reporting Program, as described in City Council Resolution No. 2010-134, approved.

B. Further, CEQA Guidelines section 15162 provides that “no subsequent EIR shall be prepared” for a project unless the lead agency determines that (1) “substantial changes are proposed in the project which will require major revisions of the previous EIR”; or (2) “substantial changes occur with respect to the circumstances under which the project is undertaken”; or (3) “new information of substantial importance ... shows” one or more significant effects not discussed in the original EIR, greater severity to previously-identified substantial effects, or newly-found feasible mitigation measures that would substantially reduce significant effects.

C. The proposed changes (removal of private alleys, removal of duplexes in favor of duets, minor changes to development plan for lot width, setbacks, etc. and minor changes to specifications for the water tank), are minor and will not result in any substantial changes to the proposed project and no new information of substantial importance shows one or more significant effects or newly found feasible mitigation measures that would substantially reduce significant effects. Accordingly, no subsequent EIR need be prepared.

Section 3. Findings. The City Council of the City of Rohnert Park makes the following findings concerning the Development Area Plan – Southeast Area Plan proposed by Planning Application No. PLDP2014-0001 pursuant to Rohnert Park Municipal Code section 17.06.400(E):

1. *The proposed development conforms to the specific plan.*

Criteria Satisfied. The Development Area Plan conforms to the specific plan and provides additional details on the project including residential floor plans and elevations by housing type, pedestrian walkways, infrastructure summaries, streetscape and park details. The proposed development is consistent with the specific plan because it conforms to the requirements in the specific plan related to density, housing type, housing location, public improvements, open space and related amenities.

2. *Public infrastructure and services can be provided concurrently with the development.*

Criteria Satisfied. As described in the Southeast Specific Plan, Final Development Plan, Development Area Plan and staff report, each phase of the Project is designed to have adequate infrastructure, integrated with existing City roadways, streets, bicycle paths, and walkways. All streets and thoroughfares will meet the standards of the City. The proposed development has been designed to

provide satisfactory vehicular circulation and public improvements, such as utilities and drainage facilities have been designed and are conditioned to be constructed in conformance with City standards.

Section 4. A duly noticed public hearing on the proposed Development Area Plan was held on November 25, 2014.

NOW, THEREFORE, BE IT FURTHER RESOLVED, THAT the City Council of the City of Rohnert Park does hereby adopt the Findings stated hereinabove and approve the Development Area Plan – Southeast Area as provided at **Exhibit A**, in its entirety and subject to the recommended conditions of approval as provided in **Exhibit B**.

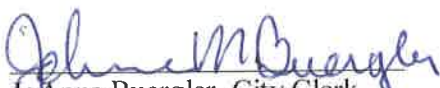
DULY AND REGULARLY ADOPTED on this 25th day of November, 2014.



CITY OF ROHNERT PARK

Joseph T. Callinan, Mayor

ATTEST:


JoAnne Buergler, City Clerk

Attachment: Exhibit A and Exhibit B

BELFORTE: ~~ABSENT~~ MACKENZIE: ~~AYE~~ STAFFORD: ~~AYE~~ AHANOTU: ~~AYE~~ CALLINAN: ~~AYE~~
AYES: (4) NOES: (0) ABSENT: (1) ABSTAIN: (0)

City of Rohnert

Development Area Plan - Southeast Area

Amended November 25, 2014
Resolution No. 2014-167

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Summary

	Specific Plan Development Standards					Proposed				
Land Use	Approx. Gross Ac. ¹	Units	Maximum Density (Du/Ac)	Non-Residential Bldg Area (1,000 s.f.)	Parking Required	Approx. Gross Ac. ¹	Units	Density (Du/Ac)	Non-Residential Bldg Area (1,000 s.f.)	Parking Provided
Rural Estate Residential	16.0	29	2.0	n.a.	2 per unit	15.95	29	1.8	n.a.	2 garage space per unit
Low Density Residential	21.0	128	6.0	n.a.	2 per unit	21.05	128	6.0	n.a.	2 garage space per unit
SE Medium Density Residential	27.3	237	12.0	n.a.	2 per unit	27.27	Conventional: 110 Motorcourt: 99 Duet: 28 Total: 237	8.7	n.a.	2 garage space per unit 2 garage space per unit 1 covered, 1 uncovered space per unit
Mixed Use Development					Per Rohnert Park Zoning Code - <u>Single-Family Attached (Townhomes):</u> 2 spaces per unit, one of which must be covered, plus 1 space per 4 units for guest parking (102 Required) <u>Multi Family (Apartments)</u> • 1 space per studio or 1 bedroom unit; • 2 spaces per 2 bedroom unit; • 2.5 spaces per 3 bedroom unit; and • 1 guest parking space for every 4 units (Total of 66 Required) <u>General Retail:</u> 1 space per 300 square feet of gross floor area (34 Required) <u>Retail Loading:</u> 7,501 to 40,000 sq.ft, 1 berth required					
	7.0	81	24.0	10,000		Townhomes = 3.05 Apartments = 1.75 Retail = 1.52 Net Total = 6.32 (6.96 gross)	<u>Townhomes</u> 2 Bedroom: 21 3 Bedroom: 24 Subtotal: 45 <u>Apartments</u> 1 Bedroom: 18 2 Bedroom: 12 3 Bedroom: 6 Subtotal: 36 Total: 81	Townhomes = 14.75 Apartments. = 20.50	10,340	<u>Townhomes</u> Garage: 90 Guest: 16 Subtotal: 106 <u>Apartments</u> Garage: 36 Guest: 30 3 Bedroom: 6 Subtotal: 66 <u>Retail:</u> Standard (9'x18'): 45 Accessible (9'x18'): 2 Subtotal: 47 <u>Retail Loading</u> 15'x30': 1
Public Facility	0.3	n.a.	n.a.	n.a.	n.a.	0.26	n.a.	n.a.	n.a.	n.a.
Parks	7.9 ²	n.a.	n.a.	n.a.	n.a.	7.98 ²	n.a.	n.a.	n.a.	n.a.
Total	79.5	475	n.a.	n.a.	n.a.	79.47	475	n.a.	n.a.	n.a.

(1) Gross Acreage includes all rights-of-way located within the project boundary, measured to the center line of the street

(2) Includes a 5.0 net acre park and a 2.1 net acre basin (7.1 net acres total)

Land Use



LEGEND			
Land Use	Approx. Gross Ac.	Total Units	Density
Rural Estate Residential	15.95	29	1.8
Low Density Residential	21.05	128	6.0
SE Medium Density Residential	27.27	237	8.7
Mixed Use Development	6.96	81	n.a.
Public Facility	0.26	0	n.a
Parks	7.98 (5.0 Net)	0	n.a.
Total	79.47	475	5.9

WH
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Development Area Plan - Southeast Area

Streets



LEGEND

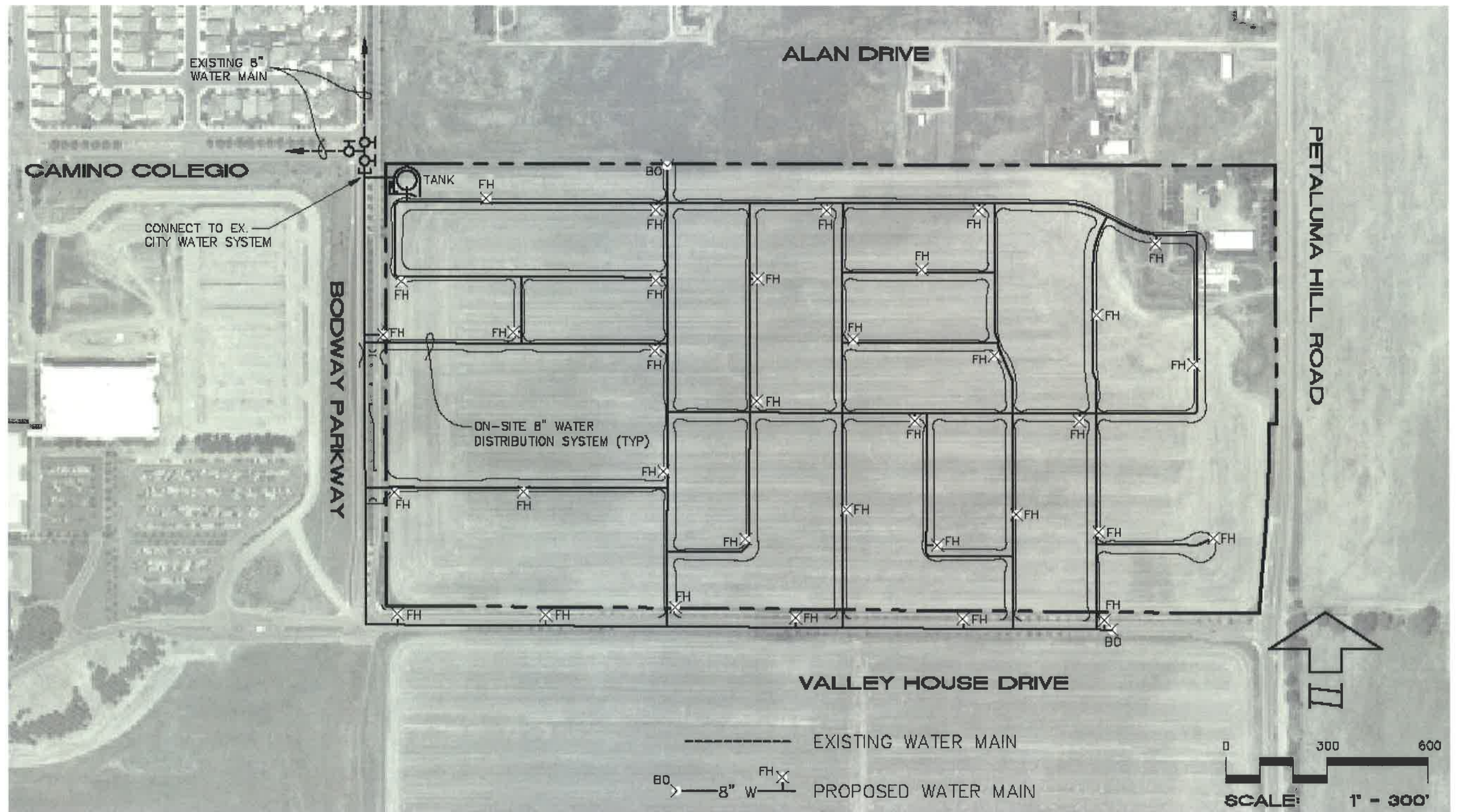
- Major Collector (4 lanes)
- Minor Arterial (2 lanes)
- Minor Local (2 lanes)
- Neighborhood Street (2 lanes)
- Private Drive (2 lanes)

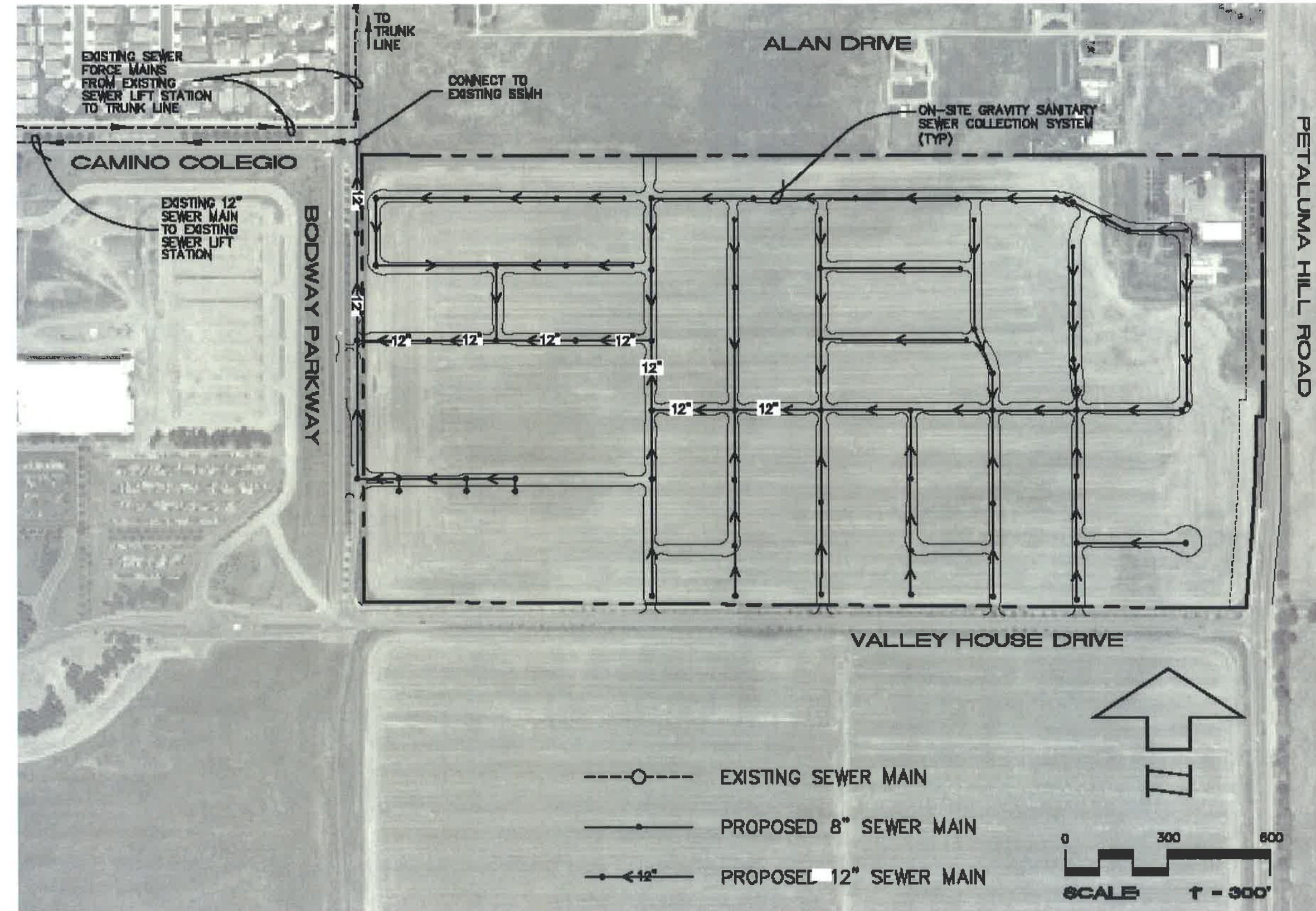
Pedestrian Ways and Bike Ways



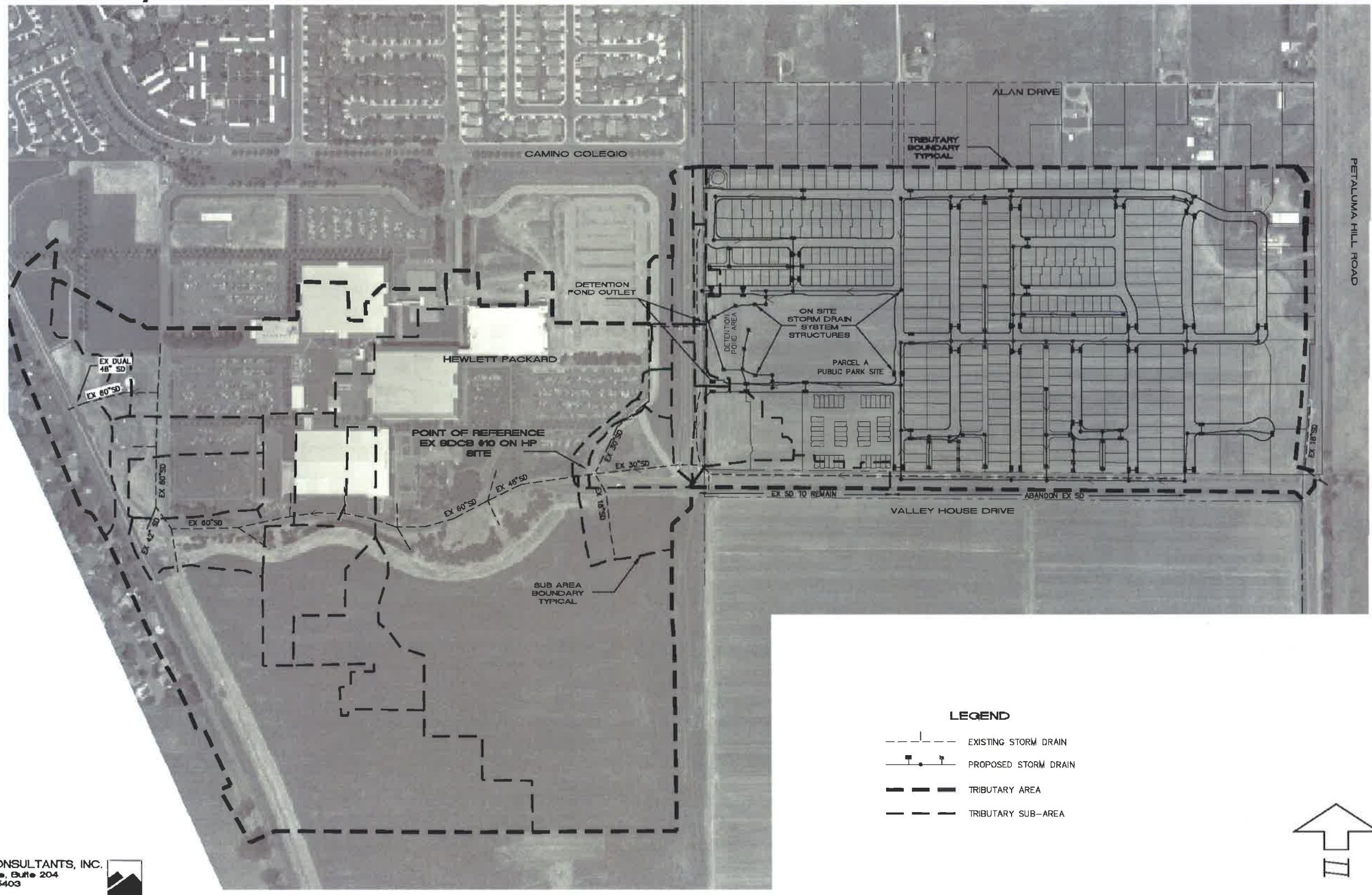
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Preliminary Infrastructure - Water





Preliminary Infrastructure - Storm Drain



Rural Estate

Preliminary Elevations

Minimum Lot Size:	17,000 SF
Minimum Lot Width:	90'
Minimum Lot Depth:	100'
Maximum Lot Coverage:	30%
Minimum Setbacks:	Front: 20' to Porch; 20' to Primary Building; 20' to Garage Rear: 25' to Primary Building; 5' to Detached Garage Side: 10' Interior; 20' Corner



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Plan 2 - Spanish Colonial

Plan 4 - Italianate

Plan 1 - Italianate

Plan 3 - Cottage

Spanish Colonial

The Spanish Colonial Style is an adaptation of Mission Revival enriched with additional Latin American details and elements. The homes are mostly asymmetrical 1 and 2 storied massing with one strong element. Roofs are finished with 'S' shape concrete tile over 4:12 hip or gabled roof forms. The walls are finished with a light to medium texture stucco, and are accented with the occasional use of decorative brick or ceramic tile. The windows are vertical multi-paned and trimmed with simple cementitious material (wood like) or stucco head and sill trim. Featured windows may occur in a recessed wall plane. Exterior accents may include cylindrical towers, porches, balconies, arched openings, and cementitious material (wood-like), stucco or wrought iron details.

The Spanish Colonial color palettes demonstrated in the street scenes were selected to reflect the architectural theme of the style in early 1900's. These colors will include a color range in off-whites or beige tones to light tans for the primary wall colors. The trim color is made up of lighter wood tones and darker colors, simulating the look of stain. Accent colors are deep jewel tones as well as rich earth tones. Roof colors are a subtle blend of terra-cotta shades.



November 25, 2014

Italianate

The Italianate Home's sophisticated façade and graceful details, especially the decorative brackets, make it easily recognizable. Roofs are 'S' shape concrete tile covering low pitch, usually at 4:12, hipped planes providing a continuous eave line. Walls of lightly textured stucco provide a vernacular that is enriched with selective use of cut stone as an entire surface material or as entry and corner accent. Vertical multi-paned windows are trimmed at the head and sill and occasionally at the jamb and may have arched or curved window tops. Exterior accents may include a pronounced entry with door surrounds of cementitious material (wood-like), stucco or simulated stone, pot shelves, balconies of decorative wrought iron, and shutters.

The Italianate color palettes demonstrated in the street scenes were selected to reflect the architectural theme of their origin. These colors will include rich, saturated hues of yellow, tan, and salmon for the primary wall colors. The trim color is deeply tinted whites or lighter wood tones and sometimes will include a darker secondary trim color. Accents are emphasized with the use of bolder jewel tones as well as rich earth tones. Roof colors are a complex blend of terra-cottas, browns, tans, and warm reds.

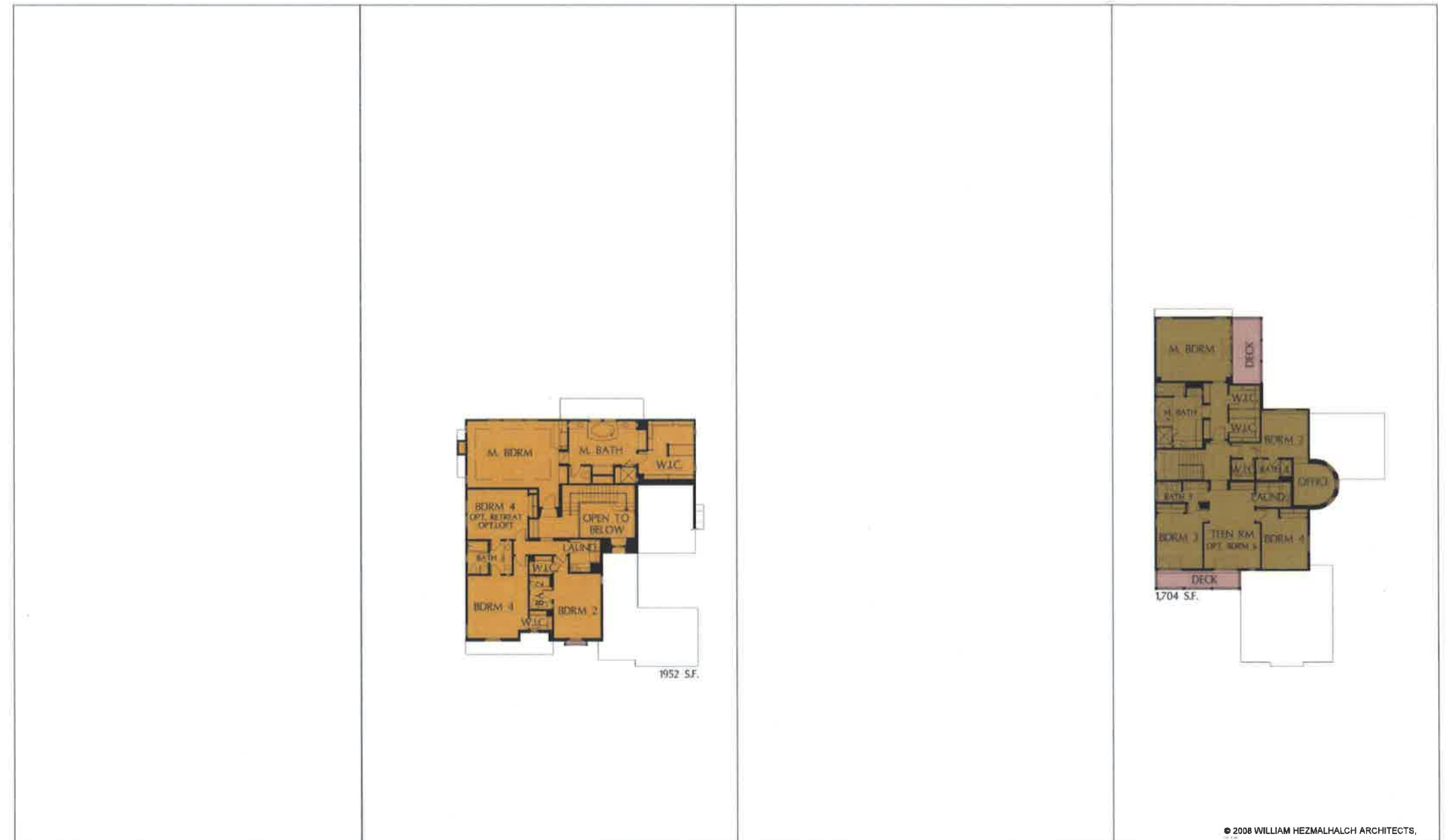
Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.

Rural Estate

Preliminary Floor Plans – Second Floor



Plan 4

Plan 3

Low Density

Preliminary Elevations

Minimum Lot Size:	5,000 SF
Minimum Lot Width:	50'
Minimum Lot Depth:	90'
Maximum Lot Coverage:	50%
Minimum Private Yard:	750 SF
Minimum Setbacks:	Front: 10' to Porch; 15' to Primary Building; 20' to Garage Rear: 15' to Primary Building; 5' to Garage Side: 5' Interior; 10' Corner



Plan 3 - Cottage

Plan 1X - Craftsman

Plan 1 - Farmhouse

Plan 2 - Traditional

Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.

Craftsman

The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

The Craftsman color palettes demonstrated in the street scenes were selected to reflect a modern interpretation of historic themes. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim is a complimentary color to the wall color selected from the same earth tone range. Accent colors typically used on the entry door and railings are rich, light earthy shades of green, red, and brown. Roof colors are shades of warm green and brown.

Farmhouse

The Farmhouse style has evolved with respect to rural American culture and traditions, primarily found in the Mid-West. The main roof may be gabled or hipped with simple cornice trim at the gable ends. Decorative brackets may be found at the gable ends as well. Premium grade composition or flat concrete roof tiles cover roof pitches from 4:12 to 12:12. Walls are primarily covered with horizontal siding or board and batten. Vertical multi-paned windows with divided lites or inserts are trimmed at the jamb head and sill. The trim may be multi-layered at feature windows. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) vents at the gable end.

The Farmhouse color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

Traditional

The Traditional style has evolved with respect to American culture and traditions primarily rooted in the East Coast and Midwest. The main roof may have simple cornice trim at the gable ends. Premium composition shingles or flat concrete roof tiles, cover roof pitches from 4:12 to 12:12. Walls are primarily covered with board and batten or horizontal siding. Vertical multi-paned windows with true divided lites or inserts are trimmed with cementitious material (wood-like), at the 4 jambs head and sill. The trim may be multi-layered. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) or composite vents at the gable ends.

The Traditional color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

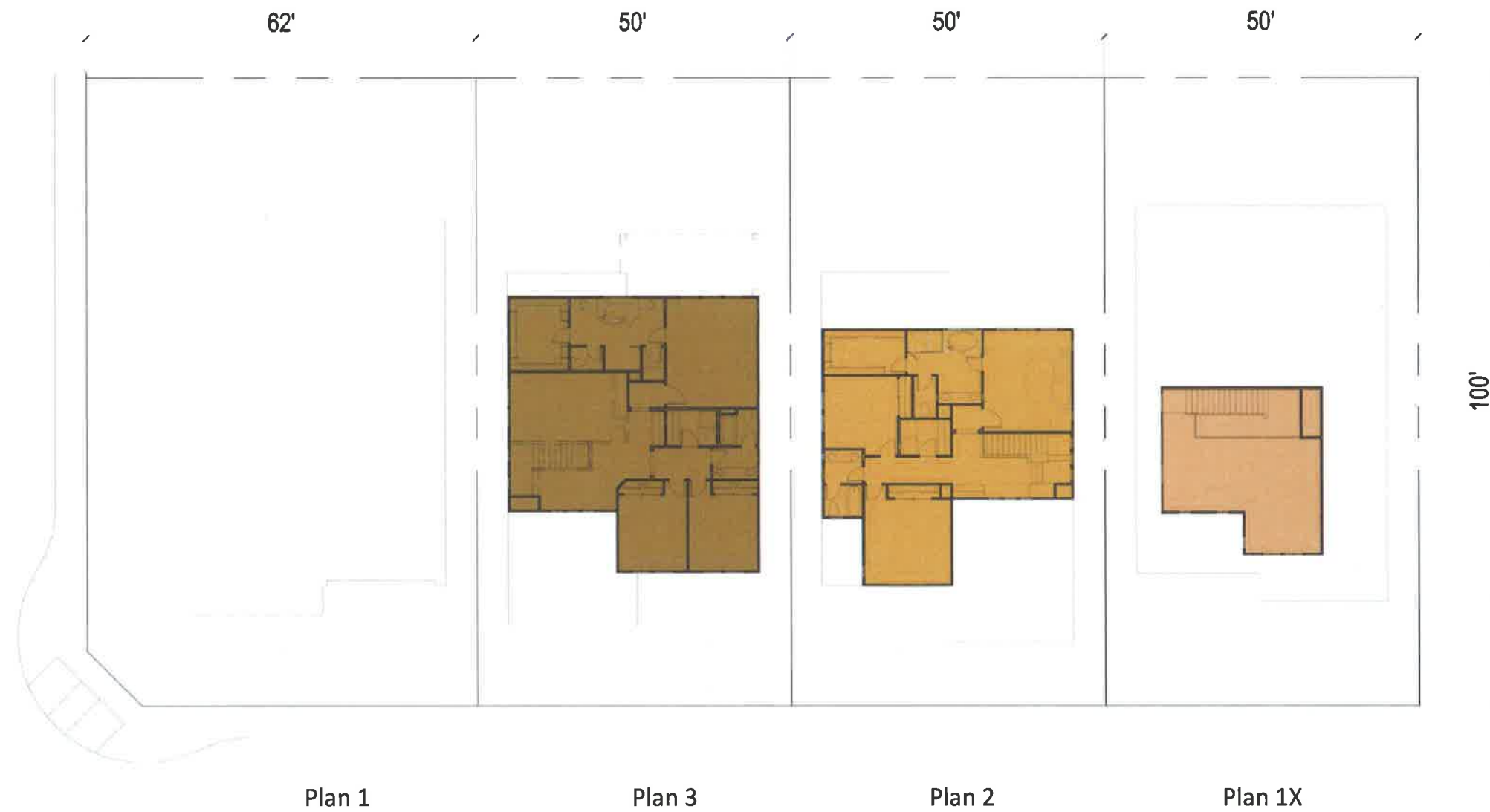
LowDensity

Typical Plot Plan & Preliminary Floor Plans – First Floor



Low Density

Preliminary Floor Plans – Second Floor



SE Medium Density - Conventional

Preliminary Elevations

Minimum Lot Size:	3,000 SF
Minimum Lot Width:	35'
Minimum Lot Depth:	80'
Maximum Lot Coverage:	50%
Minimum Private Yard:	400 SF
Minimum Setbacks:	Front: 5' to Porch; 10' to Primary Building; 20' to Garage Rear: 10' to Primary Building; 5' to Garage Side: 4' Interior; 10' Corner



Plan 2 - Traditional

Plan 3 - Farmhouse

Plan 2 - Craftsman

Plan 3 - Cottage

Plan 1 - Traditional

Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.



Farmhouse

The Farmhouse style has evolved with respect to rural American culture and traditions, primarily found in the Mid-West. The main roof may be gabled or hipped with simple cornice trim at the gable ends. Decorative brackets may be found at the gables ends as well. Premium grade composition or flat concrete roof tiles cover roof pitches from 4:12 to 12:12. Walls are primarily covered with horizontal siding or board and batten. Vertical multi-paned windows with divided lites or inserts are trimmed at the jamb head and sill. The trim may be multi-layered at feature windows. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) vents at the gable end.

The Farmhouse color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

Craftsman

The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

The Craftsman color palettes demonstrated in the street scenes were selected to reflect a modern interpretation of historic themes. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim is a complimentary color to the wall color selected from the same earth tone range. Accent colors typically used on the entry door and railings are rich, light earthy shades of green, red, and brown. Roof colors are shades of warm green and brown.

Traditional

The Traditional style has evolved with respect to American culture and traditions primarily rooted in the East Coast and Midwest. The main roof may have simple cornice trim at the gable ends. Premium composition shingles or flat concrete roof tiles, cover roof pitches from 4:12 to 12:12. Walls are primarily covered with board and batten or horizontal siding. Vertical multi-paned windows with true divided lites or inserts are trimmed with cementitious material (wood-like) at the jamb head and sill. The trim may be multi-layered. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) or composite vents at the gable ends.

The Traditional color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

SE Medium Density - Conventional

Typical Plot Plan & Preliminary Floor Plans – First Floor



SE Medium Density - Conventional

Preliminary Floor Plans – Second Floor



Plan 1

Plan 2

Plan 3

SE Medium Density-Conventional Duet

Preliminary Elevations

Minimum Lot Size:	1,800 SF
Minimum Lot Width:	29'
Minimum Lot Depth:	60'
Maximum Lot Coverage:	70%
Minimum Private Yard:	250 SF
Minimum Setbacks:	Front: 5' to Porch; 8' to Primary Building; 18' to Garage Side: 0/8' Aggregate



Front - Craftsman
Plan 4

Craftsman

The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

The Craftsman color palettes demonstrated in the street scenes were selected to reflect a modern interpretation of historic themes. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim is a complimentary color to the wall color selected from the same earth tone range. Accent colors typically used on the entry door and railings are rich, light earthy shades of green, red, and brown. Roof colors are shades of warm green and brown.



Right Side - Craftsman
Plan 4 Plan 5

Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

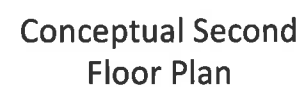
The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.



Front - Cottage
Plan 4

W
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Preliminary Floor Plans



SE Medium Density - Motorcourt

Preliminary Elevations

Minimum Lot Size:	3,000 SF
Minimum Lot Width:	50'
Minimum Lot Depth:	55'
Maximum Lot Coverage:	60%
Minimum Private Yard:	350 SF
Minimum Setbacks:	Front: 5' to Porch; 8' to Primary Building; 20' to Garage from Public Street and 18' from Private street
	Rear: 10' to Primary Building
	Side: 4' Interior; 7' Corner



Plan 4 - Craftsman

Plan 3 - Farmhouse

20'
Private Drive

Plan 4 - Cottage

Plan 3 - Craftsman

Craftsman

The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

The Craftsman color palettes demonstrated in the street scenes were selected to reflect a modern interpretation of historic themes. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim is a complimentary color to the wall color selected from the same earth tone range. Accent colors typically used on the entry door and railings are rich, light earthy shades of green, red, and brown. Roof colors are shades of warm green and brown.

Farmhouse

The Farmhouse style has evolved with respect to rural American culture and traditions, primarily found in the Mid-West. The main roof may be gabled or hipped with simple cornice trim at the gable ends. Decorative brackets may be found at the gable ends as well. Premium grade composition or flat concrete roof tiles cover roof pitches from 4:12 to 12:12. Walls are primarily covered with horizontal siding or board and batten. Vertical multi-paned windows with divided lites or inserts are trimmed at the jamb head and sill. The trim may be multi-layered at feature windows. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) vents at the gable end.

The Farmhouse color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

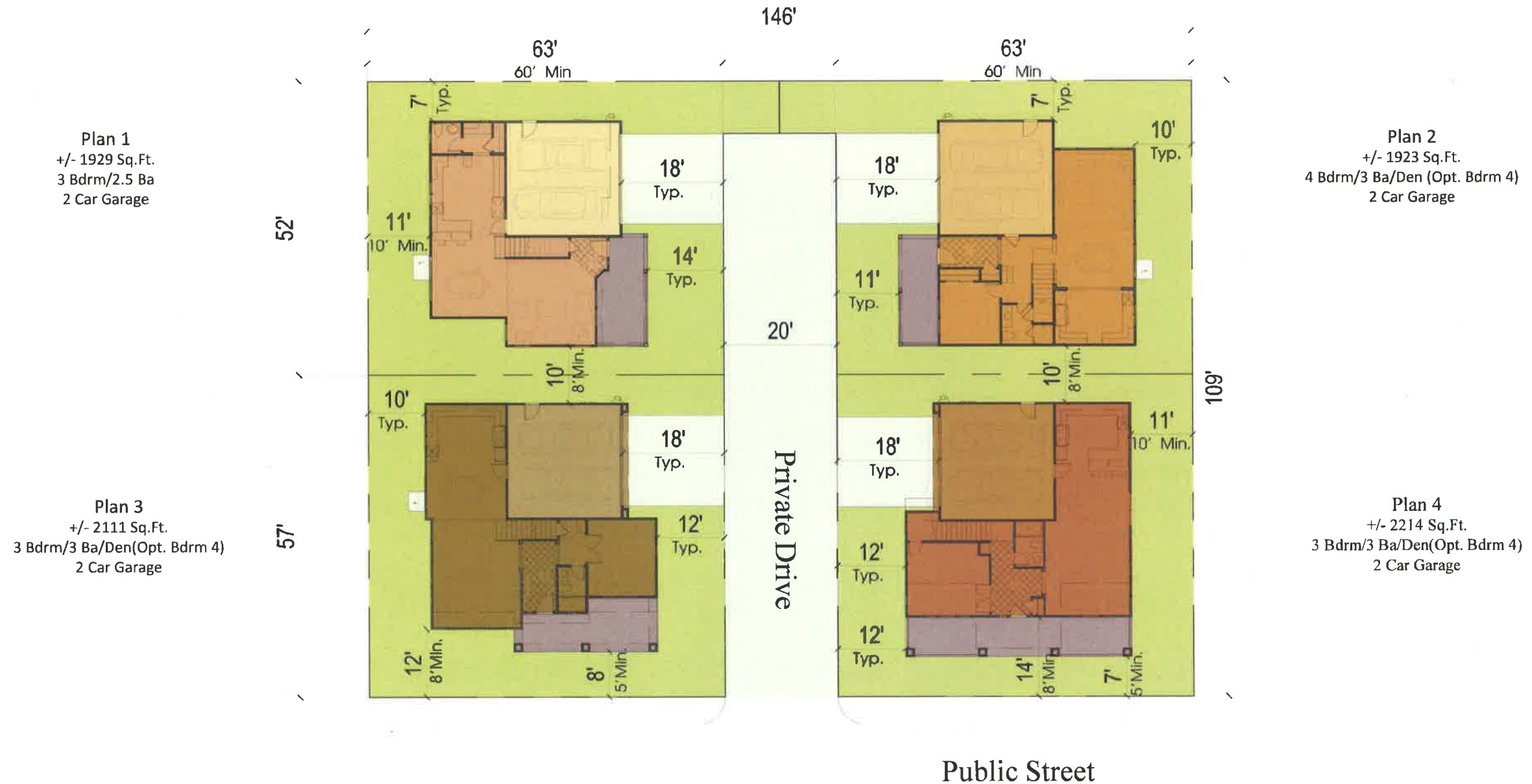
Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.

SE Medium Density - Motorcourt

Typical Plot Plan & Preliminary Floor Plans – First Floor



SE Medium Density - Motorcourt

Preliminary Floor Plans- Second Floor

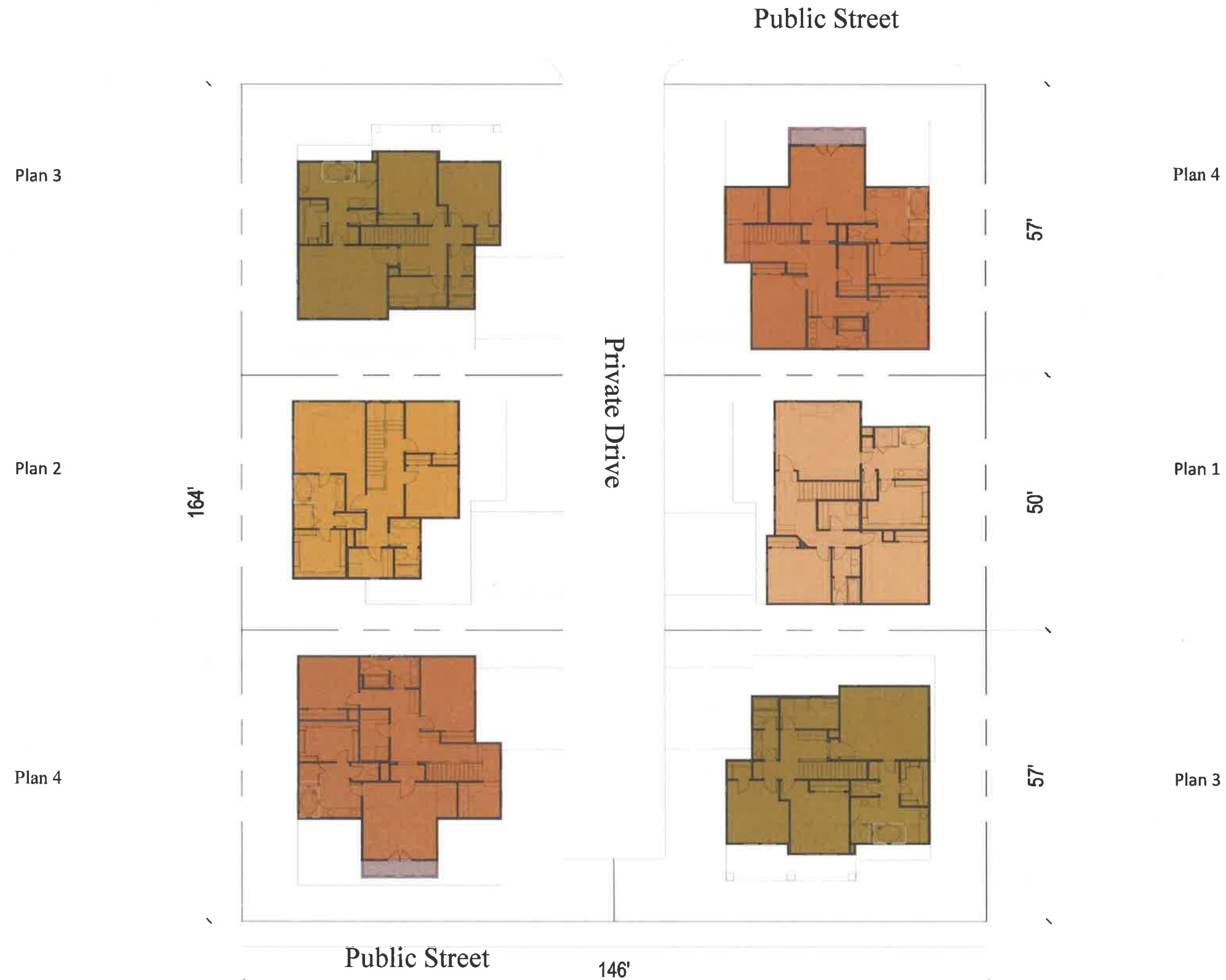


Typical Plot Plan & Preliminary Floor Plans – First Floor



SE Medium Density - Motorcourt

Preliminary Floor Plans – Second Floor



Mixed-Use Site – Conceptual Site Plan with Parking & Loading



Retail:			
Total Site Area:	66,210 SF (1.52 AC)	100%	
Total Building Footprint:	10,340 SF	18%	
Total Common Open Space:	27,100 SF	48%	
Total Paving Area:	19,560 SF	34%	
Gross Floor Area:	10,340 SF		
FAR:	0.16		
Loading:	1 Space (15'x30')		
Parking:	45 Public Spaces		
	2 Accessible Spaces		
	47 Total Spaces		
	1.36 Spaces/300 SF Retail		
	(1 per 300 required)		
Apartments:			
Total Site Area:	76,230 SF (1.75 AC)	100%	
Total Building Footprint:	20,220 SF	23%	
On-Grade Private Open Space:	900 SF	1%	
Above-Grade Private Open Space:	1,680 SF		
Total Common Open Space:	40,880 SF	48%	
Total Paving Area:	23,740 SF	28%	
Gross Floor Area:	40,440 SF		
Dwelling Unit (DU) Count:	36 Total		
	1 Bedroom:	18	
	2 Bedroom:	12	
	3 Bedroom:	6	
Density:	20.6 DU/AC		
FAR:	0.53		
Parking:	28 Public Spaces		
	2 Accessible Spaces		
	36 Private Garage Spaces		
	66 Total Spaces		
	(66 required)		
Townhomes:			
Total Site Area:	132,780 SF (3.05 AC)	100%	
Total Building Footprint:	48,100 SF	36%	
On-Grade Private Open Space:	3,120 SF	2%	
Total Common Open Space:	48,370 SF	36%	
Total Paving Area:	33,190 SF	26%	
Gross Floor Area:	97,537 SF		
Unit Count:	45 Total		
	2 Bedroom:	21	
	3 Bedroom:	24	
Density:	14.7 DU/AC		
FAR:	0.73		
Parking:	15 Public Spaces		
	1 Accessible Space		
	90 Private Garage Spaces		
	106 Total Spaces		
	(102 required)		



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Apartments

Preliminary Elevations

Maximum Lot Coverage:	80%
Minimum Private Yard:	50 SF
Minimum Setbacks:	Front: 10' to Primary Building Rear: 10' to Primary Building Side: 10' to Corner



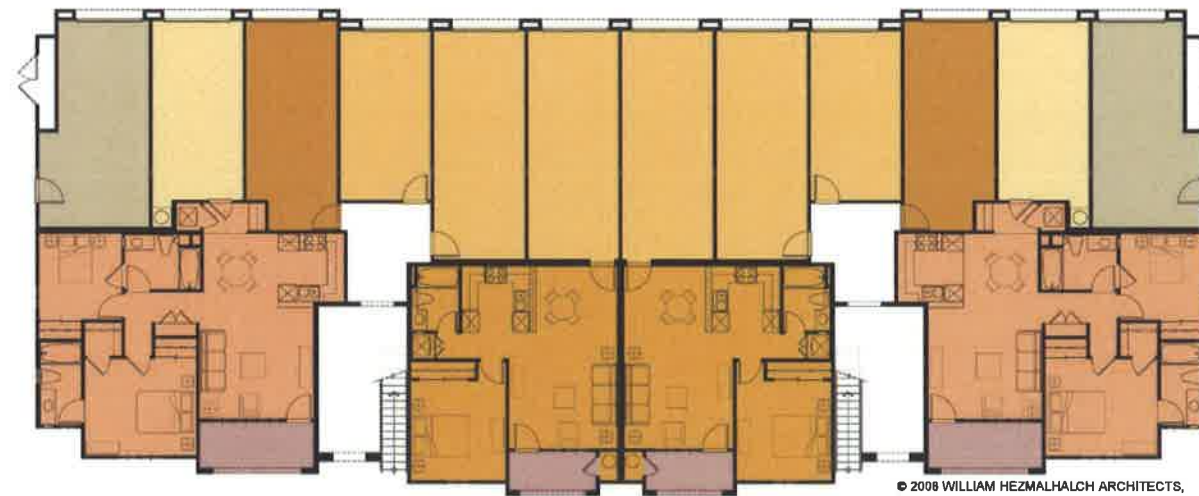
© 2008 WILLIAM HEZMALHALCH ARCHITECTS.

The Apartments are 2-story buildings composed of stacked flat units with attached 1-car garages. Roofs are finished with flat concrete tile over 4:12 hip roof forms with the occasional cross gable relieving the horizontal movement of the roof. The walls are predominately finished with cementitious (wood like) siding above the second floor line with medium texture stucco below. Porches and decks are highlighted with the use of brick with a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple 4 inch surrounds. Accents include horizontal bands, shutters, and metal railing.

The color palettes for the Apartments demonstrated in the street scenes were selected to reflect an eclectic mix of the colors that are seen in the adjacent neighborhoods. These colors will include earth tones ranging from warm greens and light browns to tans for the primary wall colors. The trim color is deeply tinted whites. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are light shades of warm gray and brown.

Apartments

Preliminary Floor Plans – First Floor



Plan 2
+/- 920 Sq.Ft.
2 Bdrm/2 Ba
1 Car Garage

Plan 1
+/- 626 Sq.Ft.
1 Bdrm/1 Ba
1 Car Garage

Plan 1
+/- 626 Sq.Ft.
1 Bdrm/1 Ba
1 Car Garage

Plan 2
+/- 920 Sq.Ft.
2 Bdrm/2 Ba
1 Car Garage

Apartments

Preliminary Floor Plans – Second Floor



Townhomes- 5-Plex

Preliminary Elevations

Maximum Lot Coverage:	80%
Minimum Private Yard:	50 SF
Minimum Setbacks:	Front: 10' to Primary Building
	Rear: 10' to Primary Building
	Side: 10' to Corner



The Townhomes are an assemblage of eclectic row houses influenced by the architectural styles found in the adjoining neighborhoods. The 2-story buildings are composed of individual townhomes with a strong vertical rhythm establishing a scale compatible with the detached homes in the project. Single story elements nestled against the main body of the structure generate horizontal movements that further enhance the homes. Roofs are finished with flat concrete tile over 4:12 gable and hip roof forms. The walls are predominately finished with cementitious (wood like) siding and stucco with a medium texture as a secondary material. The walls are accented with the occasional use of brick with a rustic handmade look. The windows have a vertical proportion with mullions and trimmed with simple 4 inch surrounds. Accents include porches, columns, cornice trim, shutters, and gable end articulation.

The color palettes for the Townhomes demonstrated in the street scenes were selected to reflect an eclectic mix of the colors that are seen in the adjacent neighborhoods. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim color is deeply tinted whites or lighter wood tones. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of warm gray and brown.

Townhomes - 5-Plex

Preliminary Floor Plans – First Floor



Plan 2	Plan 3	Plan 1	Plan 3	Plan 4
+/- 1513 Sq.Ft.	+/- 1609 Sq.Ft.	+/- 1444 Sq.Ft.	+/- 1609 Sq.Ft.	+/- 1794 Sq.Ft.
2 Bdrm/2.5 Ba/Loft	3 Bdrm/2.5 Ba/Loft	2 Bdrm/2.5 Ba/Loft	3 Bdrm/2.5 Ba/Loft	3 Bdrm/2.5 Ba/Loft
2 Car Garage	2 Car Garage	2 Car Garage	2 Car Garage	2 Car Garage

Townhomes - 5-Plex

Preliminary Floor Plans – Second Floor



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Plan 2 Plan 3 Plan 1 Plan 3 Plan 4

Townhomes - 6-Plex

Preliminary Elevations

Maximum Lot Coverage:	80%
Minimum Private Yard:	50 SF
Minimum Setbacks:	Front: 10' to Primary Building Rear: 10' to Primary Building Side: 10' to Corner
Total Public Open Space:	41,460 SF
Total Private Open Space:	3,120 SF
Parking:	20 Public Spaces 90 Private Garage Spaces



The Townhomes are an assemblage of eclectic row houses influenced by the architectural styles found in the adjoining neighborhoods. The 2-story buildings are composed of individual townhomes with a strong vertical rhythm establishing a scale compatible with the detached homes in the project. Single story elements nestled against the main body of the structure generate horizontal movements that further enhance the homes. Roofs are finished with flat concrete tile over 4:12 gable and hip roof forms. The walls are predominately finished with cementitious (wood like) siding and stucco with a medium texture as a secondary material. The walls are accented with the occasional use of brick with a rustic handmade look. The windows have a vertical proportion with mullions and trimmed with simple 4 inch surrounds. Accents include porches, columns, cornice trim, shutters, and gable end articulation.

The color palettes for the Townhomes demonstrated in the street scenes were selected to reflect an eclectic mix of the colors that are seen in the adjacent neighborhoods. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim color is deeply tinted whites or lighter wood tones. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of warm gray and brown.

Townhomes - 6-Plex

Preliminary Floor Plans – First Floor



Plan 2	Plan 1	Plan 3	Plan 1	Plan 3	Plan 4
+/- 1513 Sq.Ft.	+/- 1444 Sq.Ft.	+/- 1609 Sq.Ft.	+/- 1444 Sq.Ft.	+/- 1609 Sq.Ft.	+/- 1794 Sq.Ft.
2 Bdrm/2.5 Ba/Loft	2 Bdrm/2.5 Ba/Loft	3 Bdrm/2.5 Ba/Loft	2 Bdrm/2.5 Ba/Loft	3 Bdrm/2.5 Ba/Loft	3 Bdrm/2.5 Ba/Loft
2 Car Garage	2 Car Garage	2 Car Garage	2 Car Garage	2 Car Garage	2 Car Garage

Townhomes - 6-Plex

Preliminary Floor Plans – Second Floor



Plan 2

Plan 1

Plan 3

Plan 1

Plan 3

Plan 4

Retail

Preliminary Elevations



Front Elevation - View from Bodway Parkway

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Rear Elevation - View from Parking Area

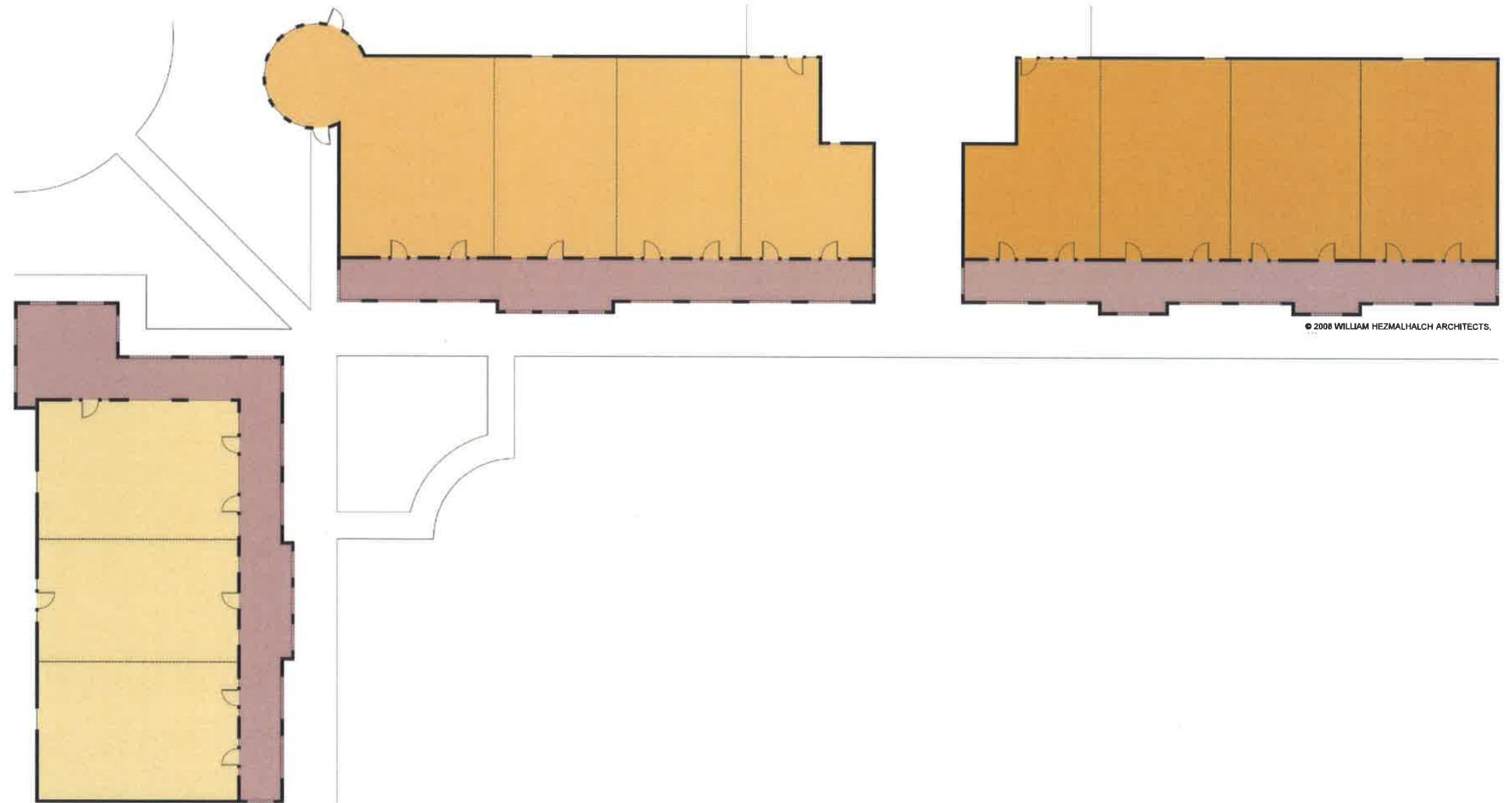
© 2008 WILLIAM HEZMALHALCH ARCHITECTS.

The 1-story retail buildings have an agrarian nature to them and are organized to address street frontage and parking that occur on opposite sides. The majority of the shop doors are located on the parking side of the building with signage and a few doors attracting patrons' attention from the street. Roofs are finished with standing seam metal over low-pitched planes that respect the residential character of the area. The walls are finished with medium texture stucco and accented with the occasional use of a masonry wainscot in textural rubble like stone.

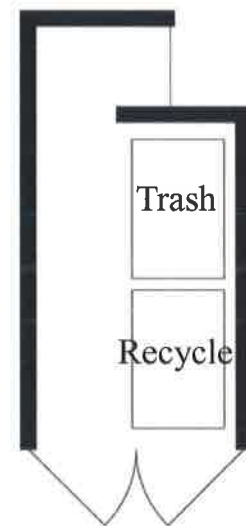
The color palettes for the Retail Shops demonstrated in the street scenes were selected to reflect the mix of the colors that are seen in the adjacent neighborhoods. These colors will include earth tones ranging from warm reds and medium browns to tans and ochre yellows for the primary wall colors. The trim and accent color is a sage green that is applied to fascias, woodwork, and building masses. Roof colors are medium shades of warm gray.

Retail

Preliminary Floor Plans



Trash Enclosure



Conceptual Plan View



Conceptual Elevation

Illustrative Landscape Plan

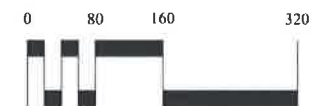


PROJECT STREET TREE LEGEND

BOTANICAL NAME / COMMON NAME	SIZE	BOTANICAL NAME / COMMON NAME	SIZE
ACER X. FREEMANTII 'JEFFERSRED' (AUTUMN BLAZE MAPLE)	24" BOX	BETULA NIGRA 'CULY' (HERITAGE BIRCH)	24" BOX
ACER SACCHARINUM (SILVER MAPLE)	24" BOX	GINKGO BILOBA (MAIDENHAIR TREE)	24" BOX
CEUTIS AUSTRALIS (COMMON HACKBERRY)	24" BOX	LAGERSTROEMIA INDICA 'MUSKOGEE' (GRAPE MYRTLE)	24" BOX
PISTACIA CHINENSIS (CHINESE PISTACHE)	24" BOX	LAGERSTROEMIA INDICA 'POTOMAC' (GRAPE MYRTLE)	24" BOX
PLATANUS ACERIFOLIA 'BLOODGOOD' (LONDON PLANE TREE)	24" BOX	PRUNUS SERRULATA 'KWANZAN' (FLOWERING CHERRY)	24" BOX
QUERCUS RUBRUM (RED OAK)	24" BOX	PYRUS CALLERYANA 'ARISTOCRAT' (ARISTOCRAT PEAR)	24" BOX
SEQUOIA SEMPERVIRENS (COAST REDWOOD)	24" BOX		
ULMUS PARVIFOLIA 'DRAKE' (DRAKE ELM)	24" BOX		



November 25, 2014



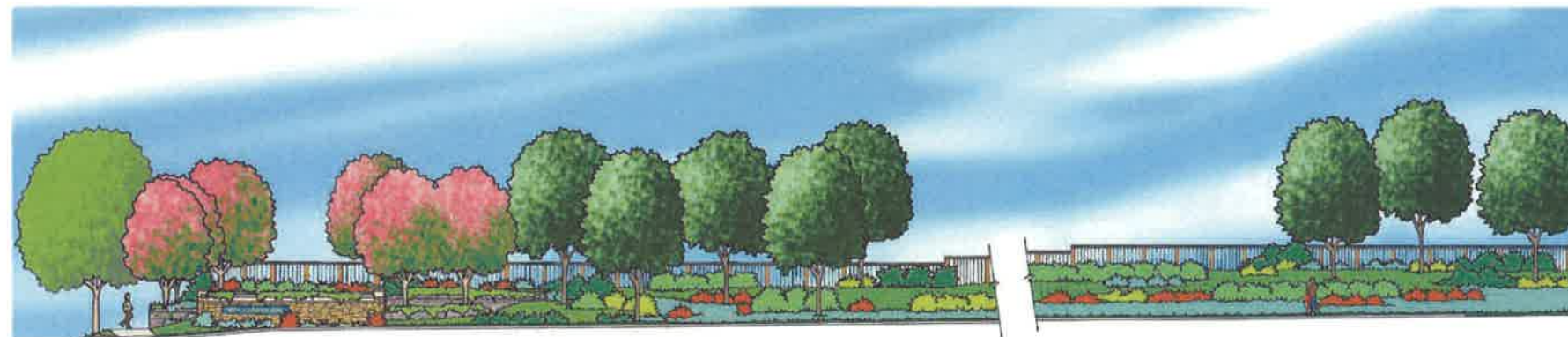
Mixed-Use Site - Illustrative Landscape Plan



Community Monumentation

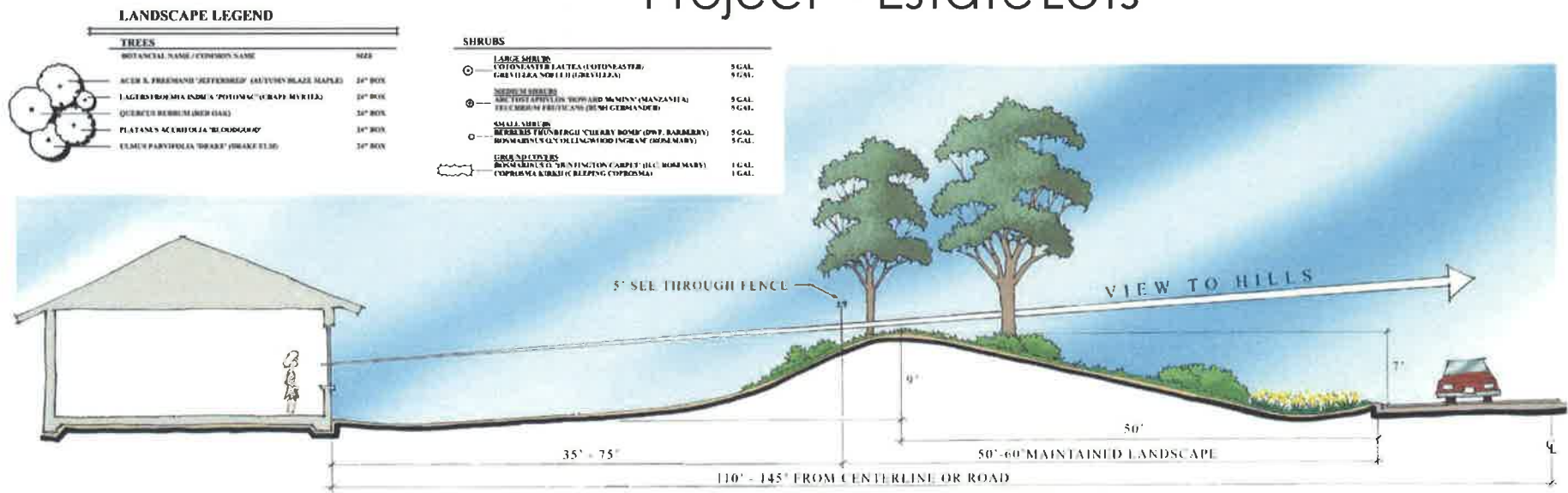


Corner of Valley House & Petaluma Hill Road Streetscape



Petaluma Hill Road - Elevation

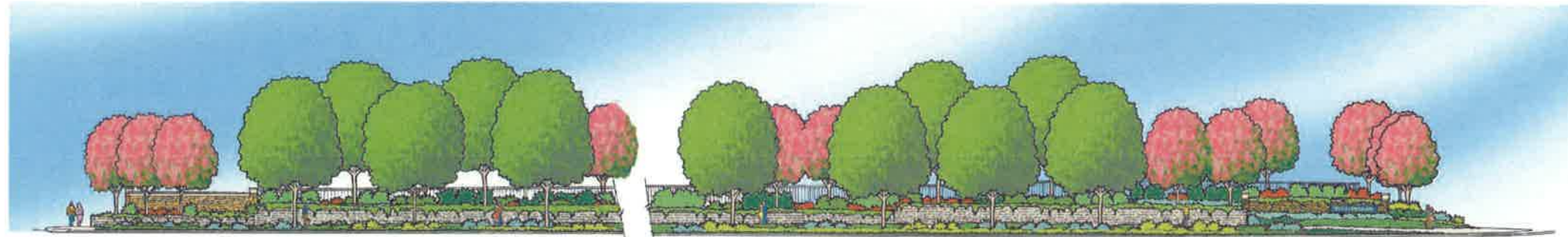
Estate View Corridors



Section at Petaluma Hill Road

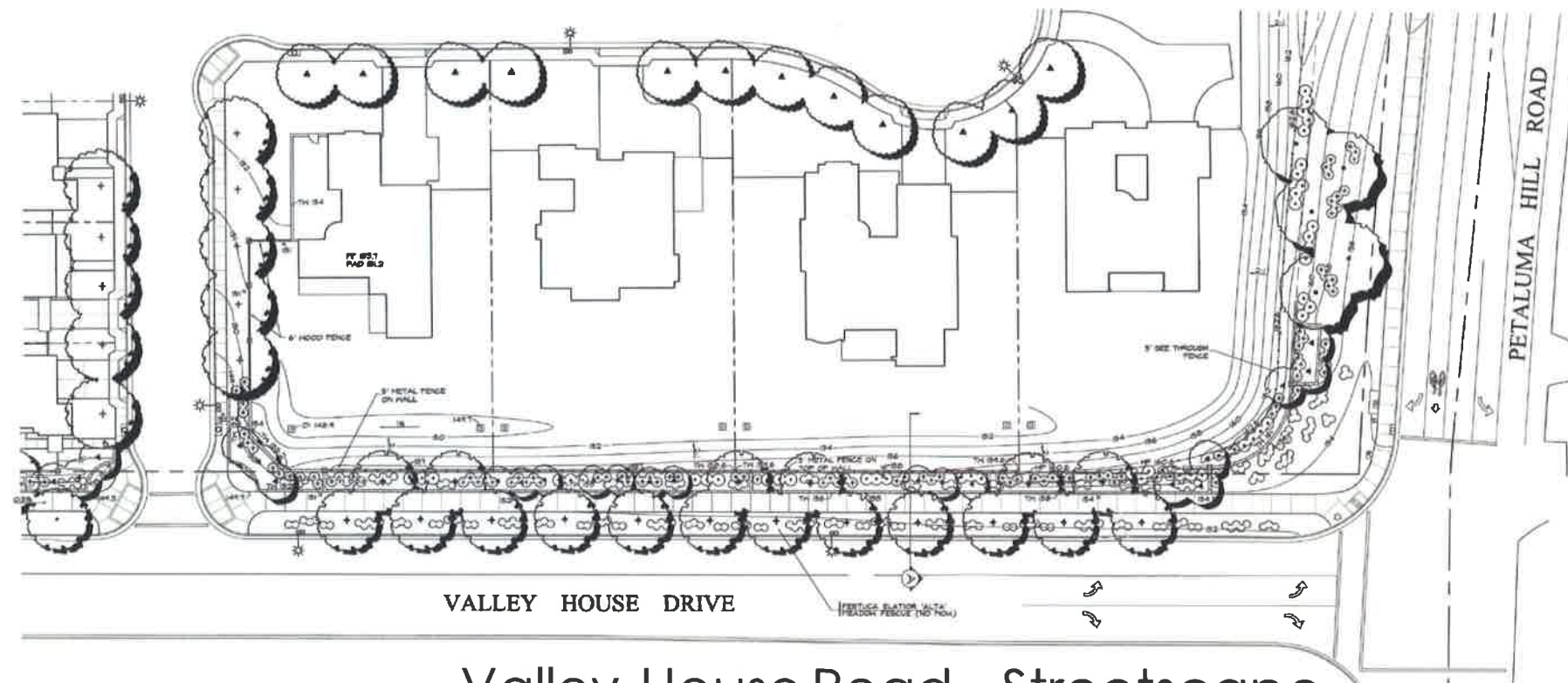


Perimeter Streetscape Details - Valley House Road



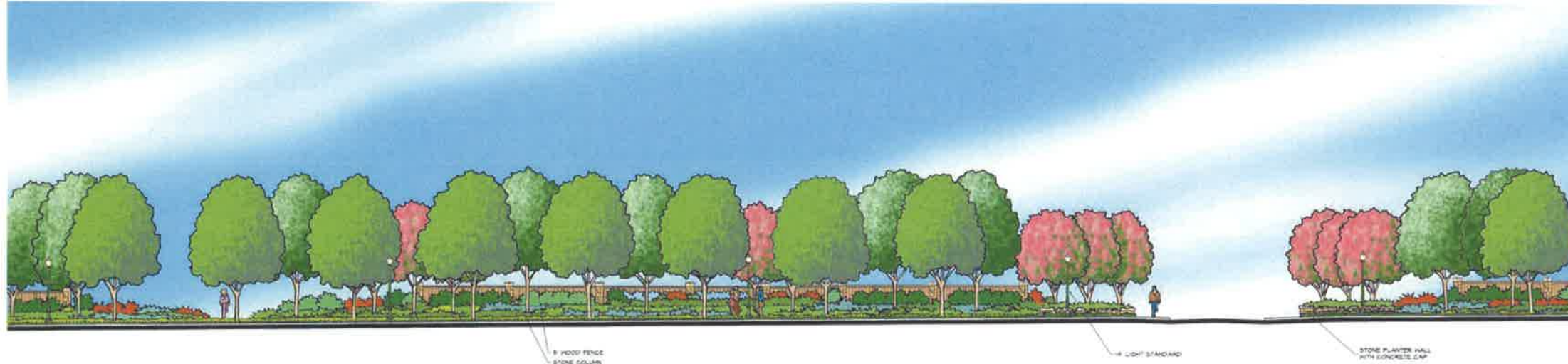
Valley House Road - Elevation at Estate Lots

LANDSCAPE LEGEND		
TREES		
BOTANICAL NAME / COMMON NAME	SIZE	
ACER X. FREEMANII 'JEFFERSON' (AUTUMN BLAZE MAPLE)	34" BOX	
LAGERSTROEMIA INDICA 'POTOMAC' (CRAPE MYRTLE)	34" BOX	
QUERCUS RUBRUM (RED OAK)	34" BOX	
PLATANUS ACERIFOLIA 'BLOODGOOD'	34" BOX	
ULMUS PARVIFOLIA 'DRACE' (DRACE ELA)	34" BOX	
SHRUBS		
LARGE SHRUBS		
COTONEASTER LACTEA (COTONEASTER)	5 GAL.	
GREVILLEA NOELII (GREVILLEA)	5 GAL.	
MEDIUM SHRUBS		
ARCTOSTAPHYLOS 'HOWARD MOSEY' (MANZANITA)	5 GAL.	
XYLOSMA CONGESTUM 'COMPACTA' (DWARF XYLOSMA)	5 GAL.	
SMALL SHRUBS		
BERBERIS THUNBERGII 'CHERRY BONIE' (DWARF BAKBERRY)	5 GAL.	
ROSMARINUS O. 'COLLINGWOOD INGRAM' (ROSEMARY)	5 GAL.	
GROUND COVERS		
ROSMARINUS O. 'HUNTINGTON CARPET' (D.C. ROSEMARY)	1 GAL.	
COPROSMA KIRKII (CREEPING COPROSMA)	1 GAL.	
TURF (AS INDICATED ON PLAN)		

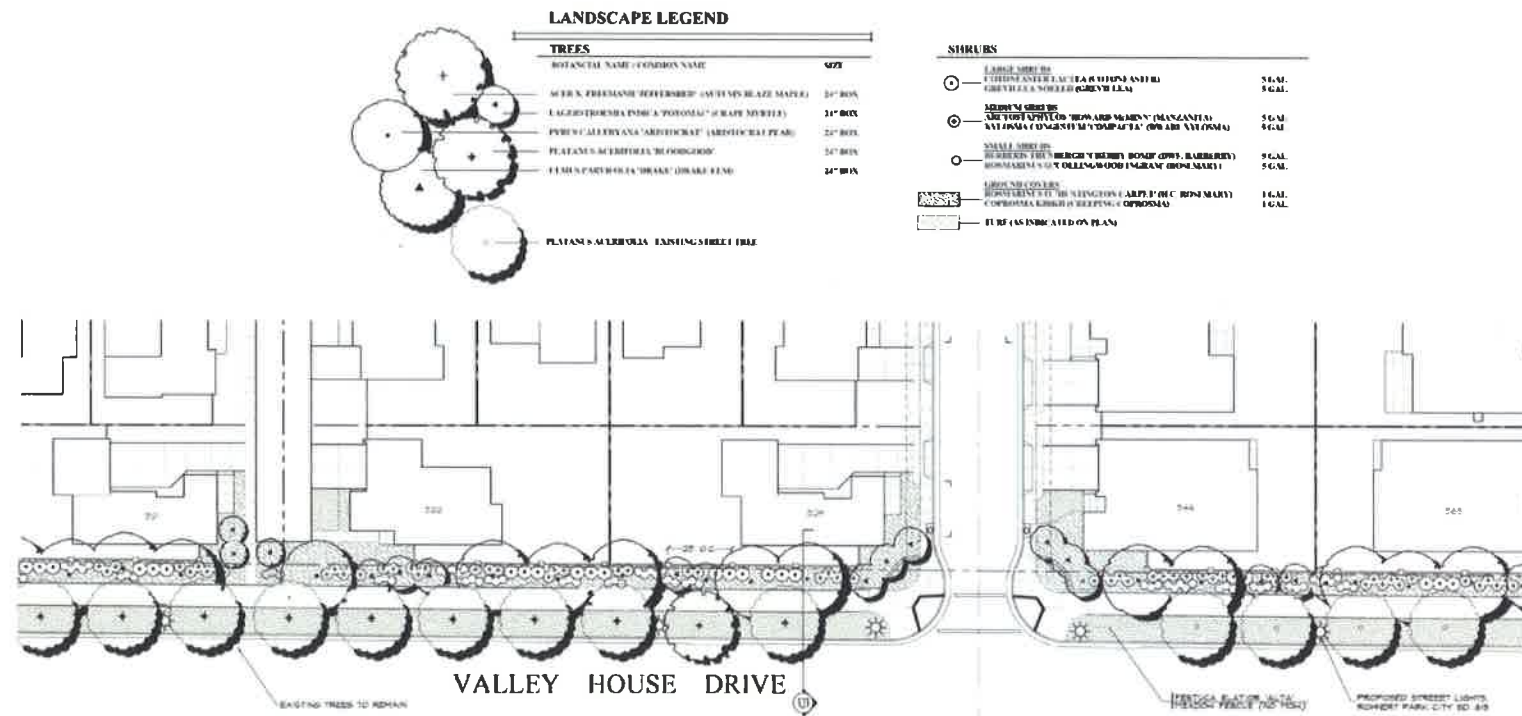


Valley House Road - Streetscape

Perimeter Streetscape Details - Valley House Road



Valley House Road - Elevation at MDA Lots

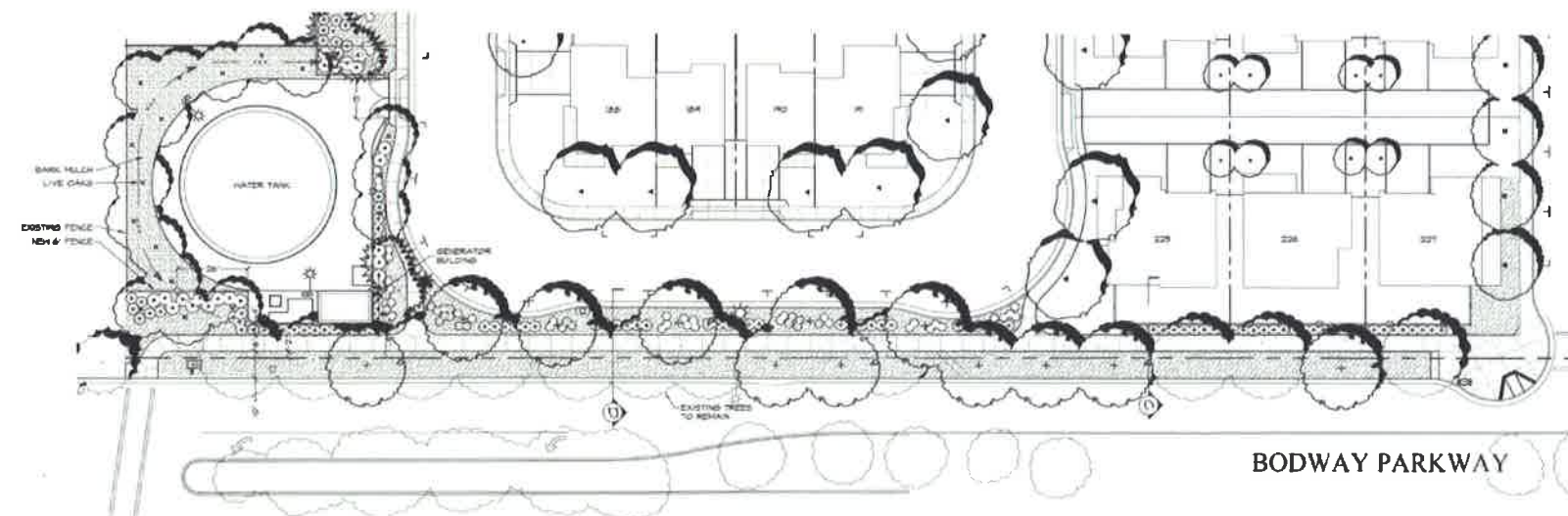


Valley House Road - Streetscape

Perimeter Streetscape Details - Bodway Parkway

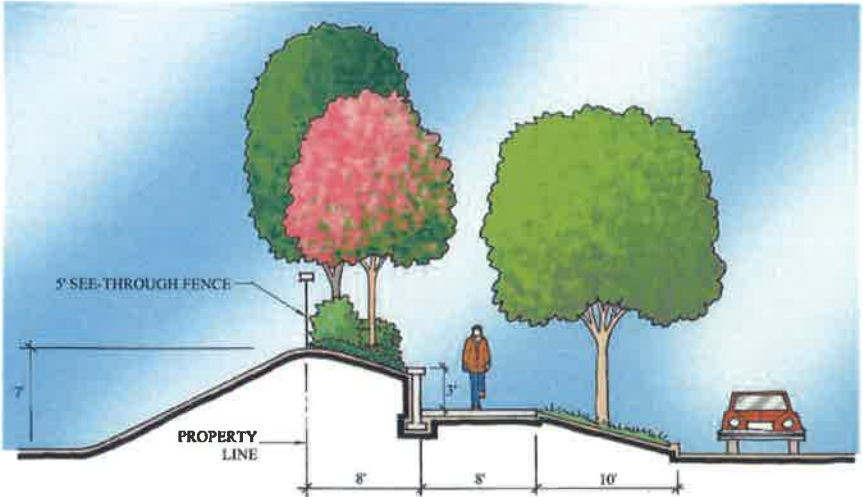


Bodway Parkway - Elevation

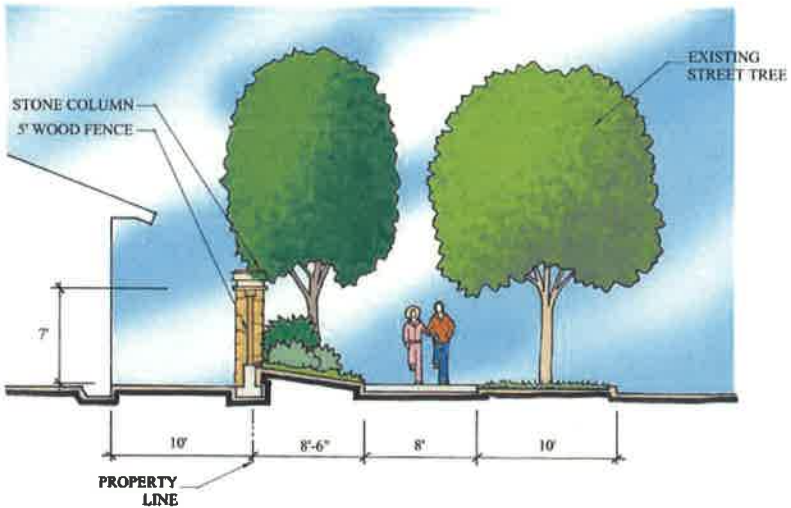


Bodway Parkway - Streetscape

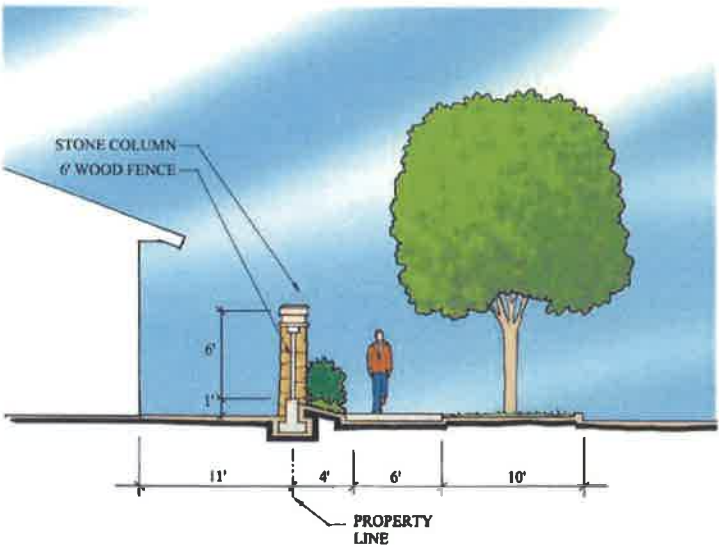
Perimeter Streetscape Sections



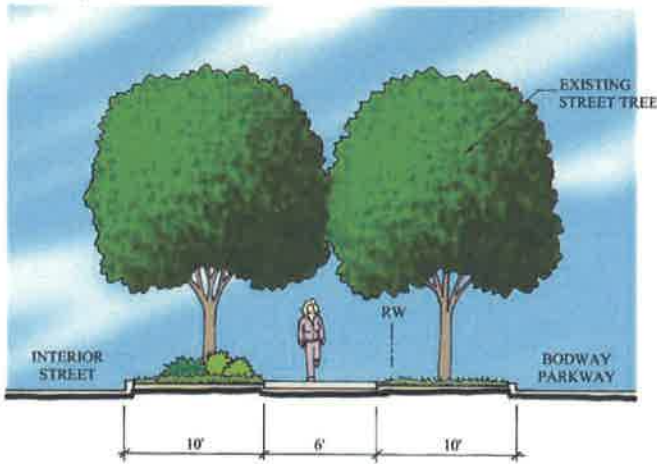
Section A – Valley House Road



Section B – Valley House Road

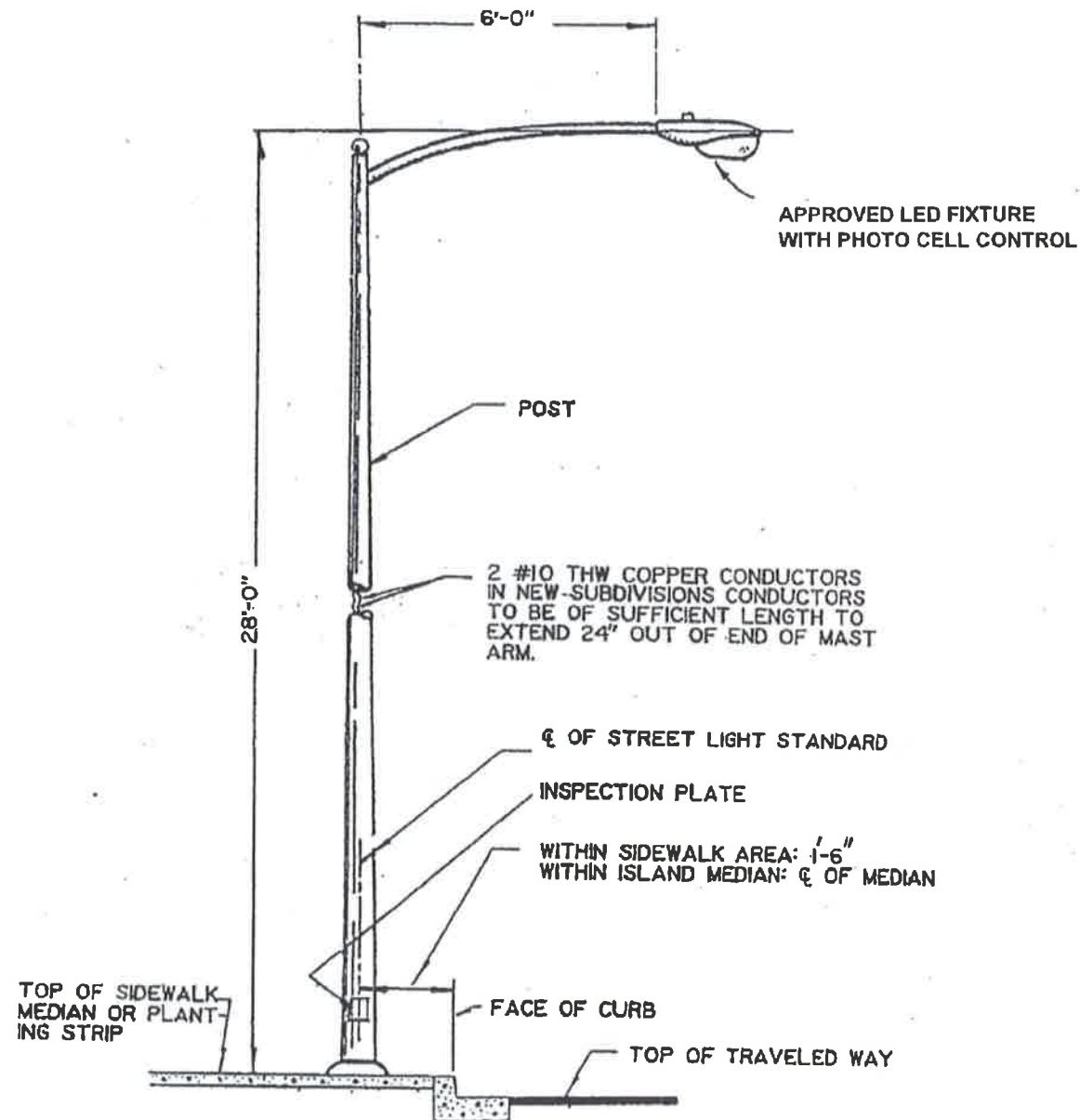


Section C - Bodway Parkway

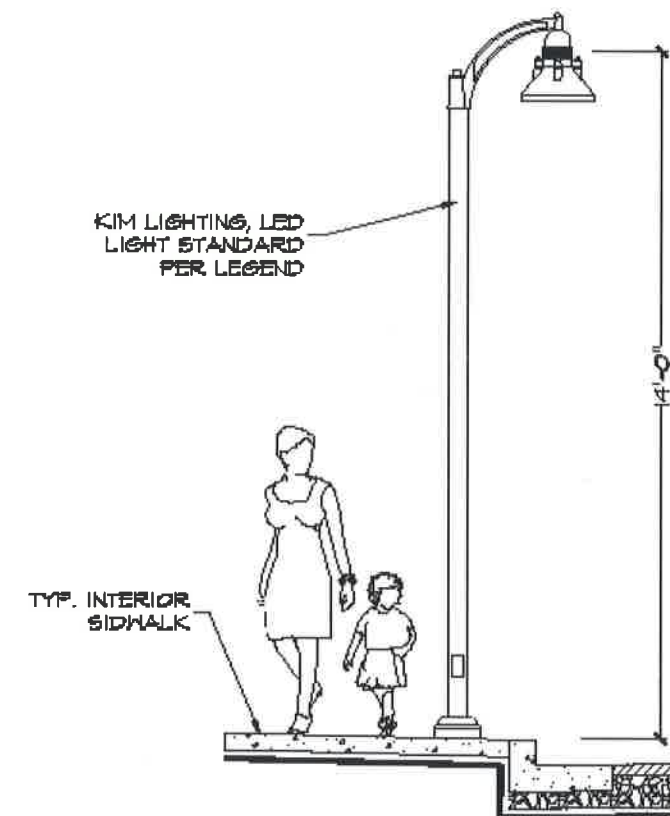


Section D – Bodway Parkway

Conceptual Lighting Details



Cobra style street light for use only along Bodway Parkway to match existing street lights. Pursuant to City of Rohnert Park Standard Detail 611.



LED Era@Bell decorative street light for use along residential streets. Pursuant to City of Rohnert Park Standard Detail.

Representative Imagery



Perimeter Streetscape



Perimeter Streetscape

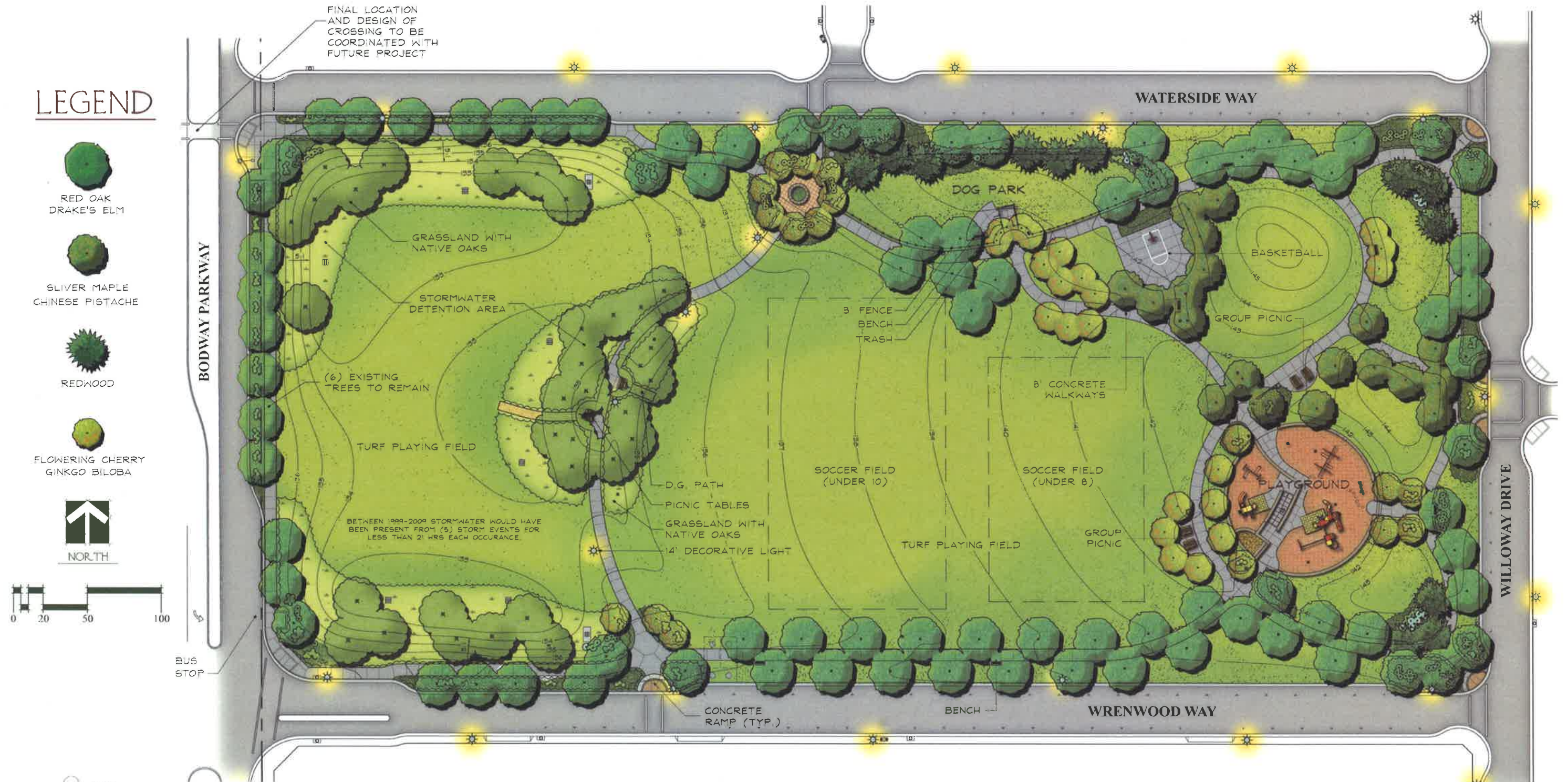


Perimeter Streetscape



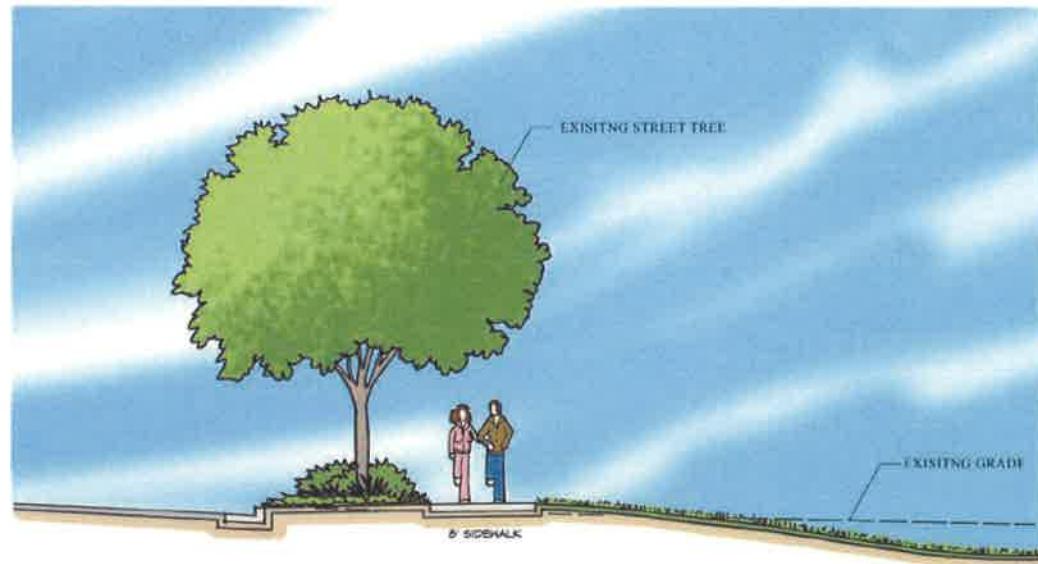
Typical Frontage Fencing

Neighborhood Park - Site Plan

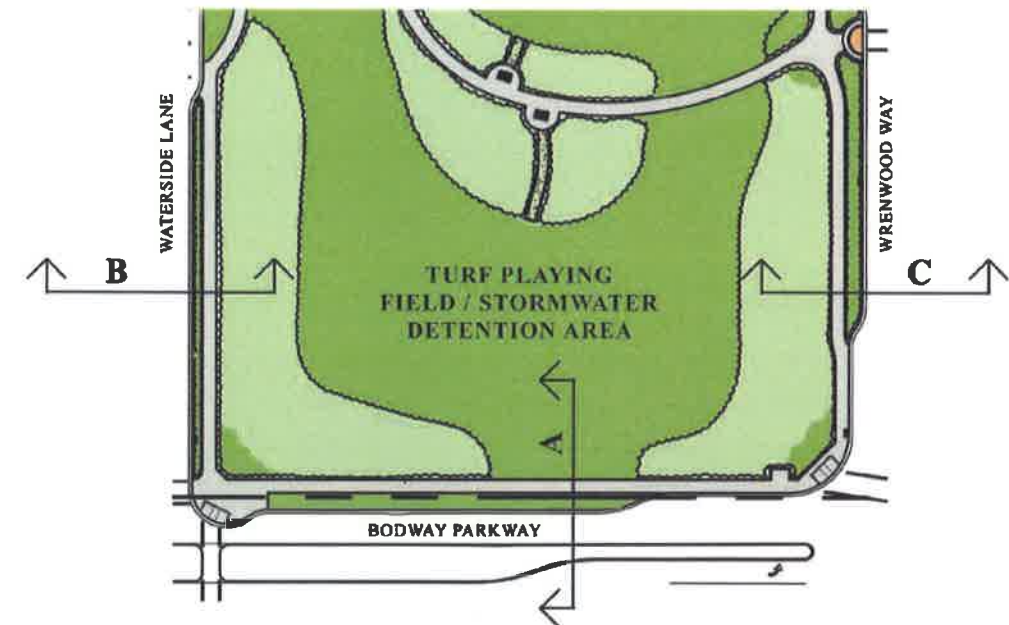


Note: All lighting shall be LED.

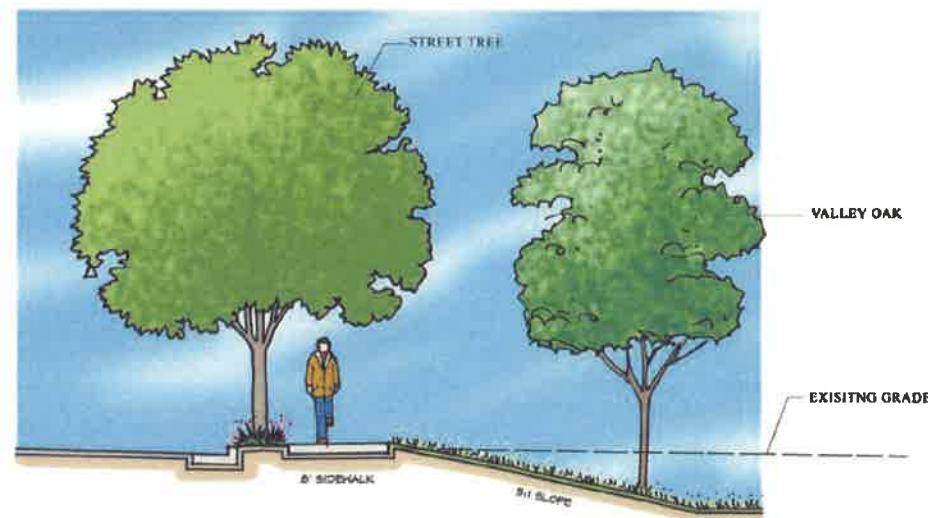
Neighborhood Park - Detention Pond Sections



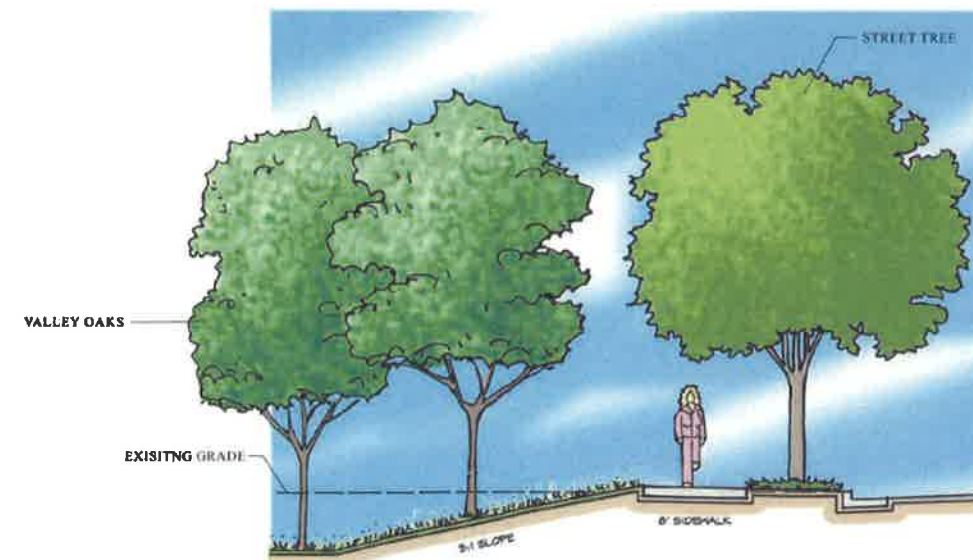
Section A - Bodway Parkway



Plan View - West End of Park



Section B - Waterside Lane

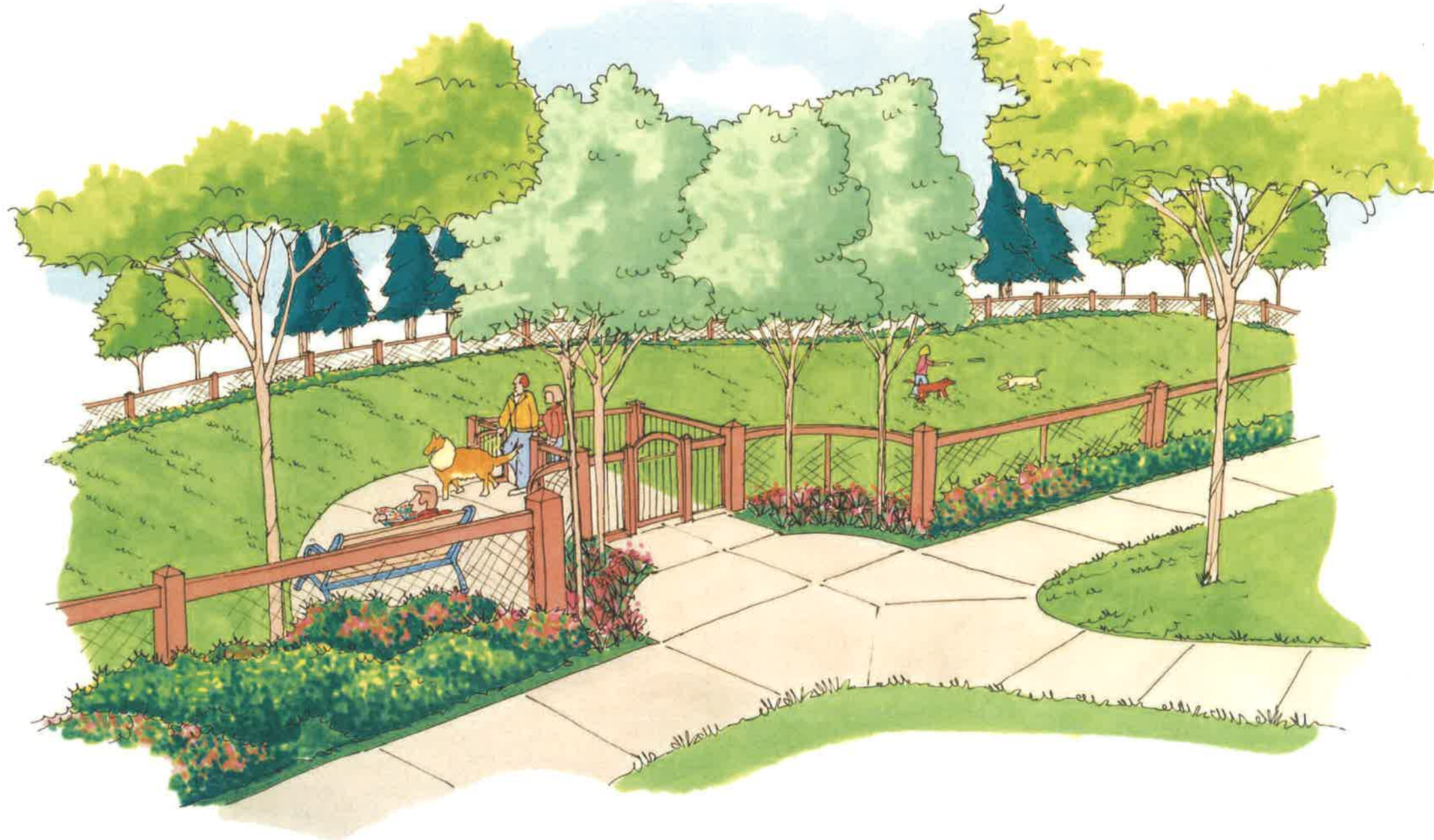


Section C - Wrenwood Way

Neighborhood Park - Playground



Neighborhood Park - Dog Park



Public Water Tank Site

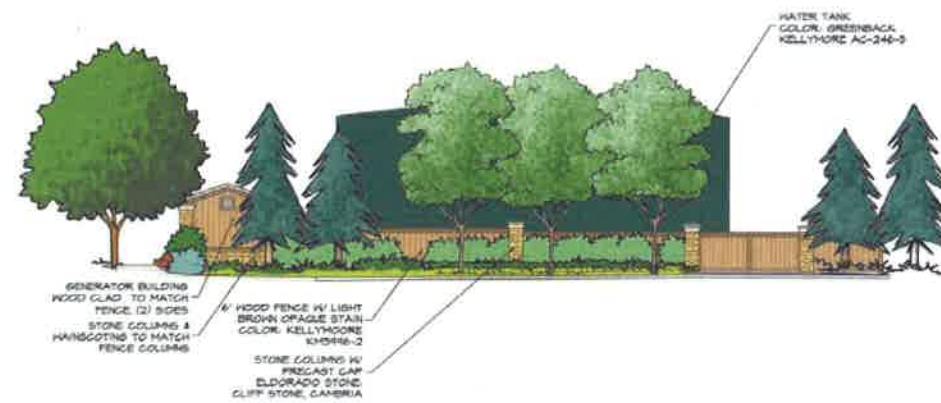
LANDSCAPE LEGEND

TREES

BOTANICAL NAME / COMMON NAME	SIZE
STREET TREE / P.K. STREET TREE PLAN	24" BOX
QUERCUS AGROPOLIA (COAST LIVE OAK)	24" BOX
SEQUOIA SEMPERVIRENS (REDWOOD)	24" BOX

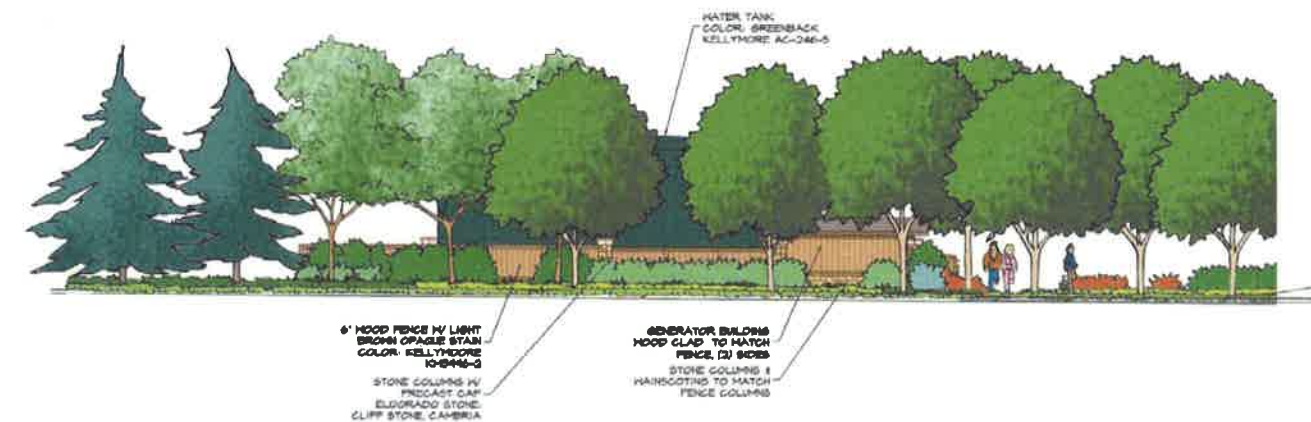
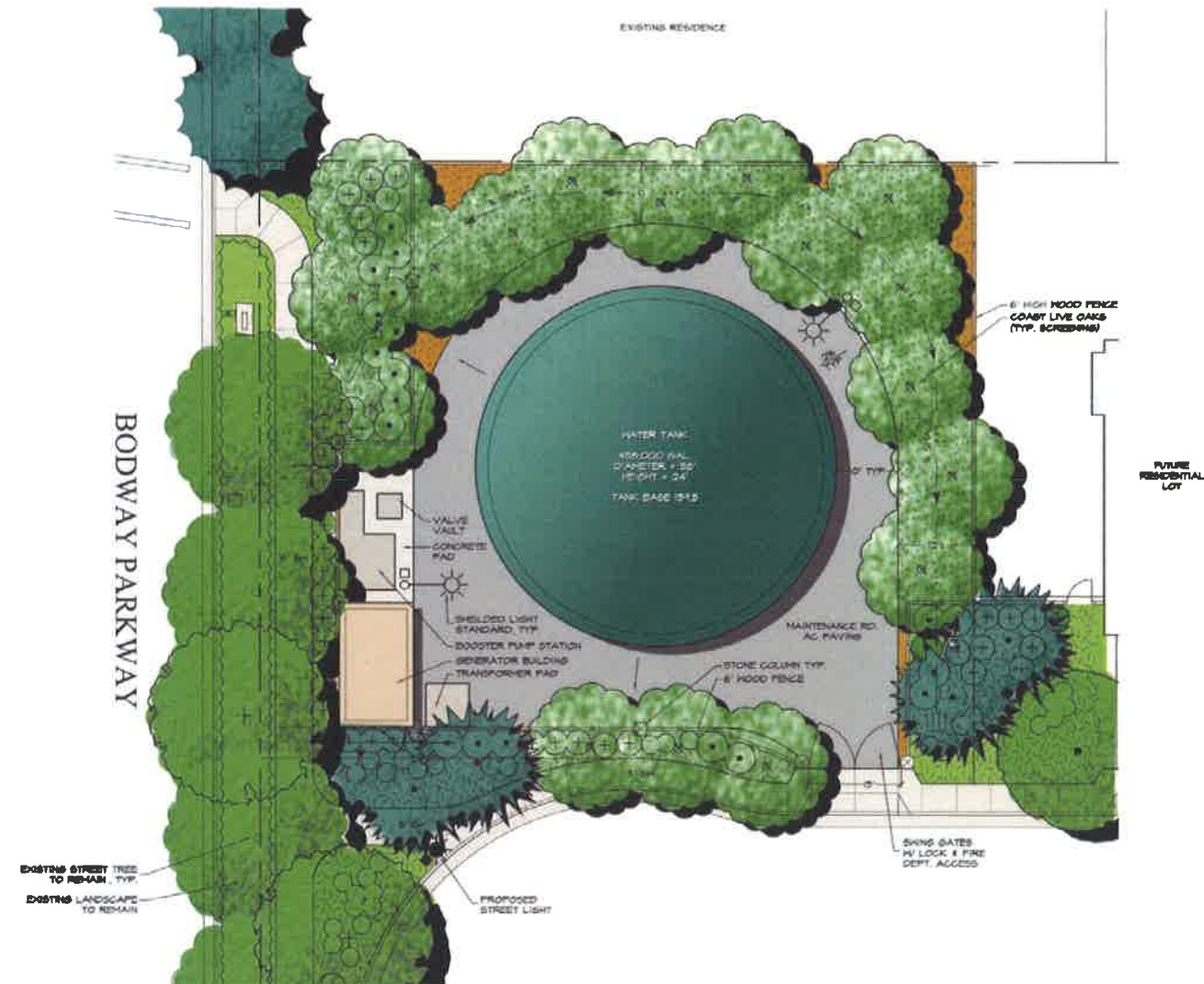
SHRUBS

1. LARG. SHRUBS COTONASTER LAUREA (COTONEASTER) GREVILLEA MORILLI (ROSEVILLA)	5 GAL. 5 GAL.
2. MEDIUM SHRUBS ARISTOLYCHIS SHWARD MANNI (MANZANITA) XYLOSMA CONGESTUM 'COMPACTA' (DWARF XYLOSMA)	5 GAL. 5 GAL.
3. SMALL SHRUBS HERBERT THUNBERGII 'CHERRY BOMB' (ZIV) (HARDY) ROSMARINUS OXYLLENGRAPH (ROSEMARY)	5 GAL. 5 GAL.
4. GROUND COVERS ROSMARINUS OXYLLENGRAPH (ROSEMARY) COPROSMA KIRILLI (CREEPING COPROSMA)	1 GAL. 1 GAL.



TANK SITE ELEVATION - NORTH

SCALE: 1"=10'



TANK SITE ELEVATION - EAST

SCALE: 1"=10'

EXHIBIT B

DEVELOPMENT AREA PLAN – SOUTHEAST AREA

RECOMMENDED CONDITIONS OF APPROVAL

ON-GOING CONDITIONS

The conditions below shall apply to the Development Area Plan (DAP) for the Southeast Area within the Southeast Specific Plan. The Southeast Area Project shall be developed in accordance with the General Plan (GP), Southeast Specific Plan (SESP) including Design Guidelines, Final Development Plan (FDP), Mitigation Measures (MM) identified in the Southeast Specific Plan Environmental Impact Report (FEIR), Development Agreement (DA) between the City and Redwood Equities, LLC, the Rohnert Park Municipal Code (RPMC) and the Design and Construction Standards.

General Requirements

- 1) The applicant shall comply with all documents approved by the City Council and adhere to all verbal representations and exhibits presented by the applicant at the Planning Commission and/or City Council meeting for approval of the Southeast Specific Plan project unless subsequently revised by the City.
- 2) In case of conflict between or among the various documents, the following order shall prevail: General Plan, Mitigation Measures for the Final Environmental Impact Report (FEIR), Southeast Specific Plan (SESP), Final Development Plan (FDP), Development Area Plan (DAP) and its conditions of approval, Development Agreement (DA), Tentative Map and its Conditions of Approval, RPMC, and Design and Construction Standards.
- 3) The applicant shall comply with the FEIR. In addition the applicant shall pay the cost to monitor the Mitigation Measures identified in the FEIR for the Southeast Specific Plan Project (SCH # 2003112011) kept on file in the Development Services Department. The requirements contained in the Mitigation Monitoring Program (MMP) shall be incorporated into these conditions and constructed in accordance with the MMP.
- 4) The applicant agrees to indemnify, hold harmless and defend the City, its officers, agents, elected and appointed officials, and employees, from any and all liability or claims that may be brought against the City arising out of its approval of this DAP save and except that caused by the City's active negligence.
- 5) By accepting the benefits conferred under this DAP, the applicant acknowledges all the conditions imposed and accepts this DAP subject to those conditions with full awareness of the provisions of the FDP, as may be amended from time to time, and the RPMC, as applicable.

- 6) The use of the property by the applicant/grantee for any activity authorized by this DAP shall constitute acceptance of all of the conditions and obligations imposed by the City on this DAP. The applicant/grantee by said acceptance waives any challenge as to the validity of these conditions.
- 7) The improvements shall be in compliance with the site plan, exterior elevations and landscaping plans as presented herein.
- 8) Building colors and materials shall be in compliance with the palettes presented in the DAP as approved. Any minor changes shall be reviewed and approved by staff.
- 9) Any decorative paving shall be reviewed and approved by staff.
- 10) Architectural elements such as stone or brick wainscots shall be extended around the sides of structure that will be visible from street sides including corners. All window framing trim treatments shall be required on side and rear elevations.
- 11) All building footprints shall be identified by floor plan model and architectural style on the master plotting plan. Single plots shall be submitted with each building permit application. The developer shall ensure that a diverse set of plan models and colors shall be evenly dispersed in each neighborhood.
- 12) A plan for model home complex shall be submitted including off street parking, lighting, ADA compliance and office complex for review and approval by Planning Commission, prior to issuance of building permit.
- 13) In each neighborhood, prior to issuance of building permits in that district, the applicant shall install and maintain on-site display signs. The on-site display signs shall indicate the location for future development of lighted and non-lighted parks and commercial parcels, cul-de-sac openings, apartments, or higher density residential areas. These signs shall be located in a manner to be clearly visible to all potential homebuyers in the Southeast Area community. The signing plan shall be submitted to the City planning staff for review and approval.
- 14) The declaration of covenants, conditions and restrictions (CC&R's) filed for each development shall be prominently displayed in the project sales office at all times. The CC&R's shall apply equally to both owners and renters. The CC&R's shall be written to require renters to comply with the regulations of the CC&R's, and a copy of the CC&R's shall be given to each renter.
- 15) The applicant shall provide a master signage program and a "Master Model Home Signage" program for all residential subdivisions in the Southeast Area community. The master signage programs shall be reviewed and approved by the Planning Commission.
- 16) Design and placement of walls and fences for each residential neighborhood and public facility shall be in accordance with the standards in the FDP and shall be approved by planning staff.

- 17) All residential dwellings shall display illuminated street numbers in a prominent location in such a position that the numbers are easily visible to approaching emergency vehicles from both directions. The numbers shall be of a contrasting color to the background to which they are attached and four (4) inches minimum in height. Flag lots will have their address displayed in a prominent position at the driveway intersection with the street.
- 18) All roof or ground mounted mechanical equipment shall be screened from public view.
- 19) All site plans for residential units shall include a behind gate concrete pad for garbage and recycling bins. The concrete pad may be incorporated into a concrete sidewalk behind front fenced gate if the clearance allows for passage from the gate to the rear yard with receptacles in storage. Motor court units shall provide for a paved designated area fronting a public street or, for units not abutting a public street, a paved designated area within the motor court for weekly garbage pickup area. These areas shall be reviewed and approved by City planning staff and by the solid waste collection franchisee.
- 20) The project applicant shall contract with a qualified acoustical consultant to ensure the design of the housing units along Petaluma Hill Road, Bodway Parkway and Valley House Drive do not allow for interior noise levels greater than 45dB Ldn. The acoustical consultant shall prepare and submit to the planning staff a report detailing the acoustical treatments to be used for compliance with this performance standard. The report shall be reviewed and approved by the City prior to the issuance of building permits.
- 21) All buildings shall be connected to public water and sewer systems prior to occupancy. Water and sewer service accounts shall be set up with the City Finance Department for each structure with a building permit.
- 22) Prior to installation by the applicant, plant species, location, container size, quality and quantity of all landscaping plants and materials shall be reviewed and approved by the Planning staff (or designee) for consistency with the approved landscape plans. All plant replacements shall be to an equal or better standard than originally approved.
- 23) Applicant shall provide front yard landscaping and corner lot side yard landscaping outside of fenced areas. A permanent automatic sprinkler shall be installed to maintain all landscape materials and trees. Applicant shall install front and side yard fencing prior to occupancy.
- 24) Project lighting shall be reviewed and approved by planning staff. All street lighting throughout the project shall be LED. All exterior lighting shall be designed to avoid spillover onto adjacent properties and right-of-ways. Lighting elements shall be recessed to prevent glare. All building entrances shall include recessed or soffit lights.
- 25) The developer shall comply with construction hours as designated in the Rohnert Park Municipal Code.
- 26) The developer shall obtain and adhere to an approved truck route for deliveries and construction material haulers.

- 27) All construction material waste and other debris shall be recycled to the extent possible. The applicant shall present a "clean site everyday" program to City building staff for approval. The program shall include on-site signage in English and Spanish to be posted at construction entrances. No animals shall be brought on site by construction personnel during work hours.