

RESOLUTION NO. 2014-164

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROHNERT PARK,
CALIFORNIA, APPROVING AN AMENDED SPECIFIC PLAN AND DESIGN
GUIDELINES FOR THE SOUTHEAST SPECIFIC PLAN PROJECT LOCATED
SOUTH OF THE CANON MANOR SPECIFIC PLAN AREA, WEST OF PETALUMA
HILL ROAD, AND NORTH OF VALLEY HOUSE DRIVE (APN 047-111-030)**

WHEREAS, the applicant, Redwood Equities LLC filed Planning Applications proposing a Specific Plan Amendment (PLSP2014-0003), revised Final Development Plan (PLFD2014-0001), revised Development Area Plan (PLDP2014-0001), Tentative Map (PLSD2014-0008), and amended Development Agreement (PLDA2014-0005), for the Southeast Specific Plan ("SESP") located south of the Canon Manor Specific Plan Area, west of Petaluma Hill Road, and north of Valley House Drive (APN 047-111-030), in accordance with the City of Rohnert Park Municipal Code ("RPMC"); and

WHEREAS, in conjunction with Planning Application No. PLSP2014-0003, the Project proposes approval of an amended Specific Plan and Design Guidelines, as provided in the proposed Southeast Specific Plan attached to this Resolution as **Exhibit A**; and

WHEREAS, on October 23, 2014 the Planning Commission held a public hearing at which time interested persons had an opportunity to testify either in support of or opposition to the proposal; and

WHEREAS, at the October 23, 2014 Planning Commission hearing, the Planning Commission reviewed and considered the amended Specific Plan and Design Guidelines and recommended approval by the City Council; and

WHEREAS, the City Council of the City of Rohnert Park has certified the Final EIR prepared for the Project and the City has otherwise carried out all requirements for the Project pursuant to CEQA; and

WHEREAS, pursuant to California State Law and the Rohnert Park Municipal Code, public hearing notices were mailed to all property owners within an area encompassing a 300 foot radius of the subject property and a public hearing was published for a minimum of 10 days prior to the public hearing in the *Community Voice*; and

WHEREAS, on November 25, 2014, the City Council held public hearings at which time interested persons had an opportunity to testify either in support of or opposition to the proposal; and

WHEREAS, the City Council has reviewed and considered the information contained in Planning Application No. PLSP2014-0003 for the proposed revised Southeast Specific Plan.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Rohnert Park makes the following findings and determinations with respect to the proposed specific plan and design guidelines:

Section 1. That the above recitations are true and correct.

Section 2. Environmental Review:

A. On December 7, 2010, the City Council of the City of Rohnert Park certified the Final EIR for this Project, including adoption of associated CEQA Findings, Statement of Overriding Considerations, and the Mitigation Monitoring and Reporting Program, as described in City Council Resolution No. 2010-134, approved.

B. Further, CEQA Guidelines section 15162 provides that “no subsequent EIR shall be prepared” for a project unless the lead agency determines that (1) “substantial changes are proposed in the project which will require major revisions of the previous EIR”; or (2) “substantial changes occur with respect to the circumstances under which the project is undertaken”; or (3) “new information of substantial importance ... shows” one or more significant effects not discussed in the original EIR, greater severity to previously-identified substantial effects, or newly-found feasible mitigation measures that would substantially reduce significant effects.

C. The proposed changes (removal of private alleys, removal of duplexes in favor of duets, minor changes to development plan for lot width, setbacks, etc. and minor changes to specifications for the water tank), are minor and will not result in any substantial changes to the proposed project and no new information of substantial importance shows one or more significant effects or newly found feasible mitigation measures that would substantially reduce significant effects. Accordingly, no subsequent EIR need be prepared.

Section 3. Findings. The City Council hereby makes the following findings concerning the amended Southeast Specific Plan proposed by Planning Application No. PLSP2014-0003 pursuant to Rohnert Park Municipal Code section 17.06.390:

1. *The specific plan or specific plan amendment is consistent with the city's general plan.*

Criteria Satisfied. The specific plan amendment would implement the General Plan's goals for the Southeast Specific Plan Area as described in the Land Use and Community Design Element. Under the proposed Development Agreement and specific plan, the project will comply with the goals and policies of the City's Housing Element by complying with the City's inclusionary housing ordinance. It would also develop the property with a mixed use component that is consistent with the goals and objectives of the General Plan for this area. The specific plan proposes to meet the goals of the General Plan by providing for a variety of housing types including low density, medium density, rural estate, and mixed use allowing attached housing.

2. *The specific plan or specific plan amendment will not adversely affect the public health and safety or result in incompatible land uses.*

Criteria Satisfied. The specific plan is not expected to have negative impacts on the health or well-being of project residents or occupants of the surrounding land

uses. The proposed plan is in character with surrounding neighborhoods. New residential areas include buffers from existing City neighborhoods to reduce impacts from the new development. The proposed commercial development and recreational facilities would benefit existing residents in the area, as well as new residents of the project.

3. *The specific plan or specific plan amendment provides the framework to phase and pace growth within the specific plan area so as to ensure completion of all necessary public facilities concurrently with completion of the specific plan; or, alternately, a statement of public policy consideration can be adopted and/or an exception granted in accordance with general plan policies GM-10, GM-11, and GM-12.*

Criteria Satisfied. The project will be phased as shown in the proposed specific plan. Each phase of the project is designed to provide for adequate infrastructure and to be integrated with existing City public improvements, as described in the specific plan. The timing of the construction of public facilities will be paced to meet the needs of the development and is called out in the project's Development Agreement, which terms are incorporated herein by this reference.

4. *The specific plan or specific plan amendment identifies adequate financing mechanisms for the infrastructure and public facilities required to support the development.*

Criteria Satisfied. The project will be subject to the payment of fees to provide for and maintain public infrastructure such as Public Facilities Financing Plan fees to help fund off-site improvements; City-wide and Regional Traffic fees; Pavement Maintenance fees; Public Services Impact fees; and Maintenance of on-site Infrastructure fees. These fees and funding mechanisms are also described in the Development Agreement, which is incorporated by this reference. On-site improvements shall be the responsibility of the developer.

5. *The proposed specific plan is consistent with the planning and rezoning designation provided for the specific plan area, pursuant to Government Code Sections 65300 and 65859, or alternatively functions as rezoning for the unincorporated territory.*

Criteria Satisfied. The site is zoned "Specific Plan District (SP)," which is implemented through the land use designations on the City's General Plan Land Use Diagram. The proposed Specific Plan is consistent with these designations.

Section 4. A duly noticed public hearing on the proposed amended Southeast Specific Plan and Design Guidelines was held on November 25, 2014.

NOW, THEREFORE, BE IT FURTHER RESOLVED, THAT the City Council of the City of Rohnert Park does hereby adopt the Findings stated hereinabove and approve Application No. PLSP2014-0003 for the amended **Southeast Specific Plan and Design Guidelines** as provided at **Exhibit A**, in its entirety.

DULY AND REGULARLY ADOPTED on this 25th day of November, 2014.



CITY OF ROHNERT PARK

Joseph T. Callinan
Joseph T. Callinan, Mayor

ATTEST:

JoAnne Buergler
JoAnne Buergler, City Clerk

Attachment: Exhibit A

BELFORTE: ~~AYE~~ ^{ABSENT} MACKENZIE: ^{AYE} STAFFORD: ^{AYE} AHANOTU: ^{AYE} CALLINAN: ^{AYE}
AYES: (5) NOES: (0) ABSENT: (1) ABSTAIN: (0)

City of Rohnert Park

Southeast Specific Plan

Adopted December 2010

Amended November 25, 2014

Resolution No. 2014-164

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1. INTRODUCTION

A. Background and Plan Purpose

The present document has been prepared in response to the City of Rohnert Park's Municipal Code Chapter 17.06, Article VIII, Sections 17.06.290-450, SP-Specific Plan District. This chapter outlines the requirements for the preparation, adoption and implementation of Specific Plans in certain areas of the community. The Southeast Specific Plan area, the subject of this Plan document, was identified in the City's General Plan, as adopted in July of 2000 and amended in 2010. The purpose of the Plan, consistent with the aims of Chapter 17.06, SP-Specific Plan District, is to provide a vehicle for ensuring that this area of the City is master planned. It is also to ensure that the phasing and ultimate development of the property involved is consistent with a vision that is both compatible with the existing community and responsive to the vision of the General Plan.

B. Planning Process

As outlined in the aforementioned Chapter of the Municipal Code, there are two primary phases of activity that the Specific Plan process entails. The first of these is the submission of a Preliminary Application that is then followed with a Specific Plan, the subject of the present document. A Preliminary Application for the Southeast Specific Plan was submitted to the City of Rohnert Park in February of 2002. In preparing the Preliminary Application, the property owners, Redwood Equities, LLC, undertook the preparation of a variety of engineering and technical studies to both document the existing conditions on the site as well as to develop some preliminary concepts for the physical development of the land uses and activities established for this area in the General Plan; in addition, several meetings were held with representatives of the City of Rohnert Park to discuss the proposed Specific Plan. Upon completion of the Preliminary Application and presentation to the Planning Commission and the City Council, additional technical studies were undertaken as well as a process of interaction with representatives of the City of Rohnert Park to review more detailed information on the proposed development. Following the Specific Plan procedure, the present document was submitted to the City of Rohnert Park and a draft Environmental Impact Report was prepared. The present document reflects, therefore, the information contained in the Preliminary Application as well as the subsequent refinement of plan concepts and incorporates feedback from the City's representatives. The present document will be submitted to the Planning Commission and City Council for review and public hearings. Upon the approval of the City Council the Plan will be implemented as an ordinance.

C. Specific Plan Contents

The present Plan contains the following four elements:

- Land Use, which establishes the land use pattern and standards for uses allowed in the plan area;
- Circulation, which, based on the transportation requirements generated by the land uses in the Plan area, establishes a circulation system necessary to accommodate vehicular and pedestrian movements.
- Design Guidelines, which address recommended site planning, building and open space relationship, architecture and land design and public access; and
- Implementation, which provides information on the actions needed to implement the Plan, including General Plan and zoning changes, if needed, and phasing.

D. How to Use This Plan

As adopted by the City of Rohnert Park, the Plan represents a public document that establishes the amount, type and location of urban development that will be permitted in the Southeast Specific Plan area. The Plan also provides development standards and design guidelines for the development and recommends specific actions to implement the plan and financing methods and sources to fund improvements.

When the property owners move forward to implement the project, the detailed development plans will be subject to review by the City for consistency with the Specific Plan. It is anticipated that the future development plans for the area will be consistent with the Specific Plan and therefore the environmental issues associated with development will have been assessed in the environmental documentation which has been prepared as part of the Specific Plan process. Further assessment, if required, can be limited to site-specific impacts of the individual development plans.

Subsequent steps in the development process, including Development Area Plans, subdivision and other procedures are administered according to the Municipal Code.

E. Statutory Authority

California Law, specifically Section 65450-65457 of the Government Code, empowers cities to employ specific plans to provide for the systematic implementation of the General Plan by linking the implementing policies of the General Plan with the individual development proposals in a defined area.

This Specific Plan conforms to the various principles and requirements of State Planning and Zoning Law, Article 8, Specific Plans of Chapter 3. Local Planning by providing the following information:

- (1) The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- (2) The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- (3) Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- (4) A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).
- (5) A statement of the relationship of the specific plan to the general plan.

F. Relationship to the General Plan

The City of Rohnert Park's General Plan provides a comprehensive statement of the objectives, themes and policies which the community is seeking to achieve in the areas of land use, growth management, community design, transportation, open space, parks and public facilities, environmental conservation, health and safety, noise, and housing. The current Specific Plan, as an instrument which promulgates and is an extension of the General Plan, incorporates, by definition, the stated general objectives, themes and policies and, where more specific objectives and policies are stated, makes reference to such objectives and policies and provides further elaboration on the ways in which the Specific Plan is responsive to this guidance.

A comprehensive discussion of the General Plan goals, policies, and programs that provide direction and input to the Southeast Specific Plan and the various related elements are included as Attachment C: General Plan Analysis.

G. Relationship to Other Plans and Regulations

The Southeast Specific Plan Area (SESPA) is within Sonoma County and within the City of Rohnert Park's Sphere of Influence and 20-year Urban Growth Boundary. Annexation into the City of Rohnert Park is required. This action and all other actions required for the adoption and implementation of the Specific Plan are discussed in greater detail in Chapter 7: Implementation.

Policy documents and ordinances of both of Sonoma County and The City of Rohnert Park provide guidance on the development process and requirements in the plan area. State and regional agencies also exercise jurisdictional authority over development activities in the plan area. The following City and County plans and policy documents apply to the plan area:

- City of Rohnert Park General Plan
- City of Rohnert Park Zoning Ordinance
- Sonoma County General Plan
- Sonoma County Zoning Ordinance

2. DESCRIPTION OF PLAN AREA

A. Regional Setting

The City of Rohnert Park is located in central Sonoma County approximately a one hour drive north of the San Francisco Bay Area. With the Pacific Ocean to the west, the community lies within the Cotati Valley and is bounded to the south by the City of Cotati while the City of Santa Rosa lies to the north.

B. Local Setting

As shown in Figure 2-1, The Southeast Specific Plan Area (SESPA) lies in Sonoma County, within the City of Rohnert Park's city limit in the extreme southeast corner of the City's Sphere of Influence and 20-year Urban Growth Boundary. The SESPA is bounded to the north by the Canon Manor Specific Plan Area, to the east by Petaluma Hill Road and undeveloped land, to the south Valley House Drive. and undeveloped land, and to the west by Bodway Parkway and undeveloped land.

C. General Site Characteristics

The SESPA consists of relatively flat land rising gently from east to west with no significant natural or manmade features or changes in topography.

1. Land Use

The majority of the land is currently unimproved and vacant. There is a large single-family dwelling with several ancillary buildings located in the northeast corner of the plan area, accessed via Petaluma Hill Road.

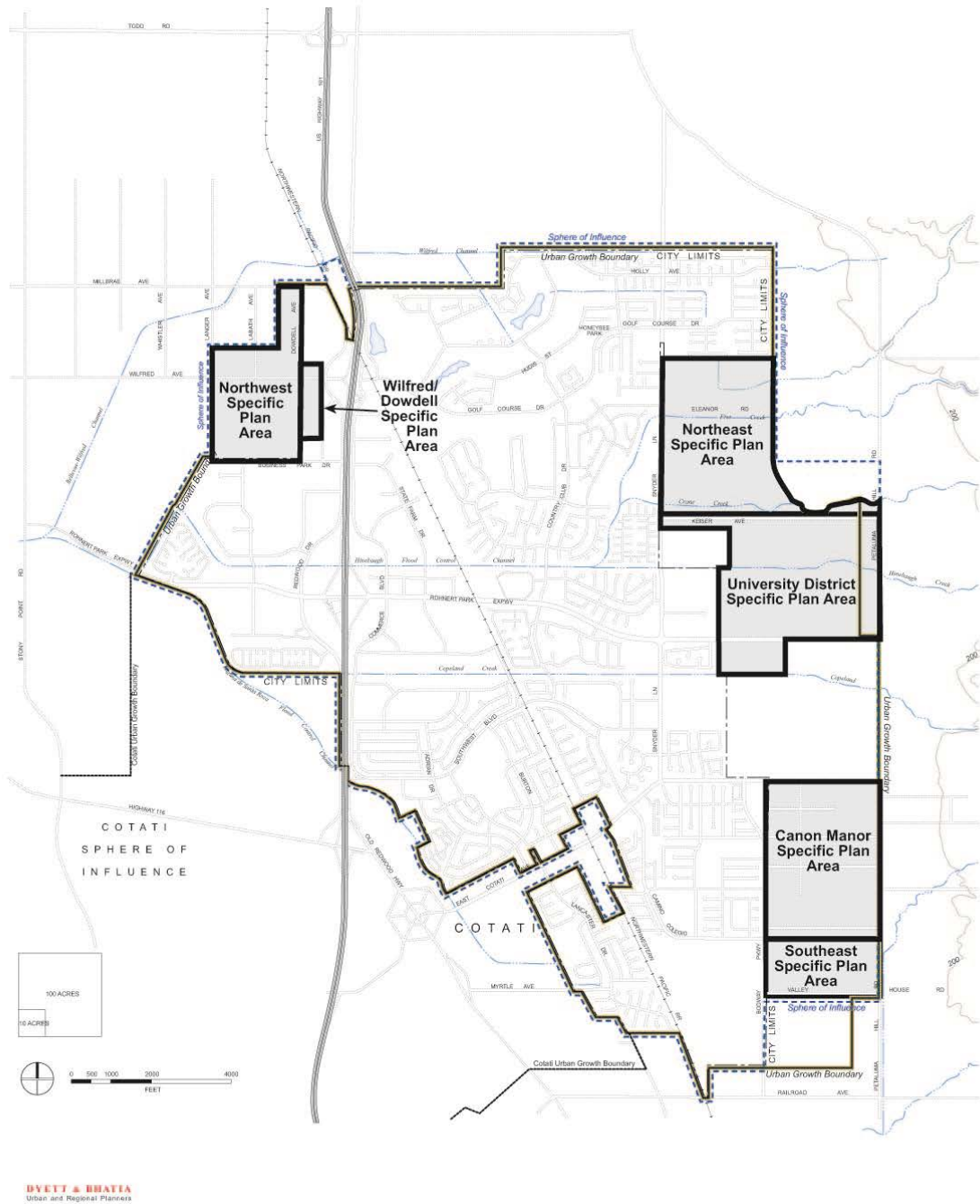
2. Parcelization and Ownership

The rectangular-shaped plan area consists of one parcel of land, which comprise approximately 80 acres of land as shown in Table 2-1.

Table 2-1: SESPA Parcels

APN	Area (S.F.)	Acres	Owner	% of Total	Applicants
047 111 030	3,484,740	80.00	James and Deana Ratto, Redwood Equities Investments, LLC, James Ratto Descendant's Trust, Deana R. Ratto Descendants' Trust	99.9%	X

Figure 2-1 Specific Plan Areas



D. Jurisdictions

The SESPA falls entirely within the County of Sonoma, just beyond the city limits of the City of Rohnert Park. The SESPA is within the City of Rohnert Park's Sphere of Influence and 20-year Urban Growth Boundary. Other government agencies with jurisdiction in the plan area include:

- State of California Regional Water Quality Control Board, which reviews and regulates activities that affect water quality in California;
- State of California Department of Fish and Game, which reviews projects affecting fish and wildlife habitat; and
- Department of the Army - Corps of Engineers which regulates activities and development in the navigable waters of the United States
- U.S. Fish and Wildlife Service, which reviews and regulates activities that affect habitat of threatened and endangered species

3. LAND USE

A. Introduction

This section of the Specific Plan provides information and guidance on the range of land uses and the general levels of development to be accommodated within the SESPA. Also provided are development standards which provide more specific guidance on physical development parameters such as setbacks, building height, FAR's, and the like.

B. Land Use Policies

Information on the Land Use policies for the SESPA, which have been established in the General Plan, are provided in Attachment C: General Plan Analysis.

C. Land Use Designations

As shown in the City of Rohnert Park General Plan, the land uses intended for development within the SESPA include residential and mixed-use as well as a park.

Following guidance provided by the General Plan, the proposed development to be accommodated in the SESPA may be characterized as a residential community adjacent to the existing Canon Manor residential development and bounded to the east by Petaluma Hill Road, the south by Valley House Drive, and the west by Bodway Parkway. Within the residential community, as contemplated in the General Plan and shown in Figure 3-1, different densities of housing will be accommodated. Adjacent to the residential development will be a mixed-used area. Incorporated within the fabric of the residential development will be a park to serve local residents. The Specific Plan has established 6 specific plan land use designations. Each specific plan land use designations is consistent with an existing general plan land use designation. Table 3-1: Permitted Uses identifies uses that are unconditionally permitted and those that require special permits or approvals. Those uses not specifically listed are not permitted unless determined by the planning and community development director to be substantially similar to a listed use. A description of the specific plan land uses follows:

- The **Rural Estate Residential (RE)** land use is the lowest density land use, accommodating up to 2 single-family detached residential units per gross acre. This district is intended for very low-density residential development on large estate lots of typically 17,000 sq.ft. or larger in size. This district, located at the perimeter of the city, is intended to provide a transition from the more urban development to the open space/agricultural areas outside the city. This land use category is consistent with the "Rural Estate Residential" General Plan designation.
- The **Low Density Residential (LD)** land use designation is also intended for single-family detached residential units. The density for this land use designation is between 4.0 and 6.0 units per gross acre. This land use category is consistent with the "Low Density Residential" General Plan designation.
- The **Southeast Medium Density or SE Medium Density (SEMD)** classification envisions detached single-family housing and/or duets with an overall density

ranges from 6.1 to 12.0 units per gross acre. This land use designation is consistent with the "Medium Density Residential" General Plan designation. The SE Medium Density Designation can accommodate a variety of lot types including:

- Conventional Lots: Units that take garage and front door access from the public street.
 - Motorcourt Cluster: Units that take garage access from a private drive/lane and front door access from the public street and private drive/lane.
 - Duets: Two attached units separated by a common lot line. duets can be designed similar to conventional lots with garage access from the street or private drive/lane.
- The **Mixed-Use (MU)** land use classification envisions a development pattern that encompasses businesses, retail shops, institutions, service organizations and residences in a compatible, pedestrian environment. The appropriate residential component of this land use will be multifamily (apartments) and attached single-family units (townhomes). This land use allows for the development of integrated centers that combine a supportive mix of land uses, either within the same building or in clusters of buildings. This land use is consistent with the "Mixed Use" General Plan Designation.
 - The **Park (P)** land use classification accommodates neighborhood-scale park development to support the recreational needs of the adjacent residences. This land use designation is consistent with the "Parks/Recreation" General Plan designation.
 - The **Public Facility (PF)** land use classification accommodates a water storage tank. This land use designation is consistent with the "Public/Institutional" General Plan designation.

In addition to the aforementioned land uses, Figure 3-1 designates 3 view corridor areas that have been sited to preserve and enhance views to the eastern ridgeline of the hills east of Petaluma Hill Road. Each corridor shall consist of a 50-foot wide area of land at the terminus of the street. No structures shall be permitted within these corridors, except for transparent (see-through) fences. No trees shall be planted within view corridors. Berms shall be permitted as necessary for sound attenuation.

A 50-foot buffer has also been designated along the length of Petaluma Hill Road to preserve the scenic qualities of this roadway. In no case shall trees or shrubs that exceed 25 feet in height upon maturity be planted within the buffer to preserve views.

Figure 3-1 Conceptual Land Use Plan



Figure 3-2 Circulation Plan



Table 3-1: Permitted Uses

Land Use Category	RE	LD	MD	MU	P
Single Family Home	P	P	P		
Duets			P		
Townhouse				P	
Multi-Family Housing (Apartments)				P	
Secondary Unit	P				
Bed and Breakfast Inn				C	
Accessory Structure (non-habitable) – Shall be subject to RPMC Section 17.10.060	I	I	I		
Community Center				P	
Small Day Care Home (8 or fewer children)	P	P	P	P	
Large Day Care Home (9 or more children)	C	C	C	C	
Community Gardens	P				
Family Care Home/Residential Care Facility (6 or fewer people)	P	P	P	P	
Private School/Education	C	C	C	C	
Single Room Occupancy Boarding House	A	A	A		
Fraternity/Sorority	C	C	C		
Religious Assembly	C	C	C	C	
Antenna, Vertical/Satellite Dish, Communication Facility	C	C	C	C	
Home Occupation	P	P	P	P	
Amusement Center (video games, billiards, theatre or indoor amusement)				C	
Animal Hospital / Veterinary Clinic – small animals only, no outdoor facilities				C	
Bank/Savings & Loan/Credit Union				P	
Bar/Nightclub/Live Entertainment – subject to permitting requirements, refer to Land Use Footnote “r” Section 17.07				C	
Barber/Beauty Shop				P	
Health and Beauty Spa/Massage Therapy				C	
Clubs and Lodges/Public Assembly				C	
Dry Cleaning (only minor processing on-site)/Laundromat/Tailor				P	
Grocery/Food Market/Bakery				P	
Restaurant (café, microbrewery, sit-down or take-out)- refer to land use footnote R Section 17.07				P	
Retail Sales (Florist, Antiques, Interior Design, Hardware, clothing, etc.)				P	
Office (Professional/ Administrative/Medial/Dental)				P	
Laboratory (in conjunction with medical, dental or optical use)				P	
Professional Services (small scale postal, copy, printing)				P	
Medical Clinic				C	
Pharmacy (drive-through windows not permitted)				P	
Art Studios/Galleries (Photography, fine arts)				C	
Public Facility (Police, fire and other government uses)	C	C	C	C	
Studios (Dance, Martial Arts)				P	
Health Club				P	
Liquor Store (off-Sale) - subject to permitting requirements, refer to Land Use Footnote “r” Section 17.07				C	
Park, Playfield, playground, sport court					P
Detention Basin/Water Storage Facility					P

(P) Permitted (C) Conditionally permitted by Planning Commission (A) Administrative Permit (T) Temporary Conditional Permit (I) Uses Allowed as incidental to Primary Use

D. Land Use Designations Summary

Table 3-2: SESPA Land Use Program presents a comparison between the guidance provided in Table 2.4-3 Land Use Program: Southeast Specific Plan Area of the General Plan and the proposed Specific Plan.

Table 3-2: SESPA Land Use Program

Land Use	2000 General Plan (As Amended 2010)				Specific Plan			
	Gross Acres ¹	Units	Density (Du/Ac)	Non-Residential Bldg Area (1,000 s.f.)	Approx. Gross Acres	Units	Density (Du/Ac)	Non-Residential Bldg Area (1,000 s.f.)
Rural Estate Residential	15-20	30-50	up to 2	n.a.	16.0	29 ²	1.8	n.a.
Low Density Residential	20-22	145-165	4-6	n.a.	21.0	128	6.0	n.a.
Medium Density Residential ³	26-29	180-220	6-12	n.a.	27.3	237	8.7	n.a.
Mixed Use Development	5-10	55-75	n.a.	10	7.0	81	n.a.	10
Public Facility	<1	n.a.	n.a.	n.a.	0.3	n.a.	n.a.	n.a.
Parks	5-8	n.a.	n.a.		7.9 ⁴	n.a.	n.a.	n.a.
Total	80	475 Max.	n.a.	180-220	79.5	475	n.a.	10

Notes:

1. Gross Acreage includes all rights-of-way located within the project boundary, measured to the center line of the street
2. Rural Estate residential unit count includes one existing unit.
3. In the Specific Plan, the SE Medium Density land use category is consistent with the Medium Density General Plan Land Use Designation.
4. Includes a 5.0 net acre park and a 2.1 net acre basin (7.1 net acres total)

As indicated in the table, the proposed specific plan land uses are generally consistent in terms of the General Plan's vision for the Specific Plan area.

E. Affordable Housing

The City of Rohnert Parks Affordable Housing Ordinance requires all new housing projects of five units or more to provide at least 15% of all units as affordable. This equates to 72 of the 475 total units within the SESPA. The ordinance provides a number of options to meet this requirement ranging from on-site construction, land donation to a non-profit developer, transfer of inclusionary unit credits and in-lieu fees for the construction of off-site affordable units.

The SESPA has been designed to allow for either on-site or off-site construction of affordable units. The Specific Plan's wide range of housing types including duets, apartments, townhomes, and small single-family homes, which provides numerous opportunities to provide on-site affordable housing consistent with the City's affordable requirements. Affordable units may also be provided off site if an in lieu fee is approved

by the City and paid by the developer. The final method for providing affordable housing within the SESPAs will be determined by the development agreement for the project.

In the event that the required 72 units are constructed on-site, these units will be distributed throughout the SESPAs. The City's affordable requirement states that half of the units shall be designated as low-income and the other half as moderate income. Since an affordable housing provider typically manages low-income rental units, the 36 low-income units need to be located near one another to ensure efficient management of the property; therefore, these units have been located within the mixed-use parcel. The timing of their construction will be determined by the development agreement and the agreement with the affordable housing provider. The remaining 36 units have been distributed throughout the SE Medium Density and mixed use townhouse land use designation. These units will likely be duets and/or subsidized units that look similar to the adjacent market rate units. The construction phasing of these units will occur at the same time as the adjacent market rate units. Figure 5-2: Phasing Plan indicates the general location of affordable units by phase.

4. DEVELOPMENT STANDARDS AND REGULATIONS

This Chapter describes standards for the development of each designation within the plan area. Table 4-1: Development Standards, sets forth the minimum requirements for lot area, coverage, floor area ratios, height, and setbacks, except as allowed through the City development and design review process, planned area process, or as otherwise indicated by the Specific Plan. The intention of these standards is to provide quantifiable guidance on the development desired in each of the land use categories.

For issues not specifically addressed by the development standards or the Specific Plan, the City of Rohnert Park Zoning Code shall apply and shall be based upon the most compatible zoning designation as determined by the planning director or his/her designee. Park development standards are intentionally excluded from Table 5-1: Development Standards. Park development standards shall be the same as those specified in the Parks (P-I) zoning district of the City of Rohnert Park Zoning Code.

SOUTHEAST SPECIFIC PLAN

Table 4-1: Development Standards

Development Requirement	Rural Estate	Low Density	Southeast Medium Density			Mixed-Use
			Conventional Lot	Motorcourt Cluster	Duets(1)	
Minimum Lot Area (SF)	17,000	5,000	3,000	3,000sf	1,800sf	n/a
Minimum Lot width (feet) (2)	90	50	35	50	30	n/a
Minimum Lot Depth (feet) (2)	100	90	80	55	60	n/a
Maximum Residential Density (du/acre)	2	6	12.0 (3)	12.0 (3)	12.0 (3)	24
Maximum Building Height (feet)						
Primary Building (4)	35	35	35	35	35	45
Accessory Structure (5)	12(6)	12	12	n/a	n/a	n/a
Minimum Front Setback (feet)(7)						
Porch	20	10	5 (8)	5 (8)	5 (8)	n/a
Primary Building	20	15	10	8	8	10
Garage (accessed from public street)	20	20	20	20	18	n/a
Garage (accessed from private aisle/lane)	n/a	n/a	18	18	18	n/a
Minimum Side Setback (feet) (7)						
Primary Building (interior lot line)	10	5	4	4	0/8 aggregate (10)	n/a
Primary Building (corner lot line)	20	10	10	7	10	10
Minimum Rear Setback (feet) (7)						
Primary Structure	25	15 (11)	10	10	5 (12)	10
Garage(detached)	5	5	5	n/a	n/a	n/a
Minimum Private Open Space Per Unit (SF)	n/a	750	400 (14)	350 (14)	250 (14)	50 (15)
Maximum Floor Area Ratio Factor (FAR)	n/a	n/a	n/a	n/a	n/a	2.0 commercial/ 1.15 Resid. (16)
Maximum Lot Coverage (%)	30%	50%	50%	60%	70%	80%
Parking (17)	2 covered per unit (Plus 1 per secondary dwelling unit)	2 covered per unit (Plus 1 per secondary dwelling unit)	2 covered per unit (Plus 1 per secondary dwelling unit)	2 covered per unit	1 covered and 1 uncovered per unit	Refer to City of Rohnert Park Zoning Code
Fence/ Garden or Courtyard Wall Max Height (feet)						
Front Yards	4	4	4	4	4	4
Rear/ Side yards (18)	6	6	6	6	6	6
Secondary Dwelling Units (19)						
Max Height (feet)	28	n/a	n/a	n/a	n/a	n/a
Min Size (SF)	350	n/a	n/a	n/a	n/a	n/a
Max Size (SF)	700	n/a	n/a	n/a	n/a	n/a

Table 4-1: Development Standards Table 4-1 Notes:

1. Duets are two attached units located on two separate lots.
2. Dimensions are measured at the center of the lot. Flag lots are permitted.
3. Maximum Residential Density refers to the gross overall density for the overall specific plan land use district.
4. Towers, spires, cupolas, chimneys, elevator penthouse, water tanks, monuments, and similar structures and necessary mechanical appurtenances covering not more than twenty percent of the top floor roof area may exceed the maximum permitted height in the underlying zoning district by ten feet by conditional use permit.
5. Accessory structures are defined as detached structures such as sheds and small out structures not intended to serve as a living quarters. These are not permitted on duet lots, on mixed-use parcels, or within the 50-foot Petaluma Hill Road setback. All accessory structures shall meet the requirements of Rohnert Park Zoning Code section 17.10.060 as it pertains to accessory structures. For purposes of this specific plan, detached garages are not considered accessory structures.
6. All homes backing up to Petaluma Hill road shall be single story. No structures are permitted within the 50-foot setback, which is measured from existing right-of-way.
7. Minor projections such as bay windows, fireplaces, balconies, dormers and other minor architectural projections may encroach up to 2 feet into the front yard setback and up to 3 feet into side and rear yard setbacks. However, projections are allowed on one side yard only as one side must maintain at least 4' clear for full firepacks. . Intrusions into setbacks shall not exceed more than 30% of the total length of one wall only .Full clearance on opposing side yard setback without overhangs is needed.
8. Front yard setback and Public Utility Easements may need to be expanded in specific locations to accommodate additional room for utility boxes, transformers, and other infrastructure pursuant to the requirements of the public utility company.
9. Duet garages may be accessed either directly from the street or private drive/lane
10. Minimum setback to property line may be 0' or 3' minimum; however, the aggregate distance between buildings shall be no less than 8 feet.
11. Dimension may be reduced to a minimum of 10 feet for up to 55% of the width of the building.
12. Due to the configuration of duet units, the rear setback is often synonymous with the side yard setback. Garages may be setback a minimum of 5 feet in either condition; however, living areas shall be setback a minimum of 10 feet when adjacent to another lot's private rear yard.
13. Garage access from a private drive /lane shall have a minimum driveway apron dimension of 5 feet or less or 18 feet or more to deter parked cars from blocking the drive aisle. This dimension shall be measured from the edge of the drive aisle/ lane to the face of garage door.
14. Private open space shall provide a minimum dimension of 10 feet in any one direction. Private open space may be provided in the front, rear or side yards as long as the area is defined by a fence or wall and may be split into two areas if necessary. Private open space areas may be split into two separate areas as long as the minimum dimension is met for all spaces and the cumulative area of all spaces meets the minimum area requirement.
15. This requirement applies to residential uses only and may be provided in the form of balconies, porches or decks. The minimum dimension shall be 6 feet.
16. FAR for commercial buildings shall not exceed 0.4. FAR for residential building shall not exceed 1.15 and shall have a minimum density of 12.2 du/ac. Mixed use buildings, if proposed, are permitted to increase the FAR in accordance with the General Plan.
17. Tandem spaces are permitted in order to meet the parking requirements.
18. Wall and fence heights may be increased to allow for sound attenuation per the recommendation of an acoustical study.
19. Secondary units are defined as either an attached or detached unit intended for use as a separate living unit but under the same ownership as the primary unit. Secondary units must include separate access, a bathroom, a kitchenette, and a separate parking space. This space may be provided as a tandem garage space or an uncovered space but must be located on the same lot as the unit. Secondary units shall be subject to the same minimum setbacks as the primary structure. Secondary units are only permitted on Rural Estate Lots.

5. CIRCULATION ELEMENT

A traffic noise assessment was performed as part of the SESPA planning process to determine the extent to which traffic along the major thoroughfares adjacent to the area had the potential to generate noise levels in excess of established standards. The findings of this assessment are that noise generated by traffic along Petaluma Hill Road, Bodway Parkway, and Valley House Drive is anticipated to be such that mitigation measures such as sound walls, berm, setbacks, or any combination of these would be required. The precise design and configuration of these measures will be developed in collaboration with City representatives.

The Design Guidelines, presented in Chapter 6 of this document provide additional guidance and direction in planning for new development

A. Existing Circulation

Existing circulation in the vicinity of the SESPA is provided via three principal roadways including Petaluma Hill Road, located on the eastern boundary of the site which is the principal north/south regional roadway, Valley House Drive to the south serving east-west traffic, and Bodway Parkway to the west, also serving north/south movements. The interior of the SESPA has no existing roads.

B. Roadway Classifications and Standards

The General Plan provides guidance on the sizing and physical and functional characteristics of roadways within the City of Rohnert Park. For the SESPA, the General Plan's Master Street Plan (Figure 4.1-1 in the General Plan) indicates the following classifications for roadways shown on the Plan:

- Bodway Parkway: Major Collector (4 lanes) [Proposed]
- Valley House Drive: Minor Arterial (4 lanes) [Proposed]
- Petaluma Hill Road: Minor Arterial (2 lanes) [Existing]

The street sections which correspond to these classifications are shown in Attachment A: the Public Services Plan.

C. Transit Service

Transit services in the vicinity of the SESPA are provided by Sonoma County Route 44 that operates on Petaluma Hill Road. The project, when implemented, will add incrementally to the demand for transit services that can be met by the transit provider.

D. Pedestrian and Bicycle Circulation

Pedestrian and bicycle circulation within the SESPA will be facilitated by a network of sidewalks and bicycle lanes which will be developed along with the roadway system. This system is demonstrated in Figure 5-1: Conceptual Pedestrian and Bicycle Circulation

Plan. The local street system has been designed as a grid network of streets with sidewalks, short blocks, and multiple intersections to maximize connectivity and allow pedestrians to maneuver easily throughout the SESPA. A direct east-west connection has been provided in the form of a through street that extends from the park/mixed use area and the Rural Estate neighborhood. This connection along with one through north-south connection has been designated as a “Major Pedestrian Corridor”. Major Pedestrian Corridors are intended to provide direct connections through the site for pedestrians traveling along these sidewalks. Neck-downs or bulb-outs shall be provided at key intersections to promote safer pedestrian street crossings.

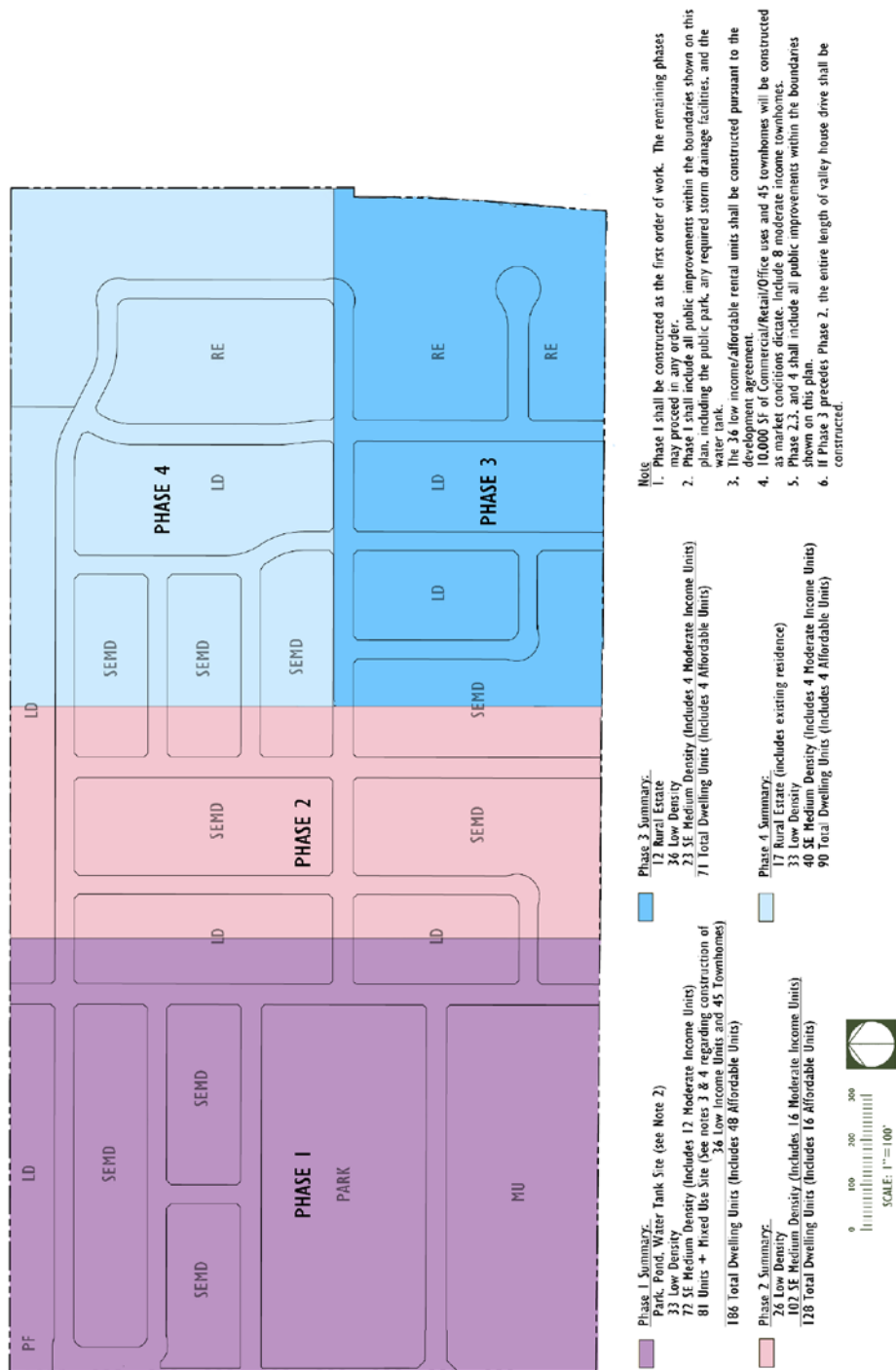
In addition to improved connectivity within the site, an 8-foot multi-use trail along Valley House Drive and a 6-foot sidewalk along Bodway Parkway provide both bicyclists and pedestrians with easy access to adjacent neighborhoods. The multi-use trail will be grade-separate from the street, providing a safer environment for trail-users. Both the Valley House and Bodway pedestrian corridors are also considered Major Pedestrian corridors and should be carefully designed to minimize driveway accesses and vehicular interruptions. This may be achieved through the use of motor court homes or by siding homes onto these roadways.

The Valley House Drive and Bodway Parkway pedestrian corridors have also been designed to promote connectivity with existing and planned adjacent neighborhoods by providing direct connection to existing sidewalks and providing enhanced pedestrian crossings to future development planned just west of the SESPA. Figure 5-1 demonstrates the conceptual location for these crossings. Crossing enhancements may include features such as bulb-outs, enhanced paving materials, lighted crosswalks or other design features that alert vehicles of a pedestrian presence and encourage drivers to slow down. The final designs of these intersections are subject to future review and approval by the City of Rohnert Park.

Figure 5-1: Conceptual Bicycle and Pedestrian Plan



Figure 5-2: Conceptual Phasing Diagram



6. PUBLIC SERVICES ELEMENT

A. Introduction

In support of the residential, mixed-use and park development within the SESPA, public services will be required. These services include access and circulation, water service, sanitary sewer service, and storm drainage management. The Public Services Plan, provided as Attachment A, describes the delivery approach concepts for each of these systems. Following are brief summaries of the planned improvements for each service.

B. Access and Circulation

The existing roadways which provide primary access to the SESPA, i.e. Petaluma Hill Road, Valley House Drive, and Bodway Parkway, will require different levels of improvement in order to accommodate the future transportation demands generated by the new development. In the case of Petaluma Hill Road, which is a fully improved county highway, the project will include the installation of additional pavement to allow for the installation of an 8-foot bike lane constructed according to County Standards along the project's frontage. A traffic signal at the Petaluma Hill Road/Valley House Drive intersection already exists as well as a new left and right turn lanes at the traffic signal. South of Valley House Drive, additional pavement will also be added to accommodate longer deceleration lanes. Bodway Parkway will be upgraded from its existing situation (which includes two traffic lanes, a median and a bikeway/sidewalk on the western side of the roadway) to include a new 6-foot sidewalk on the east side of the parkway along the frontage of the SESPA. Finally, with the elimination of the property on the south side of Valley House Drive from the Urban Growth Boundary, the existing improvements to Valley House Drive are adequate to serve the proposed traffic flow. Improvements to both Bodway and Valley House are not included in the Public Facilities Financing Plan.

Streets and sidewalks required for internal circulation within the SESPA will be developed in accordance with the City of Rohnert Park 2005 Manual of Standards, Details and Specifications.

C. Water Service

This project proposes to provide a 438,000 gallon tank and pumping station in accordance with the water system designed by Brelje and Race, Consulting Civil Engineers. It is estimated that this facility will cost approximately \$700,000 and would be part of the project improvements. As part of the Specific Plan process the Rohnert Park Final Water Supply Assessment, (Winzler and Kelly, January 2005) was prepared to determine the availability of water needed to serve the project area. The Specific Plan also considers water conservation and a water conservation plan was prepared. Both the water assessment and the water conservation plan are on file with the City of Rohnert Park Development Services Department (File numbers 2003-031 and -054). Consistent with the objective of water conservation, low flow devices will be installed within the new homes and drought tolerant

landscaping materials will be utilized. The developers of the SESPA will continue to work with the City of Rohnert Park to construct appropriate water saving and water generating projects.

D. Sanitary Sewer Service

The owners of the SESPA property have entered into an agreement with the County of Sonoma and the developers of the Sonoma Mountain Village to provide a collector sewer system for Canon Manor, the Southeast Specific Plan, and the lands formerly owned by Agilent Technologies. This system consists of a gravity main from the intersection of Bodway Parkway and Camino Colegio, a sewerage lift station, and a force main to an adequately sized trunk line sewer provided by the Public Facilities Financing Plan.

E. Storm Drain System

Storm water, which requires management within the SESPA, will be collected and conducted via a system of catch basins, manholes, and pipes to a detention facility that will be located in the park. The storm water will be metered to a system that currently exists in Bodway Parkway to ensure that discharge into the existing collection system will be at the same rate as it is at present. In addition to attenuating the peak runoff, the detention facility will also provide a means of infiltration for ground water recharge and an improvement in water quality by settling of sediment. The upstream collection facilities will be funded by the developers of the SESPA. A Preliminary Stormwater Mitigation Plan has also been prepared as part of the Specific Plan process and can be found on file at the City of Rohnert Park Planning Divisions (File numbers 2003-031 and -054).

7. DESIGN GUIDELINES

The Design Guidelines are presented as Attachment B to this document.

8. IMPLEMENTATION ELEMENT

A. Introduction

The Specific Plan will be implemented through a combination of private and public actions, although the public actions will largely be confined to the review and approvals process, while the responsibility for the development of the facilities and services within the project area will be the responsibility of the private sector. This element identifies the regulatory, financial, and development actions which are required to implement the Specific Plan. The Implementation Element is comprised of three parts, as follows:

- Actions required for adoption of the Specific Plan
- Development review and approval process
- Financing

B. Actions Required for Adoption

The City of Rohnert Park and Sonoma County will need to undertake the following actions prior to the adoption of the Southeast Specific Plan:

- Certify the Southeast Specific Plan EIR.
- Annex the Specific Plan into the City of Rohnert Park.
- Amend the City of Rohnert Park General Plan and adopt rezoning as necessary.
- Amend the Sonoma County General Plan and adopt rezoning as necessary.

C. Development Review and Approval Process

As stipulated in the City of Rohnert Park's Municipal Code, Chapter 17.57 SP-Specific Plan District, upon approval of the Specific Plan by the City Council by ordinance, the Plan will enter into effect. Subsequent to the Plan being approved, a Development Area Plan or Plans will be the next step in the development process. The Development Area Plan Application(s) may be submitted at any time subsequent to submittal of the Specific Plan Application, except that the entire project area or the first phase of a multi-year development may be submitted concurrently with the Specific Plan Application. Other applicable project applications, such as a subdivision map, may be submitted concurrently with Development Area Plan applications. The approval of a Development Area Plan is contingent upon a finding by the City Council that the proposed development conforms to the Specific Plan and that public infrastructure and services can be provided concurrently with the development, unless an exception is granted.

The Development Area Plan provides more specific information about the proposed development including preliminary architectural plans and elevations as well as site information on plots and landscaping. A tentative subdivision map is also part of this procedure.

Architectural and design review will be completed to ensure that development is consistent with the Development Area Plan and the Specific Plan.

D. Financing

It is anticipated that the developers of the SESPAs will fund the installation of public services in the SESPAs and will also contribute through the City of Rohnert Park Public Facilities Financing Plan and agreements with the County of Sonoma for the funding of off-site services. These fees also include school mitigation fees, park fees, sewer and water connection fees, storm drain fees, engineering plan check fees, grading plan and permit fees, building plan and permit fees, housing in-lieu fees, traffic signal fees, and area-wide impact fees.

The maintenance of open spaces, landscape medians and other similar features will be financed through the creation of an appropriate district mechanism such as a Community Services District or a Landscape Assessment District. The Development Agreement will determine the financing mechanism.

E. Amendments to the Specific Plan

Amendments to this Specific Plan shall be made in accordance with applicable sections of the Rohnert Park Municipal Code, Chapter 17.06, Article VIII, Section 17.06

List of Attachments:

Attachment A: Public Services Plan, Civil Design Consultants, Inc. October 27, 2010

Attachment B: City of Rohnert Park Southeast Specific Plan Design Guidelines, prepared by William Hezmalhalch Architects, Inc. Amended November 2014

Attachment C: General Plan Analysis

List of Related Technical Studies (on File at the City of Rohnert Park Planning Division File no. 2003-031, -054, and -005)

- City of Rohnert Park Southeast Specific Plan Preliminary Application, presented by Redwood Equities, LLC, February 2002
- Final Report – Southeast Specific Plan Market Analysis, Economic & Planning Systems, Inc. February 2002.
- Final Report – Southeast Specific Plan Market Analysis, Economic and Planning Systems, February 2002; a revision to this report was prepared in 2006.
- Updated Geotechnical Engineering Investigation – Proposed Residential Development 7279 Petaluma Hill Road, Rohnert Park, California, Southeast Specific Plan, Michelucci & Associates, Inc. December 2002.
- Results of 2001 Survey for Special-Status Plant Species, Southeast Specific Plan Area, Rohnert Park, California; Laurence P. Stromberg, Ph.D., Wetlands Consultant; May 2001.
- Jurisdictional Delineation – Redwood Equities, LLC Property, Gibson & Skordal, LLC, Wetlands Consultants, June 2002
- Letter: from Calvin C. Fong, Chief, Regulatory Branch, Department of the Army, San Francisco District, Corps of Engineers, to Tom Skordal.
- A Cultural Resources Evaluation of the Southeast Specific Plan Area, in Rohnert Park, Sonoma County, California, submitted by Archaeological Resource Service, January 2002.
- Southeast Specific Plan Traffic Impact Study for the City of Rohnert Park, Whitlock & Weinberger Transportation, Inc. January 2003.
- Addendum to SESPA Traffic Impact Study, Whitlock & Weinberger Transportation, March 6, 2003.
- Environmental Site Assessment, Phase 1 Investigation, Harris & Lee, Environmental Sciences, March 2001.
- Traffic Noise Assessment, Illingworth & Rodkin, Inc. April 6, 2003.
- Public Facilities Financing Plan, Harris and Associates, May 25, 2004
- Public Services Plan, Civil Design Consultants, Inc. 2003.
- Rohnert Park Final Water Supply Assessment, Winzler and Kelly, January 2005
- Water Conservation Plan for Southeast Specific Plan, John Olaf Nelson Water Resources Management, May 2008
- Preliminary Stormwater Mitigation Plan, Civil Design Consultants, Inc., 2008
Preliminary Stormwater Mitigation Plan

Rohnert Park



Southeast Specific Plan Design Guidelines





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2001198 /
Amended November 2014
(Resolution No. 2014-164)

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DESIGN GUIDELINES

A. Introduction

The Design Guidelines presented in the following sections are intended as recommended principles and practices, which supplement the Development Standards presented in subsection E of Chapter 4 – Land Use of the South East Specific Plan. The purpose of these guidelines is to provide design direction to home builders that will guide the development of high quality living environments. The intent of these guidelines is to ensure that neighborhoods within the SESPA demonstrate individuality, a high quality of design and construction, and value-added appeal. These guidelines are not intended to be overly restrictive or limiting, but to help achieve neighborhoods with a higher level of living quality.

B. Community Design Principles

Community design principles include design principles that apply to the design of the South East Specific Plan Area (SESPA) as a whole. These principles are intended to create and define the SESPA as a unique place and establish the overall character or “sense of place”. The following principles ensure that the SESPA not only provides an internally consistent and integrated neighborhood but also ensure that proposed development within the SESPA is sensitive to the existing uses that surround the site.

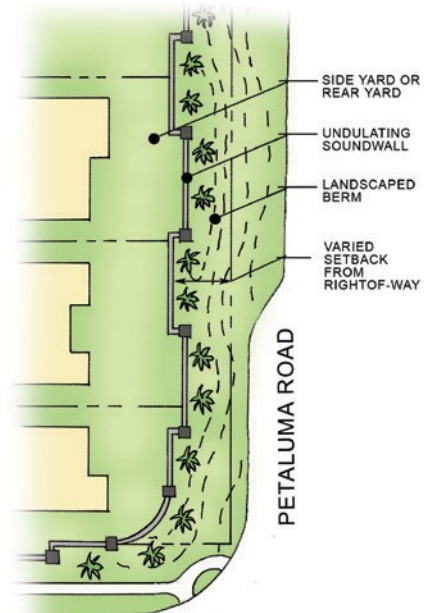
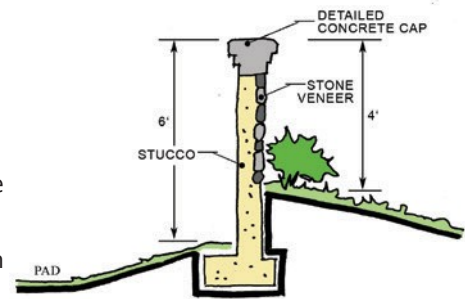
1. Community Structure

- a. Site design, scale of buildings, and the orientation of structures and physical spaces should relate to the surrounding environment on three scales:
 - Neighborhood: Relating to the area defined by all structures and areas from which it is possible to view the construction;
 - Contiguous parcels: Relating to all parcels of land touching the parcel on which the construction is located; and
 - On-Site: Relating to the parcel on which the construction is located
- b. Neighborhood design, including components such as land use, development intensity, and street layouts should be responsive to natural and institutional elements including:
 - Urban edges: Providing transition from urban intensities to open space east of Petaluma Hill Road; and
 - Surrounding uses: Promoting connections with adjacent neighborhoods by integrating street networks, and responding to existing landscape and visual treatments. (General Plan Policy CD-16)
- c. Disruption of existing views should be minimized by new development and streets should be maintained as view corridors. (General Plan Policies CD-7 and CD-8)
- d. To the extent feasible, the street pattern should connect with streets in adjacent developments.
- e. Residents should be able to easily and safely walk or bicycle to a store, school, or park.
- f. The pedestrian network should link buildings in residential areas to commercial uses and the park.
- g. The potentially intrusive impact of motor vehicles upon the privacy of office, other workspace, and residential environments should be minimized while maintaining convenient access between units and parking.

2. Public Spaces & Streetscapes

- a. Design treatment at the edge of urban uses should result in "soft" edges by avoiding the appearance of one continuous solid blank wall along Petaluma Hill Road. This may be achieved in any number of ways including but not limited to the following:
 - Fronting lots onto Petaluma Hill Road or an adjacent frontage road;
 - Siding lots onto Petaluma Hill Road and providing short segments of concrete masonry wall as necessary to buffer noise in private yard areas with transitions to transparent or no fencing where sound attenuation is unnecessary (i.e. in front yards and streets); or

- Backing lots onto Petaluma Hill Road and providing additional setback area between the wall and the roadway to accommodate a landscaped berm to attenuate noise, providing additional setbacks pursuant to the recommendations of an acoustical study, or providing a concrete masonry wall or fence in combination with a berm and landscape screening.
- b. Edges of the Specific Plan area should be designed to minimize the visual impact of walls along Valley House Drive and Bodway Parkway by implementing one or more of the following design techniques:
- Break up large expanses of wall by introducing decorative precast pilasters with concrete caps spaced at even intervals;
 - Include materials such as stone, tile, or other rustic materials in the design of walls to add texture and create variety and interest;
 - Create an undulating setback between the wall and the edge of the roadway to provide articulation in the wall plane; or
 - Provide additional setback between the roadway and the wall to accommodate trees, shrubs and vines that screen the wall from public view.
- c. Landscaping, signs, lighting, monumentation and other streetscape design technique along streets should be used to announce gateways into the City and the Specific Plan area. (General Plan Policy CD-3)
- d. Fencing, walls, monumentation, street lighting, benches, signs, sidewalks, pathways and other street furniture exposed to public rights-of-way, public spaces, common open space areas and other areas visible to the public, should all be given special design considerations to enable the maximum identity and uniqueness of character and should be consistent throughout the SESPA to create a unifying theme; Public art may be considered in large public areas, as appropriate.
- c. The scale and layout of structures and physical spaces should relate to a human scale and provide ample opportunities for pedestrian and handicapped access and circulation.
- f. Pedestrian paths should be buffered from fast-moving traffic and large expanses of parking.
- g. Trees and landscaping should enhance streets, sidewalks, private drives/lanes, and parking lots.
- h. Development sites should be lighted with fixtures which relate to the scale and design of the development and which have an intensity high enough to maintain security and low enough to avoid being a nuisance.



C. Single Family Detached Residential, and Duet Design Guidelines

1. Basic Principles

The architecture of a house is comprised of several basic components, regardless of its architectural style. These architectural components consist of elevations, roof forms, garages, and architectural elements. When these components are designed appropriately, a cohesive, yet diverse residential neighborhood environment will be realized.

The following architectural criteria have been created to help develop architecture that reflects quality in design, simplicity in form, and contributes to the charm and appeal to the neighborhoods of Southeast Rohnert Park.

2. Authenticity

The design criteria in these guidelines are offered to encourage good architecture through the use of authentic elements. Although detail elements may be used to further convey the character of a style, the overall massing and appropriate roof forms should be used to establish a recognizable style. Proper scale and proportion of architectural elements and appropriate choice of details are all factors in achieving authenticity.



3. Architectural Scale and massing

Concept

The following basic elements and criteria are intended to develop variations in appearance and a sense of individuality for each home. Neighborhoods that have nearly identical homes and streets without variation in product placement and form will not be approved in the City's Site Development Review. This section lists architectural massing techniques that will create a quality environment.

- Building Form
- Variable Setbacks In Elevation
- One-Story Homes
- Four-Sided Architectural Treatments
- Secondary Unit*

(Only permitted on Rural Estate Lots)

Building Form

Variety in building forms is encouraged to provide diversity and visual interest to the neighborhood street scene. The following recommendations are encouraged when designing front, sides and rear elevations of residential structures:

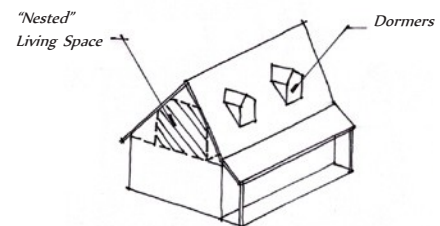
- Articulation of wall planes
- Projections and recesses to provide shadow and depth
- Combinations of one and two story forms
- Variations in roof forms, heights or mass, or the inclusion of roof elements such as dormers and turrets to break up the roof. Dormers should be placed no closer than two feet (2') to building sidewalls.

Variable Setbacks In Elevations

Where authentic to style, variable setbacks to different parts of the home should be provided to encourage vertical and horizontal massing breaks. Second floors should not completely cover the first floor without providing a single story element or massing relief. Alternative garage locations, from shallow to deep, and alternate plan configurations should be provided within each neighborhood. Front setbacks should be varied and porches should be designed to provide a transition between the structure and the sidewalk. (General Plan Policy CD-20)

One-Story Homes

Some one-story homes should be provided within the rural estate portion of the SESPA. For purposes of this Specific Plan, homes with "nested" habitable living space within the roof or attic space may be considered a one-story home. If dormers are used, they should be located entirely within the roof mass and offset a minimum of two feet



One-Story Home w/ "nested" habitable living space within roof/attic space

(2') from the wall plane of the one-story façade below.

Four-Sided Architectural Treatments

All homes within the SESPAs should include four-sided architectural treatments. Four-sided architecture is defined as the inclusion of window surrounds, materials, colors and other architectural details on all publicly visible elevations including side and rear facades. The intent is to avoid the appearance of superficial front elevations. Four sided architecture can be achieved in the following ways:

- Wrapping materials and continuing articulation around to the exterior side and rear facades facing public rights-of-way, public open spaces and common open spaces.
- Wrapping materials and colors to the interior side elevation a minimum of four feet or to the beginning of the fence line.
- Transitioning material changes on an inside corner or at logical transition location such as changes in wall planes, recesses or pop-outs.
- Giving particular consideration to the treatment of second stories and roof elements, as these are the elements most visible to public view
- Including a variety of window treatments, roof projections, roof forms and architectural details on publicly visible elevations to provide interest.



Secondary Unit

The appearance and scale of a secondary unit should be uniform and consistent to the architectural style of the primary residence. Certain restrictions and development standards are emphasized below:

- Only permitted on Rural Estate Lots
- Minimum square footage of 275 square feet and a maximum square footage of 1,000 square feet;
- Requires one additional off-street parking space, tandem space permitted;
- The secondary unit shall be designed in such a way that the appearance of the combined secondary unit and primary residence is that of a single-family residence.

4. Streetscape Plotting & Massing

Concept

Creating a street scene that functions well and has visual variety is a key community objective. Variable front yard setbacks and variable side yard setbacks are encouraged when possible to avoid contributing to a repetitious street scene. As street slopes allow, plans should be reversed and plotted so that garages and entries are adjacent to each other to create an undulating setback. This pattern should occasionally be broken to avoid monotony. To the greatest extent possible, the placement of similar front elevations immediately adjacent to or across the street from one another should be avoided.

Consideration should be given to placement of the house on the lot in terms of privacy between adjacent homes. Direct window conflicts across side and rear property lines should be avoided. The floor plans of residential units should have proper orientation, access, and views to adjacent private and public open space.

The home and front yard, rather than the garage, should be the primary emphasis of the front elevation. The main entrance should be oriented to the street or otherwise enhanced with architectural elements, lighting or landscaping to promote an active pedestrian environment and clearly define entries. Architectural elements such as front porches, living space and front courtyards should project forward of the garage.

Corner Lot Homes

Neighborhood quality will be enhanced by adding an elevation designed specifically for corner lots, or by enhancing an interior lot plan for use on the corner with additional architectural elements and/or details as found on the front elevation.

Varied roof forms are encouraged on corner lot homes and may include front-to-back or side-to-side gables and hipped roofs. Three-dimensional elements such as fireplaces, pop-outs for media niches and bay windows also provide additional articulation to break up the mass of the side elevation. Other elements to consider include:

- A corner related front entry door placement; and



- A wraparound porch or pop-out side gable.

Duets

Each should be designed for compatibility within itself, using a blend of building types, compatible architectural styles, and a tastefully balanced palate of colors and materials to avoid clashing and achieve a restful uniformity within each community.

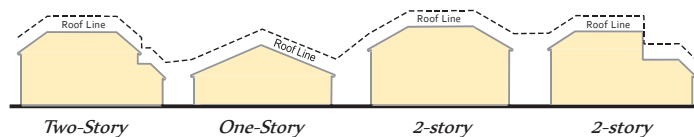
The following general concepts should be considered when planning for duets:

- Design and site buildings with a strong physical relationship to public areas of the community.
- Minimize building “ends” and blank, singular planes oriented toward public views. Provide architectural elements on all sides of building.
- Design buildings to define outdoor spaces, with floor plans that have a logical and functional relationship between indoor spaces and outdoor spaces.



Roof Forms

Rows of homes seen from a distance or along major roads are perceived by their contrast against the ridge line or background. The dominant impact is the shape of the building and roof line. The building mass and roof lines between plans should be articulated to express a variety of conditions and minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. This can be achieved by using a variety of front to rear, side-to-side, gables and hipped roofs and/or by the introduction of a one-story or nested two-story home.



Major Street Edge Treatment

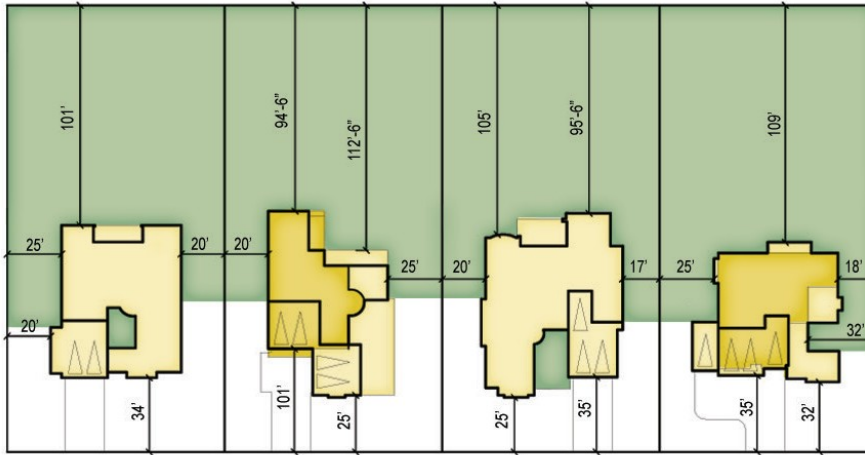
Homes backing up to major streets should be designed to reduce the apparent mass of the building by using some or all of the following techniques:

- Incorporate one-story elements as part of the rear elevation;
- Provide varied rear yard setbacks; or
- Include a variety of window treatments, roof projections, a variety of hipped and gabled roofs and architectural detail to provide variety (See Architectural Massing Section)

Conceptual plotting studies

The conceptual plotting studies on the following page provide examples

Conceptual plotting studies



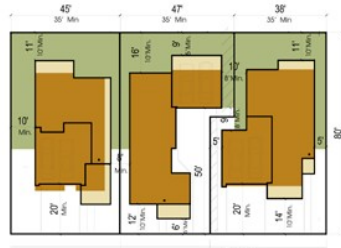
Rural Estate Residential



Low Density Residential

LEGEND

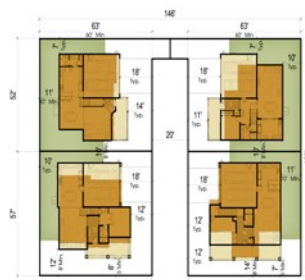
- Single Story Massing
- Second Story Massing
- Private Open Space



Medium Density (Option a - Zipper Lots Configuration)

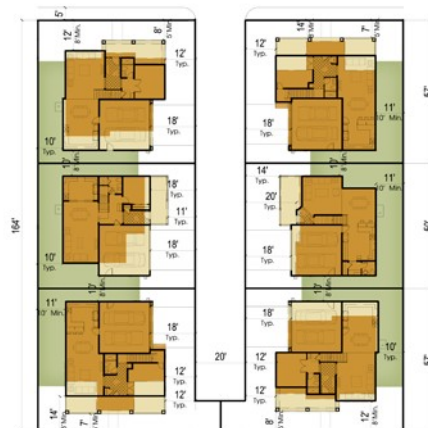


Medium Density (Option B - Duet)



Medium Density (Option C - MOTORCOURTS)

Medium Density (Option D- MOTORCOURTS)



for each of the proposed single family home types and demonstrate the intended application of first and second story massing, variation in setbacks for different portions of the building, variation in garage placement, and the other design guidelines discussed in this Chapter.

5. Garage Placement & Treatments

Concept

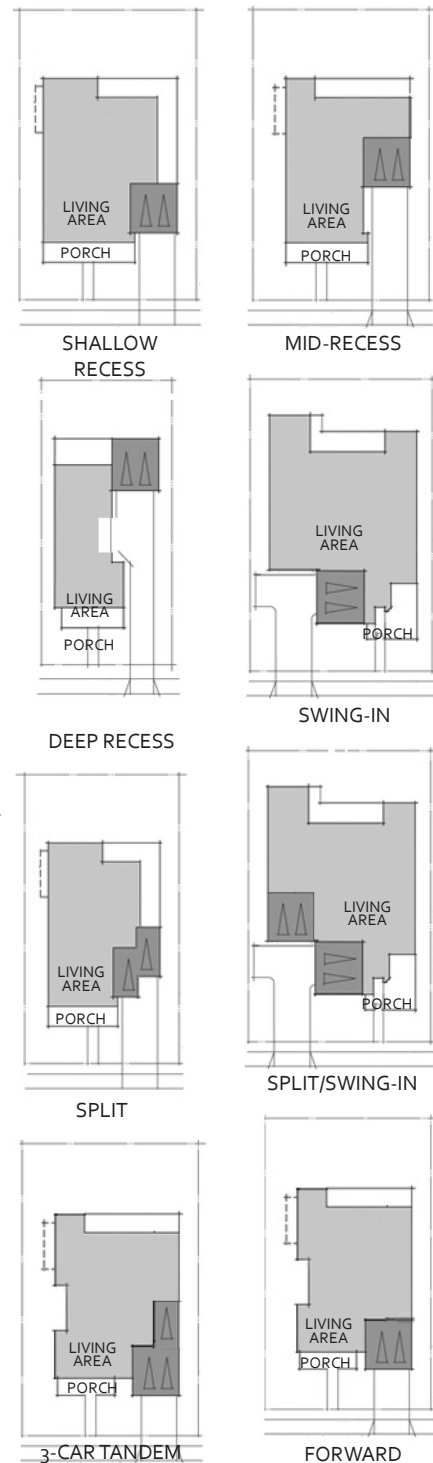
The impact of repetitive, street-front garages can be reduced by using the following techniques:

- Varied garage placement from plan to plan;
- Varied garage door appearance;
- Provide optional garage treatments; and
- Private Drive/Lane (Motorcourt) access

Varied Garage Placement - Front Loaded Garages

A variety of garage placements are available including, but not limited to the following:

- **Shallow Recessed:** A front facing garage that has been setback a minimum of 4' from the front facade of the house, not excluding porches, in order to reduce the overall visual mass of the garage.
- **Mid-Recessed:** A front facing garage that has been setback behind the adjacent living space facade of the house, excluding porches, or mid-point of the home to allow maximum living space forward while the garage remains attached to the house.
- **Deep Recessed:** An front facing attached or detached garage located near the rear of the lot to achieves more living space toward the street and creates additional usable side yard outdoor space.
- **Swing-in:** A garage that has been oriented sideways to remove the garage door from the front elevation and reduce the visual impact of the garage door on the streetscape. The resulting street-facing garage wall shall be articulated with the same level of detail as the front facade of the home including windows, trim, etc. Swing-in garages are prohibited on lots less than 55' wide and require a minimum back-up area of 24 feet.
- **Split:** A garage that has been split to reduce the length of a single garage door facing the public street. Split garages may occur in combination with swing-in garages except on lots less than 55' wide. If a split garage is combined with a swing-in garage, a minimum back-up area of 24 feet shall be required.
- **3-Car Tandem:** A garage that has been designed to provide one parking space in front of another. Tandem garages are permitted to provide additional parking for secondary units on Rural Estate Lots or for the use of the primary residence.
- **Forward:** A front facing garage that projects forward beyond the adjacent living space facade of the house. Forward garages should



be used less frequently than other garage placements and should be accompanied by a front porch or garden wall/courtyard that extend to or beyond the garage plane when possible.

Varied Garage Door Appearance

Garage door pattern, windows and/or color should be varied as appropriate to individual architectural styles. Additional treatments are encouraged to buffer direct view of the garage door. Garage doors shall be the roll-up type with a variety of panel break-ups to correspond with the elements of the architectural style. All garage doors shall be recessed a minimum of 6" behind the garage wall plane.

Optional Garage Treatments

Additional treatments can be added to garages to reduce their visual impact on the streetscene and create diversity between adjacent homes. The following is a list of optional garage treatments:

- **Porte Cochere:** This structure can be added to a deep recessed garage plan to create an additional screened parking space and occasional outdoor private spaces
- **Single car garage doors:** A two car garage door can be replaced with two-single -car garage doors to reduce large expanses of garage doors.
- **Trellises:** A trellis can be secured to the walls surrounding the garage door and planted with vines to soften the impact of the garage door on the streetscene.

Private Drive/Lane (Motocourt) Access

Lanes lined with homes and garages that have a diverse mixture of facades, varied setbacks, an assortment of roof lines, and several different color schemes are required to ensure an attractive and dynamic lane. Although lanes are thought of as merely a transitional vehicular space, they also provide garage and sometimes direct residential access and other daily uses.

Therefore, when designing lanes, both functional and aesthetic issues are to be considered. It is the intent to provide a pleasant experience for daily users by incorporating both in the elements of lane design.

In order to achieve this, the following requirements must be met:

- Vary garage door appearance by using door patterns, colors, and windows appropriate to individual architectural style.



6. Colors and materials

A variety of materials and colors provides diversity and visual interest to the streetscene while unifying homes within each neighborhood. Color palettes should be selected to reflect traditional architectural themes or may be slightly varied to convey a modern interpretation

- a. Each elevation should have a minimum of three colors; for example, one primary color, one trim color and one accent color.
- b. Individual color schemes should be appropriate to the architectural styles with a harmonious selection of accent materials, roof profiles and colors.
- c. Each neighborhood should have a minimum of two different roofing colors.
- d. No adjacent single-family home should have the same color scheme.
- e. Color and materials should be carefully applied to each home to convey the impression of high quality architecture and create depth and contrast for design features and building articulation.
- f. Materials, textures, and colors employed should be compatible and consist of high quality building materials suitable for the manner of construction proposed.

7. Architectural Styles

Concept

The style information on the following pages provides the builder and design consultants with the tools to create attractive authentic architectural designs that embrace the integrity of each style.

Each architectural style is defined by elements that are typical characteristics of that style. (See individual style matrices for appropriate required elements).

Style Selection

The design character of the neighborhoods will be one of continuity, individuality and compatibility. These concepts bring about neighborhood designs that “feel right” and are embraced by those who live and work in the community.

The architectural styles selected have a regional historic background and/or context in keeping with the character of Rohnert Park. Each neighborhood builder shall select and utilize a minimum of three of the following architectural styles:

- Cottage
- Craftsman
- Spanish Colonial
- Italianate
- Farmhouse
- Traditional

Cottage Style






Cottage is a picturesque style derived from medieval Norman and Tudor domestic architecture. The resulting English and French inspired “cottage” became extremely popular nationwide after the adoption of stone and brick veneer techniques in the 1920’s.

Although the cottage is looked upon as small and not costly, it was recognized as one of the most popular styles in suburban America. The design of the home was reflected in the rural setting that they evolved in.

Roof pitches are typically steeper than traditional homes and comprised of gables, hips and half-hip roof forms. The overhangs are minimal with either tight fascias or rafters exposed or trimmed with a fascia board. The primary material is stucco, typically used with stone and/or brick, and occasionally wood as an accent. The most recognizable details are the stucco accents of recessed elements and swooping sculptured walls at the front elevation and around the chimney stack.



Cottage Style Guidelines

Element	Description	
Form	<ul style="list-style-type: none"> Asymmetrical 1-2 story massing with some recessed 2nd floor area (may be recessed behind front porch) 	
Roof	<ul style="list-style-type: none"> Main roof with intersecting gable roofs Front facing gable with steep roof and possible swooping roof line 5:12 to 8:12 roof pitch 0" to 12" eaves with tight rakes Smooth flat or shake appearance concrete tiles with slate or shake appearance or premium grade composition shingle 	
Walls	<ul style="list-style-type: none"> Stucco with light to medium sand finish Possible stone or brick accents 	
Windows	<ul style="list-style-type: none"> Vertical multi-paned windows (true divided lites or inserts) on front, sides and rear elevations where visible from streets. Simple 4" min. window and door trim cementitious wood on siding, foam on stucco 	
Details	<ul style="list-style-type: none"> Shutters Surface mounted light fixtures on front elevations must complement architectural style Cementitious wood siding may be used as an accent in eaves Possible balcony with cementitious wood or wrought iron detailing as an attachment to the building plane 	
Colors	<ul style="list-style-type: none"> The stucco field colors shall range from white to earth tones of light beige or brown, with trim, fascia and surrounding porch elements providing contrasting accent colors; Stucco will be a Medium Dash finish and contrast with the siding color. 	

Craftsman Style



The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. The style stressed the importance of insuring that all exterior and interior elements receive both tasteful and “artful” attention. The movement influenced numerous California architects such as Green and Green, and Bernard Maybeck.

The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The overall affect was the creation of a natural, warm and livable home.

The style is further characterized by the rustic texture of the building materials, broad overhangs with exposed rafter tails at the eaves and trellises over the porches. In California, the Craftsman style spun out of bungalows that were the production home of the time. This unique predominant look promoted hand crafted quality; thus the name Craftsman.



Craftsman Style Guidelines

Element	Description	
Form	<ul style="list-style-type: none"> 2-story massing, with a significant single story element 	
Roof	<ul style="list-style-type: none"> Basic gabled roof with cross gables 3:12 to 6:12 low roof pitch Unenclosed eave overhang (18" to 30") with exposed rafter tails Smooth flat or shake appearance concrete tiles or premium grade composition shingle or shake 	
Walls	<ul style="list-style-type: none"> Horizontal wood or cementitious wood siding Plain cementitious wood shingle siding on accents or stucco Stone or brick base Stone and/or brick accent on facade, balustrades, pilasters and chimneys Stucco with smooth or light to medium sand finish 	
Windows	<ul style="list-style-type: none"> Ribbon windows - 3 or more ganged Single hung windows Mullion upper half of window Simple 4" min. window and door trim - cementitious wood on siding or shingle, foam on stucco 	
Details	<ul style="list-style-type: none"> Stone and/or brick accents Decorative ridge beams and purlins Triangular knee braces Entry door with basic geometric pattern Porches covering the front door area or the full front elevation may be used and are typically supported by battered pilasters with upper columns and enclosed by a balustrade Surface mounted fixtures on front elevations must compliment architectural style. 	
Colors	<ul style="list-style-type: none"> The siding and/or stucco colors shall range from lighter creams and tans, to richer earth tones of sage and brown. Contrasting colors will be used on trim, fascia, porch posts and exposed beams; Stucco will be a Medium Dashed finish to a heavier texture. Stucco may either match the siding, or be a contrast to it. 	

Spanish Colonial Style







Spanish Colonial, also known as Spanish Eclectic is an adaptation of Mission Revival enriched with additional Latin American details and elements. The style attained widespread popularity after its use in the Panama-California Exposition of 1915.

The simple courtyards of the Spanish Colonial heritage with hanging pots, a flowering garden and sprawling shade trees are hardly surpassed as foreground design elements. Further architectural distinction was established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

The plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrast of materials and textures.



Spanish Colonial Style Guidelines

Element	Description	
Form	<ul style="list-style-type: none"> Asymmetrical 1 and 2 story massing 	
Roof	<ul style="list-style-type: none"> 3:12 to 5:12 roof pitch 12" to 18" overhangs May use tight rake and exposed rafter tails Simple hip or gable roof with intersecting gable roof Barrel or 'S' shape concrete tiles 	
Walls	<ul style="list-style-type: none"> Stucco with smooth or light to medium sand finish Brick or ceramic Spanish tile may be used as decorative accent material 	
Windows	<ul style="list-style-type: none"> Vertical multi-paned windows (true divided lites or inserts) on front, sides and rear elevations where visible Simple window and door trim- stucco over foam, or recessed 4" to 6" with no trim Windows recessed on front elevation 	
Details	<ul style="list-style-type: none"> Stucco over foam window and door trim Arched stucco column porches Surface mounted fixtures on front elevations must complement architectural style Optional stucco garden wall/courtyard consistent with color of main residence Balconies may be used to break up the front mass of the building and should be articulated with wood or wrought iron details Porches may be wrapped around courtyard elements and are typically accented by arches, columns, walls and gates Entry; deeply recessed doorway or covered and enclosed by porch or courtyard Simple door with lites or stucco trim and may be articulated with side lites 	
Colors	<ul style="list-style-type: none"> Wood trim and/or fascias and exposed rafter tails shall have a darker contrasting color from the field stucco; Stucco fascia will be integral or close to the field stucco color which will range from whites, to creams, to light beige or pale pinks; Shutters will have a contrasting range of color from aqua, to blue, to green, or ochre and red; Stucco will be a Light Sand finish 	

Italianate Style




The Italianate style began as part of the picturesque movement, a shift away from a strict classical direction in art and architecture. Although few American architects could afford to travel to Italy in the mid-nineteenth century, the European influence came through English buildings and pattern books. Old world prototypes were refined, adapted and embellished, evolving into a classic revival period style.

Although the new period style generated less formality, traditional classical elements such as the symmetrical façade, squared tower entry forms, arched windows, quoined corners and bracketed eaves persisted as the enduring traits of this style. When cast iron became a popular building material, it became a part of the Italianate vocabulary, embellishing homes with a variety of designs for porches, balconies, railings and fences.

Of the three styles of Italian homes built in America; the Villa, Italianate and Brownstone, the Italianate became the most popular. Its sophisticated façade and graceful details made it easily recognizable, but the decorative brackets that articulate the eaves became such a prominent feature that it sometimes was known as the "Bracketed" style.



Italianate Style guidelines

Element	Description	
Form	<ul style="list-style-type: none"> 2-story massing with vertical and/or horizontal break, combined with single story elements 	
Roof	<ul style="list-style-type: none"> Main hip roof with minor intersecting hip roofs 3½:12 to 4½:12 roof pitch 12" - 24" overhangs, stucco soffit or decorative brackets Barrel or 'S' shape concrete tile 	
Walls	<ul style="list-style-type: none"> Stucco with fine to light sand finish Cut stone may be added as an entire surface material or as entry and corner accents 	
Windows	<ul style="list-style-type: none"> Vertical multi-paned windows (true divided lites or inserts) at front elevations, often ganged in pairs Single-paned windows or multi-paned windows (may be true divided lites or inserts) on side and rear elevations where visible at street levels Simple 4" min. window and door trim-cementitious wood or stucco over foam, or recessed 4" to 6" without trim Arched and curved window tops used predominately above rectangular windows 	
Details	<ul style="list-style-type: none"> Tapered round or square simple columns Pronounced entry with detailed doors surround, and cementitious wood or stone, or a portico or formal, square, vertical porch Arched windows Optional stucco garden wall/courtyard consistent with color of main residence Balconies with highly decorative wrought iron elements or concrete with balustrades 	
Colors	<ul style="list-style-type: none"> The stucco colors shall be medium saturation warm earth tones with contrasting lighter or aged white trim; Shutters and other embellishments and/or accents shall be darker than the adjacent field color; Stucco will be a Light Sand finish. 	

Farmhouse



The American Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial styles from New England and later the Mid-west. As the American Frontier moved westward, the American Farmhouse style evolved according to availability of materials and technological advancements, such as balloon framing.

Predominant features of the style are large wrapping front porches with a variety of wood columns and railings. Two story massing, dormers and symmetrical elevations occur most often on the New England Farmhouse variations. The asymmetrical, casual cottage look, with a more decorated appearance, is typical of the Midwest American Farmhouse. Roof ornamentation is a characteristic detail consisting of cupolas, weather vanes and dovescotes.



Farmhouse Style guidelines

Element	Description	
Form	<ul style="list-style-type: none"> Simple plan form massing and simple roof design 	
Roof	<ul style="list-style-type: none"> 6:12 to 12:12 roof pitch. 4:12 pitch roofs are acceptable Front to back main gable or hip roof 12"-16" overhangs with open eaves Concrete tiles with smooth flat or shingled appearance 	
Walls	<ul style="list-style-type: none"> Board and batten or horizontal siding may be combined with stucco Material changes must occur at an inside corner 	
Windows	<ul style="list-style-type: none"> Vertical multi-paned windows (true divided lites or inserts) at front elevations Multi-paned windows (true divided lites or inserts) on side and rear elevations in highly visible public view areas 	
Details	<ul style="list-style-type: none"> Porches with simple cementitious wood columns and railings Minimum 2x4 window and door trim - cementitious wood on siding, foam on stucco Surface mounted fixtures must complement architectural style Garage door patterns to compliment style Shutters and layered header trims at front elevation Cupolas or dormers 	
Colors	<ul style="list-style-type: none"> The siding and/or stucco colors shall range from white, to cream, to soft yellows, to light beige, to light blue and gray, with contrasting white trim on the fascia, columns and wood railing at the porch. Shutters will be accented with contrasting colors for each field color respectively; Stucco will be a Medium Dash finish and match the siding color. 	

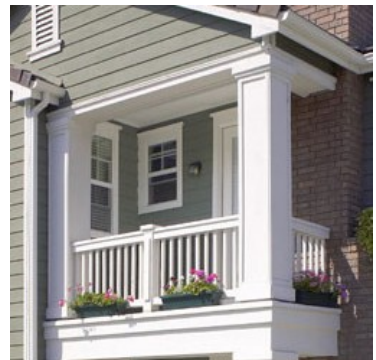
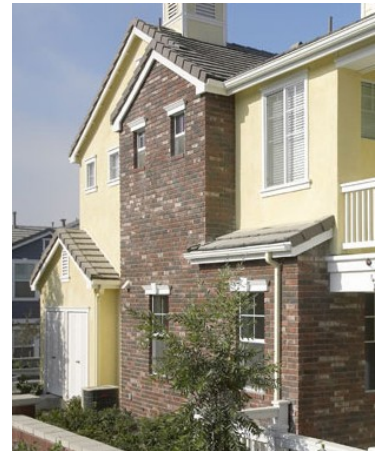
Traditional Style






The American Traditional style, which evolved in the early twentieth century, was influenced by American Colonial styles as formal as Georgian Revival and those as simple and functional as Cape Cod, New England Colonial, and Farmhouse.

With respect to American traditions and specific regional culture, the Colonial Revival vocabulary of white-painted columns, clapboards and shuttered windows were combined with the less symmetrical, unpretentious massing and functional forms of the Cape Cod and farmhouse. Combined one and two story massing with single story wings, gabled roofs with dormered windows, or occasional saltbox roof forms were favored solutions, later becoming classic forms of the traditional style. These inspirations yielded a truly American inspired architecture for a more relaxed, yet still dignified style that would become the new American dream.

The characteristic elements and details of this style further demonstrate the blend of American Colonial influences. Use of brick or wood siding with somewhat formal character elements and generous trim above the doors and windows is typical. Some of these character details include dormered windows, wood shutters, rounded or squared columns at porch or entry statement and decorative broken pediment trim and painted wood vents in gables.



Traditional Style guidelines

Element	Description	
Form	<ul style="list-style-type: none"> Asymmetrical massing with vertical and horizontal breaks 	
Roof	<ul style="list-style-type: none"> 5:12 to 12:12 roof pitch Gable or hip roof with intersecting hip or gable roof 12" to 24" overhangs Concrete roof tiles with smooth flat premium grade composition shingle 	
Walls	<ul style="list-style-type: none"> Board and batten or horizontal cementitious wood siding may be combined with stucco Material changes must occur at an inside corner 	
Windows	<ul style="list-style-type: none"> Vertical multi-paned windows (true divided lites or inserts) at front elevations Multi-paned windows (true divided lites or inserts) on side and rear elevations in highly visible public view areas 	
Details	<ul style="list-style-type: none"> Simplified cornice trim at gable ends Header window cementitious wood accent trim Window and door trim - cementitious wood siding, foam on stucco Surface mounted fixtures that compliment architectural style Cementitious wood porches or balconies Garage door pattern to compliment style Brick veneer Square wood columns 	
Colors	<ul style="list-style-type: none"> The siding and/or stucco colors shall range from white, cream or soft yellows to light beige, to brown and gray, with contrasting color on trim, fascia, columns and wood railing at the porch; Shutters will be accented with contrasting colors for each field color respectively; Stucco will be a Medium Dash finish and match the siding color. 	

D. Mixed use Design Guidelines

The mixed-use land used within the Southeast Specific Plan provides an opportunity to develop a unique pedestrian oriented community. Mixed-use developments are much like small villages, combining living environments with retail, neighborhood services, or office space in one centralized location. Mixed-use developments also provide the opportunity to create distinctive pedestrian spaces and community gathering places by utilizing two and three story structures to create strong vertical edges. The key to successful place making within mixed-use developments is the selection of an appropriate architectural theme and style.

Inspiration and guidance in the selection of an architectural theme should be drawn from the styles selected for the surrounding single-family neighborhoods as well as from existing traditional neighborhoods within Rohnert Park. Traditional neighborhood styles provide a character in keeping with the design intent of the Southeast Specific Plan and bring about architectural designs that “feel right” and are embraced by the greater community.

A consistent architectural character should be used throughout the mixed-use development to create a sense of continuity. Acceptable styles generally respond to the region’s climate including such features as shade windows, outdoor circulation, and outdoor courtyards or plazas, recessed window frames, awnings, arcades, loggias, and trellises. Related elements, such as trellises, planters, light-standards, windows, doors, etc. should also adopt detailing that is compatible with the selected architectural style.

The mixed-use community will likely consist of at least two or more buildings. Some buildings may be entirely retail, some entirely residential or some a combination of both. Regardless of use, individual buildings within the mixed-use community should be designed for variety and compatibility with one another by using a creative blend of architectural treatments, variety in building placement and a carefully balanced color palette that provide subtle yet noticeable contrast.

The following Mixed-Use Design Guidelines Section is organized into the following components:

- Site Planning
- Building Design
- Architectural Details
- Open Space and Landscaping



1. Site Planning

Orientation

Buildings should be designed and sited to provide strong physical relationships to the public streets, common open spaces, paseos and other pedestrian areas. Buildings should be oriented for best visibility from Bodway Parkway and Valley House Drive. Windows and entries should face both streets, avoiding blank walls which could dominate public views. Commercial or office spaces with entries not visible from these streets should be oriented towards pedestrian open spaces such as plazas, courtyards, or paseos.

Streetside buildings, or those with no parking separating them from the street, should use windows, landscape elements, and/or entry features to soften the building's appearance from the street. Chapter 4 of the South East Specific Plan provides specific setback requirements for mixed-use developments. Mixed-use buildings should not be more than 100-feet long without a pedestrian plaza or walkway breaking the building mass and connecting the parking lot with the street. On corners, buildings should utilize massing elements to anchor the corner.

Parking Areas

Parking lots should generally be placed away from streets and/or behind buildings. Street frontages should not consist of a continuous parking lot, but should be broken up with buildings, landscaping, plazas, and other pedestrian features if possible. Any parking along street edges should be set back with a landscaped buffer to minimize the dominant feeling of the automobile along the street. No more than six (6) consecutive spaces shall be allowed in any row of parking without a tree well or finger.

Driveways

The site shall be provided with a limited number of driveways to reduce the traffic impact along Valley House Drive and Bodway Parkway. Pedestrian crossing distances should be minimized at driveways. To increase safety for pedestrians, a raised median as a pedestrian island should be provided between travel lanes, especially those entries with more than one lane in any direction. Driveways should be paved with asphalt, concrete or an enhanced paving material such as brick or concrete block.

Service and Storage Areas

Loading areas, garages and storage areas are to be located behind or to the side of buildings, siding onto secondary access and not primary streets. These features must be screened with walls and landscaping as much as possible from public view of streets, residences, pedestrians walkways and connecting trails. Loading docks and storage areas should not conflict with pedestrian walkways.

Refuse Containers, Utility and Mechanical Equipment

Refuse containers and equipment should be easily accessed by service vehicles but screened from view of the streets, parking lots, and connecting walkways through roof forms, walls and/or landscaping. Screening details should incorporate elements that are compatible with

the architectural style of the building. Proper landscaping, including trellises, also may help to screen these elements. Equipment and enclosures shall not be located near pedestrian walkways.

2. Building Design

Massing

With larger buildings, appropriate massing becomes more important to maintain the human-scale of the development and create a visually pleasing environment. Facades that are visible from adjacent streets or walkways should display visual interest by using architectural elements that break up the massing of large buildings, such as windows, arcades, awnings, porticos, and other architectural features. Stepped buildings, height changes and setback variations further reduce the apparent mass of a building as well as indicate entries and store locations to customers. Tower elements or monumental features are encouraged at focal points, such as corners, plazas, major entrances, or where walkways meet streets.

Roof Forms

Hipped and gable roofs are encouraged. Roof pitches should be compatible with the architectural style of the building. Flat roofs should vary in height and be accompanied by cornice, trim or other accent features.

Entry Design

Building entries should be prominent and easily identified. Various elements can be used to enhance the entry features including massing variation, materials and color change, change in roof form, and awnings. For smaller commercial buildings, as part of a cluster or strip, arcades, awnings, and simple signage may be acceptable entries.

Colors and Materials

Recommended materials include stucco, exterior plaster, brick, cementitious wood siding, tile, or stone. Exterior materials that appear pre-fabricated are not recommended. Selected materials and detailing should have an enduring appearance and should be compatible with the architectural style of the building. Special materials, such as ceramic tile, granite, stone, and marble, are encouraged on the base of buildings that face streets or connecting walkways, especially adjacent to major entries.

Roofing materials that are generally acceptable include metal standing seam, asphalt shingles, concrete tile, ceramic tile and slate or slate-like materials. Roofing materials and colors should also be compatible with the architectural style of the building.



Color selection should be consistent with the selected architecture style and should be selected to provide interest and variety to the streetscene. Color schemes should include at least 2-3 compatible colors (i.e. One primary color with additional color(s) for trim and accents.

3. Open Space and Landscaping

Plazas, Paseos and Courtyards

Plazas, paseos and courtyards are encouraged to emphasize a pedestrian-friendly environment by creating locations within the mixed-use development that allow people to gather. These open space amenities create a more inviting feeling to pedestrians, allowing them to feel safe from the vehicular dominated parking lot. These outdoor places may include water features, landscaping, and other elements to create a comfortable place to sit. Plazas and courtyards are encouraged where high levels of pedestrian activity are expected, such as adjacent to major entrances and nearby uses that allow for more interactivity with the plaza such as delis, cafes, restaurants, bakeries and other food services, and entries to residential uses above. Paseos and Walkways throughout the mixed-use development should connect the various buildings to each other and to the sidewalks along Bodway Parkway and Valley House Drive. Use of trellises, landscaping, sitting areas and the site planning of buildings adjacent to one another will encourage pedestrian activity within the mixed-use area. Public art should be included in public spaces, where appropriate, to enhance the space.

Site Accessories

Site accessories, such as recycling bins, bike racks, litter cans, planters, and benches, should employ materials and colors that provide an architectural character consistent with the overall project. These accessories should be graffiti-resistant with materials that are easy to clean and paint.

Landscaping

Landscaping helps to soften the feel of the buildings and parking areas while enhancing the visual quality of the site. The following landscaping techniques may be used:

- Provide special landscaping treatment at all project entries and building entries.
- Provide shade/canopy trees within parking areas.
- Use plants to define outdoor spaces such as edges, outdoor plazas, or movement paths between parking and building entrances.
- Chosen plantings should provide a continuity of form across the entire project.

Fence and Wall Design

Chain link fencing, barbed wire, corrugated metal fencing and “tennis windscreens” are not permitted. Fences and walls should be built with attractive, durable materials, including (but not limited to) redwood, cedar, wrought iron, textured concrete block, brick, or formed concrete with reveals. Fences or walls should be consistent with architectural style, materials and designs used throughout the project. Walls and fences

should not exceed a height of six feet (6').

Avoid long expanses of uninterrupted fences and walls. Use of an opening, planter box, material change, pilaster or post is acceptable. Openings shall be provided to connect walkways directly to the street and to allow pedestrians to avoid long, inconvenient walking paths. These pedestrian portals should be announced by pilasters, trellis, special landscaping, or other special features.

4. Signage and Lighting

Lighting

Lighting should provide adequate illumination throughout the site during the nighttime hours while minimizing the impact on surrounding residential uses. Lighting fixtures within the mixed use development should be designed to be compatible with the architectural styles selected for the area. Street lighting along public rights-of-way should be consistent with the remainder of the Specific Plan Area. Buildings and landscaping can be illuminated indirectly to create a strong positive image. Along pedestrian walks, lighting should provide appropriate illumination at a human scale without glare. Lighting within larger parking lots should provide safe visibility. All street lighting within the Specific Plan Area shall be LED.

Signage

Signage within the mixed use development should be carefully coordinated so that it conveys necessary information without dominating the streetscene. Signage shall be subject to the City of Rohnert Park's Zoning Ordinance and shall be subject to review and approval by the City of Rohnert Park. Signage should be consistent in size, style, material, color, and location throughout the mixed use development.

Southeast Specific Plan General Plan Analysis

The following provide summary-level information on the ways in which the Southeast Specific Plan is responsive to the General Plan. References to the General Plan are noted preceding the individual statements of goals and objectives.

A. Land Use

GOALS: LAND USE

LU-G Require preparation of specific plans for strategic new growth areas with complex land use programs. *The present Specific Plan, having been prepared expressly for the purpose of addressing the planned development of the Southeast Specific Plan area, is fully responsive to this goal.*

**Table 3-1: General Plan Goals, Policies and Programs and
Southeast Specific Plan Elements**

Element	Goal	Policy	Program
Land Use	LU: A, B, D, G, H, I	LU: 2, 5, 6, 8 to 10 10A-D, 22 to 26	
Growth Management	GM: A to H	GM: 2 to 7, 9 to 15	GM2: 1.2, 1.3, 1.4, 1.5
Community Design (Urban Form)	CD: A to F	CD: 4 to 13	
Community Design (Neighborhoods)	CD: G to I	CD: 15 to 30, 49 to 52	
Community Design (Commercial Centers)	CD: K and L	CD: 55 and 56	
Community Design (Art)	CD: M	CD: 57 and 58	
Transportation (Streets)	TR: A to F, H	TR: 1, 2, 4, 5, 10, 19 to 21, 21A and 21B	
Transportation (Demand)	TR: K	TR: 25	
Transportation (Pedestrians/Bikes)	TR: N to S	TR: 37, 38, 40 to 43	
Open Space (Parks)	OS: F to H	OS: 11, 12, 15 to 17	
Public Facilities (Schools)	PF: A	PF: 1	
Public Facilities (Wastewater)	PF: D	PF: 7 to 9	
Public Facilities (Water)	PF: E to G	PF: 11, 14 to 17, 19, 21 and 23	
Env. Conserve (Archaeology)	EC: A	EC: 1, 3	
Env. Conserve (Habitat/Biology)	EC: B to D	EC: 4, 5, 7, 10 and 11	

**Table 3-1: General Plan Goals, Policies and Programs and
Southeast Specific Plan Elements (Continued)**

Element	Goal	Policy	Program
Env. Conserve (Water)	EC: E to G	EC: 15, 17 and 19	
Env. Conserve (Air)	EC: L	EC: 24 and 26	
Health and Safety (Services)	HS: A	HS: 1 and 2	
Health and Safety (Drainage)	HS: B and C	HS: 4 to 11	
Health and Safety (Solid Waste)	HS: D	HS: 12, 13 and 15	
Health and Safety (Hazardous)	HS: E to G	HS: 17 and 19	
Health and Safety (Emergency)	HS: H	HS: 24	
Noise	NS: A and B	NS: 1, 2, 4, 6 and 7	
Housing (Supply)	HO: A	HO: 2 and 3	HO: 2.3, 3.1 and 3.2
Housing (Balance of Housing Types)	HO: B	HO: 4	HO: 4.1
Housing (Affordable Types)	HO: C	HO: 5, 6, 8 and 9	HO: 5.1, 5.7, 5.9 and 5.12; 6.1 to 6.3, 8.1 to 8.5 and 9.1
Housing (Special Needs)	HO: E	HO: 12, 13, 14, 15, 17 and 17a	HO: 12.1, 13.1, 14.1, 14.3 and 14.4; 15.1; 17A.2 and 17A.3
Housing (Fair Housing)	HO: F	HO: 18	HO: 18.1, 18.2, 18.5 to 18.8 and 18.10
Housing (Energy Conserve)	HO: H	HO: 24	HO: 24.1 and 24.2
Housing (Attaining Housing Goals)	HO: I	HO: 26 and 27	HO: 26.1 and 26.2; 27.1 and 27.2

Source: City of Rohnert Park, December 2005.

POLICIES: LAND USE

USE CLASSIFICATIONS AND LAND USE PROGRAM

LU-2 Require sites designated as Mixed Use—University District, City Center, Southwest Shopping Center, and near Bodway Parkway/Valley House Road—to be developed with a variety of residential and non-residential uses, in accordance with the delineated land use program for the Specific Plan areas in this chapter. *The SESPA, as a designated site for Mixed Use, is to be developed with a variety of residential uses; the non-residential uses include a neighborhood park, as required by the General Plan. Other non-residential uses include retail, commercial and related activities, depending upon available market supports.*

LAND USE PATTERN

LU-6 Locate new Medium and High Density Residential development adjacent to parks, creekways or other open space, in order to maximize residents' access to recreational uses, or adjacent to a Mixed Use or Neighborhood Commercial Center, to maximize access to services. *The Conceptual Land Use and Circulation Plan for the SESPA, shown in Figure 4-1, places medium and higher density housing*

adjacent to a park as well as the Mixed-Use site.

- LU-7 Encourage new neighborhood commercial facilities to be located to maximize accessibility to all residential areas. *The site layout is responsive to both the General Plan's designation of the area to be used for Mixed Use as well as the residents' needs for access to these types of facilities by providing a street and sidewalk network for vehicular, pedestrian and bicycle circulation.*
- LU-8 Require that residential development projects comply not only with the stipulated maximum density for the range, but the minimum density as well. *The range of densities contemplated for development in the SESPA is generally consistent with the direction provided by the General Plan.*

SPECIFIC PLAN AND OTHER AREAS

- LU-10A Coordinate the adoption of each specific plan in a manner that provides for the systematic implementation of the General Plan, as is consistent with the growth management and public facilities goals and policies of this General Plan. In order to carry out this policy, the City Council may elect to adopt one specific plan at a time, determine priorities for the adoption of each specific plan, initiate the preparation of a specific plan, or otherwise take action to ensure that the adoption of specific plans adhere to the growth management and public facilities goals and policies of this General Plan. *The preparation of the Preliminary Application and Final Specific Plan document have been undertaken in close coordination with City of Rohnert Park representatives. The adoption of the Plan will be subject to City Council action.*

Require that all specific plans prepared pursuant to this General Plan include the following components:¹

- A land use program as specified for each Specific Plan area in the General Plan, including the maximum and minimum development for each land use type. *In the present document, Section 4 – Land Use Element, C. Land Use Designation provides the required information.*
- A detailed traffic study, prepared by a City-approved traffic/transportation planner, and reasonable mitigation measures to mitigate traffic impacts resulting from the development; *See Southeast Specific Plan Traffic Impact Study for the City of Rohnert Park, January 2003, Whitlock & Weinberger Transportation, Inc., which is on file at the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005). In addition, the EIR provides details of mitigation measures. See: City of Rohnert Park Southeast Specific Plan Project EIR, section 3.10 Traffic and Circulation, Impacts and Mitigation Measures, p. 3.10-25.*

¹ Policy GM-9 also requires preparation of a Public Facilities Financing Plan.

- The proposed location and capacity of major infrastructure components, including wells, sewage, water, drainage, solid waste, disposal, energy, and other essential facilities proposed to be located within the area covered by the Specific Plan; . *A summary of the plans for these improvements is provided in Section 6 - Public Services Element; more detailed information is provided in documents submitted to the City of Rohnert Park by Civil Design Consultants (draft transmittal letter dated 27 February, 2006).*
- A site-specific biological assessment of wetlands, habitat areas, and creeksides by a City-approved biologist and a program for conservation/mitigation to the extent feasible; *See Jurisdictional Delineation – Willowglen Partners Property, June 2002, Gibson & Skordal, LLC., on file at the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005).*
- Survey for California tiger salamander, both in breeding habitat and adjacent upland aestivation habitat, with appropriate mitigation, including avoidance and minimization measures; *See the Site Assessment prepared by H.T. Harvey, on file at the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005).*
- Program for conservation of the natural resources along creeks and standards for the conservation, development, and utilization of natural resources where applicable; *There are no creeks or other significant natural resources within the boundaries of the site.*
- Park and open space in accordance with the General Plan designation, including access and connections to the bicycle system. *The Conceptual Land Use and Circulation Plan indicates the location of the neighborhood park to be developed as part of the project; bicycle circulation within the development would be via streets and sidewalks and is generally illustrated on Figure 4-1 in the present document.*
- Hydrology and drainage for the area, with a goal to minimize runoff, and drainage practices to be incorporated as part of individual projects to meet the specific plan objectives; and *See Section 6, Public Services Element.*
- Plan to prevent stormwater pollution, including measures to be incorporated as part of development on individual sites. *See Section 6, Public Services Element.*
- Demonstration of adequate water supply;² *The water supply for the SESPA will come from existing City sources. Additional information concerning the improvements planned in connection with the water supply for the project is contained in Section 6, Public Services Element.*

² This demonstration of adequacy should be consistent with policies PF-11 through PF-14, relating to water supply.

LU-1OB Include within each specific plan, standards and criteria by which development will be phased and standards for the conservation, development, and utilization of natural resources. *The site does not contain significant natural resources, as documented in various site surveys presented in the Appendices. Phasing shall be as indicated in the Figure 5-2: Conceptual Phasing Plan presented in Section 5.*

LU-1OC Permit hospitals, schools, police and fire stations, parks and other facilities that serve a vital public interest, subject to findings and necessary environmental review, to be located in a specific plan area, even if a specific plan for the area has not been adopted. *The Specific Plan, consistent with the General Plan, provides for the location of a neighborhood park within the SESPA.*

LU-1OD As part of development of specific plans, through site planning and other techniques, ensure adequate transitions between incompatible uses, while promoting the General Plan intent of integrated development of compatible uses. *The General Plan provides guidance on the types of land uses that are to be accommodated within the SESPA and there are no incompatible uses included. The layout of the land uses within the SESPA contemplates the creation of a neighborhood that accommodates, in an integrated manner, various densities of residential development, a mixed-use component, as well a neighborhood park.*

SOUTHEAST SPECIFIC PLAN AREA

LU-22 Require preparation of a Specific Plan prior to approval of any development in the southeast area.³ *The present Plan has been prepared expressly for and in response to this policy.*

LU-23 Permit neighborhood-oriented retail, offices, financial, business and personal services, and other similar neighborhood-compatible uses. *The Mixed-use component of the Specific Plan addresses this policy.*

LU-24 Permit a maximum FAR of 0.4 for retail-only development, and 1.0 for mixed use development. *As the Mixed-use component of the SESPA is developed, this policy directive will be implemented.*

LU-25 Only land devoted to non-residential uses shall be counted towards establishing the non-residential FAR requirements. Allow residential uses, as long as they do not front Bodway Parkway. *As per LU-24, when the Mixed-Use component of the project is implemented, this policy can be implemented. The current conceptual site layout provides for residential uses which would front onto local streets within the development and not onto Bodway Parkway.*

LU-26 Allow the Mixed-Use area to be developed with a mix of residential and commercial uses, or with either one of those uses without the other. *The Mixed-Use area within*

³ The Specific Plan shall include a neighborhood park approximately five to eight acres in size, as specified in OS-12. Development shall be in accordance with the development program outlined in Table 2.4-3 [of the General Plan].

the SESPA contemplates the development of residential units, retail or a combination of both .

C. Growth Management

GOALS: GROWTH MANAGEMENT

GM-A Recognize the availability of housing as a vital issue of statewide importance. Cooperate with other local governments and the State in addressing regional housing needs, and balance regional and State considerations with the community's interest in preserving Rohnert Park's quiet, safe, small-town feeling and desire for carefully planned and managed growth. *The Specific Plan provides for the development of a range of housing types within a planned environment; the project will be phased according to market conditions and the allowable number of units which the City determines are available for implementation according to the growth management strategy which is in place. The range of housing types to be included in the project is described in Section 4, C. The Specific Plan recognizes the inclusionary requirement in the Rohnert Park Municipal Code which requires that at least fifteen percent of all new dwelling units in a residential development of five or more units shall be affordable, and shall be constructed and completed not later than the related market rate units. In a for-sale project the affordable units shall be affordable to low- and moderate-income households.*

GM-D Maintain a balance of land uses and a variety of housing types over time. *The balance of land uses in the SESPA, as established in the General Plan, as well as the variety of housing types, will be maintained as the project is implemented.*

GM-E Promote contiguous urban development and maintain a compact form over successive stages of the city's development. *The SESPA lies at the southeast boundary of the City and its development within the overall General Plan framework will be consistent with this goal.*

GM-F Ensure all new development provides necessary public facilities to support the development. *The SESPA will accommodate a variety of public facilities including a neighborhood park and streets and sidewalks.*

POLICIES: GROWTH MANAGEMENT

ADEQUATE PUBLIC FACILITIES

GM-9 Require that each specific plan include a Public Facilities Financing Plan that explains how streets, water, wastewater, solid waste, and parks, all meeting City standards, will be provided to the project. The Plan must demonstrate, to the satisfaction of the City Manager, based upon criteria developed in the Growth Management Ordinance, that completion of all necessary public facilities concurrently with completion of the specific plan is economically, physically, and legally feasible. *See Section 6, Public Services Element for a summary of the approach to developing required public services; a more detailed description is provided in Attachments A, the Public Services Plan prepared by Civil Design*

Consultants. In addition, a Public Facilities Financing Plan has been prepared as part of the SESPA planning process and is part of the Specific Plan and is on file at the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and –005).

GM-10 Require that economic, physical and legal feasibility (Policy GM-9) include the method of financing or otherwise paying for the facilities and the plan for receiving approval of all regulatory agencies. A Public Facilities Financing Plan that provides for the project's fair share of the financing for the necessary public facilities, but does not provide for the completion of the public facilities prior to completion of the development due to lack of contribution by other responsible parties, will be deemed complete but will not be approved as part of development project approval unless the exceptions included in GM-11 or GM-12 apply. *The aforementioned Public Facilities Financing Plan identifies the sources of financing for the public facilities requirements and is on file at the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and –005).*

GM-13 Require that new development maintain parkways, creeksides, and open spaces that are part of the development or are required to support it, and consider establishing multi-purpose assessment districts or other financing mechanism in order to assign the cost of infrastructure improvements equitably to benefiting sites. *The Public Facilities Financing Plan outlines the approach to assessment districts which the project will undertake. This Plan is on file at the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and –005). There are no creeksides or open spaces, other than the neighborhood park, which are included in the SESPA.*

GM-14 Require new development to dedicate land to the City in the appropriate amount and location for parks and recreational space, in accordance with the General Plan Diagram, the Specific Plan for the area, and the City's park dedication requirements. *A neighborhood park is included in the Conceptual Land Use and Circulation Plan that will be dedicated to the City; the location of the park is shown in Figure 4-1.*

LAND USE BALANCE

GM-16 As part of preparation and approval of specific plans and any other implementing ordinances, regulations and development agreements, and allocation of development entitlements for areas of new development, balance non-residential development with residential development over the different phases and require that the contemplated balance of housing types is attained at buildout. *The Specific Plan envisions the development of a Mixed-Use component that constitutes the primary potential for non-residential development. Depending upon market conditions, the size and phasing of this non-residential and residential development will be undertaken in a manner which serves to achieve the planned balances of land uses and housing types.*

D. Community Design

GOALS: URBAN FORM, VIEWS AND EDGES

CD-A Create pedestrian-oriented activity centers that serve as community focal points.

The Specific Plan site layout is organized to promote opportunities for pedestrians to circulate within the community providing a park and Mixed-Use development area as key activity centers and focal points.

CD-B Establish strong connections between adjacent neighborhoods and between neighborhoods and activity centers, in order to encourage walking and biking. *The potential for a street linking the existing Canon Manor area and the SESPA is provided for in the Specific Plan site layout. Sidewalk, pedestrian crossings and trail connections on Valley House Drive, Petaluma Hill Road and Bodway Parkway provide connections to existing and planned neighborhoods surrounding the site.*

CD-C Establish an open space network that links residential neighborhoods, parks, and open space areas. *The grid network of streets, short block lengths and the associated sidewalks provide the desired linkages between residential areas and the park.*

CD-D Preserve and enhance views of the eastern ridgeline. *The east-west orientation of interior streets in the Specific Plan site layout provide the major opportunity for enhancing views of the eastern ridgeline from vantage points within the development. Valley House Drive, as shown in Figure 3.2-13 in the General Plan, would also provide opportunities for views of this ridgeline.*

POLICIES: URBAN FORM, VIEWS AND EDGES

VIEWS

CD-4 Designate Petaluma Hill Road as a scenic corridor throughout its stretch along Rohnert Park. *The Specific Plan incorporates this policy for the segment of roadway that extends between Valley House Road and Canon Manor.*

CD-5 Ensure that any landscape treatment along Petaluma Hill Road does not obstruct views of the eastern ridgelines from the street. *The Specific Plan incorporates this policy for the segment of roadway that extends between Valley House Road and Canon Manor.*

CD-6 As part of any development along Petaluma Hill Road, ensure planting, if any, does not obstruct views of the ridges from the city's eastern neighborhoods. In no case shall trees or shrubs that exceed 25 feet in height upon maturity be used.⁴ *The Specific Plan incorporates this policy for the segment of roadway that extends*

⁴ A maximum height of 25 feet will permit views of the ridgelines above 1,000-foot elevation from a horizontal distance of about 1,000 feet from the open space edge. If trees are taller, views of the ridgelines from the eastern neighborhoods will be disrupted. Site specific characteristics may necessitate heights shorter than 25 feet or no planting at all to ensure that views are preserved.

between Valley House Road and Canon Manor.

CD-7 Minimize disruption of existing views by new development.

- Along Bodway Parkway, north of Valley House Drive, require any new development on the eastern side of the street, with the exception of the Mixed Use center, to be set back at least 50 feet from the edge of the street right-of-way. *The Specific Plan site layout provides that a neighborhood park be located north of the Mixed-Use center, thus responding to this policy for this portion of the Parkway. At the Planning Commission hearing held on November 8, 2007, the Commission voted 5-0 to move the remaining 50-foot buffer area north of the park to the buffer located adjacent to Petaluma Hill Road, indicating that they felt this buffer land would better serve the scenic corridor along Petaluma Hill Road.*

CD-8 Maintain streets as “view corridors” by:

- Where appropriate, keeping the northern and eastern terminus “open” by not allowing buildings or tall trees to be placed at street ends; *The Conceptual Land Use and Circulation Plan observes this policy, as conceptually shown in Figure 4-1.*
- Either leaving the eastern edge of the north-south streets at the city’s eastern edge to remain unplanted, or ensuring that tall branching trees that permit views from vehicles. *The Specific Plan incorporates this policy for implementation as more detailed design is undertaken including selection of plant materials.*

EDGES

CD-9 Ensure that development intensities provide adequate transition from urban to open space uses on the city’s eastside, as indicated on the General Plan Diagram. *The Specific Plan follows the General Plan guidance on a general transition of urban densities from east to west, from rural estate to mixed-use.*

CD-10 As part of implementing plans and programs, permit clustering of Estate Residential development, with resultant pockets of open space along the city’s eastern edge. *The SESPAC Conceptual Land Use and Circulation Plan places the Rural Estate area along the city’s eastern edge and provides a 50-foot buffer between Petaluma Hill Road and adjacent rural estate homes as shown in Figure 4-1, therefore responding to this policy.*

CD-11 Require all development along the city’s eastern edge to plant trees and other vegetation along the city edge, in order to maintain the open space appearance along Petaluma Hill Road.⁵ *The Specific Plan addresses the edge treatment matter*

⁵ See also Policy CD-5 pertaining to height of vegetation along Petaluma Hill Road.

in Section 7.0 Design Guidelines (Attachment B).

CD-12 As part of the Zoning Ordinance establish setback requirements for development adjacent to open space buffers along city edges. *The Specific Plan recognizes the existence of an Open Space area to the east of the property along Petaluma Hill Road and provides a 50 ft. setback from the boundary of the property (see Figure 4-1 Conceptual Land Use and Circulation Plan).*

CD-13 Allow only Rural Estate Residential uses or open space and recreation uses along Petaluma Hill Road. *The SESPA site plan, consistent with the General Plan, provides for Rural Estate Residential uses and a 50-foot landscape buffer in this location.*

CD- 14 Ensure that design treatment at the edge of urban uses results in “soft” edges by:

- Prohibiting the use of solid walls along these edges (i.e., fences must be visually permeable);
- Using materials and design to promote soft edges (such as use of wooden or other rustic materials for fences, etc.); and

The Specific Plan addresses the edge treatment matter in Section 7.0 Design Guidelines, subsection B Community Design Principles, 2. Public Spaces and Streetscapes.

FOCUS AREAS

In addition to policies that apply across the City, the General Plan includes policies targeted at design issues specific to the Southeast Area.

GOALS: NEIGHBORHOODS AND FOCUS AREAS

CD-G Encourage development of diverse and distinctive neighborhoods that build on the patterns of the natural landscape and are responsive in their location and context. *The SESPA site plan is designed in such a manner as to create a cohesive, well-organized neighborhood, responsive to the surrounding land uses.*

CD-H Promote a mix of uses and a variety of housing types and sizes within residential neighborhoods.⁶ *The Specific Plan, following the direction of the General Plan, provides for a variety of housing types and sizes as well as a mixed-use area and a neighborhood park and is, therefore, responsive to this goal.*

CD-I Ensure that neighborhood streets provide an attractive physical environment for

⁶ The General Plan Diagram establishes a mix of uses within areas of new development and promotes a mix of housing types by allowing a range of residential densities within the same areas. This goal and the subsequent policies build on the overall direction established in the diagram.

motorists, pedestrians, and cyclists, *The Specific Plan provides a street pattern and landscape design that is responsive to this goal.*

POLICIES: NEIGHBORHOODS AND FOCUS AREAS

NEIGHBORHOOD STRUCTURE

CD-16 Require neighborhood design—including components such as land use, development intensity, and street layouts—to be responsive to natural and institutional elements, including:

- Urban edges: Ensure transition from urban intensities to open space; *The Specific Plan implements the General Plan guidance on location and types of land uses to achieve this policy.*
- Integration with the surroundings: Promote connections with adjacent neighborhoods by integrating street networks, and responding to existing landscape and visual treatments. *The Specific Plan provides for a potential connection with the Canon Manor area to the north via an extension of Sturdevant Street. In addition, the sidewalk which will be developed along the eastern side of Bodway Parkway, will provide access to the north for pedestrians and bicycles. Pedestrian crossings at the Valley House Drive/Bodway Parkway intersection and a mid-block crossing between the proposed park and the property to the west provide access for future planned residential and commercial uses. A detailed description of this connection is provided in the Public Services Plan, which is included as Attachment A.*

CD-17 Allow townhomes and multifamily dwellings to be integrated with single-family residences. *The Specific Plan site layout is responsive to this policy by placing duplexes (duets) in selected locations within single family residential areas.*

STREET/BUILDING RELATIONSHIP

CD-19 As part of updating the City's zoning regulations or applicable specific plans, adopt standards to foster pedestrian orientation of new development in Mixed-Use and Neighborhood Commercial areas by:

- Developing a coherent set of standards for buildings, such that building facades and entrances define the streetscape and promote street activity;
- Maintaining volumetric building standards that require buildings to be located at the street by establishing maximum setback or "build-to lines", with appropriate step-backs for upper stories;
- Ensuring that primary entrances of buildings face the street;
- Requiring that parking be provided in the interior of the block, screened by the

building or landscaping;

- Requiring awnings and canopies for pedestrian comfort, where appropriate; and
- Establishing building transparency from sidewalks.

These policies have been implemented in the Specific Plan via the Development Standards (Section 4. Land Use Element, Subsection D. Development Standards) and the Design Guidelines provided in Section 7 (Attachment B).

CD-20 Encourage buildings to foster a sense of place by providing transitions between the street and building, front setback variation for residential development, and building articulation and massing, as part of development standards or any design guidelines that may be prepared. *This policy has been implemented in the Specific Plan via the Development Standards (Section 4. Land Use Element, Subsection D. Development Standards) and the Design Guidelines provided in Section 7.*

CD-21 Minimize the visual dominance of garages by maintaining appropriate development standards in the City's zoning and subdivision regulations and/or design guidelines. *The Specific Plan implements this policy through the provision of Design Guidelines in Section 7.*

CD-22 Provide streets at the edges of each phase of development in order to provide flexibility, and better continuity for later phases. *The phasing of the development of the project will depend upon market conditions and other factors. At such time as individual phases are proposed for implementation, this policy can be implemented. A Conceptual Phasing Plan is provided in Figure 5-2.*

CD-23 Establish design guidelines for Estate Residential uses to ensure new buildings are consistent with surrounding areas. *The Specific Plan implements this policy through the Design Guidelines in Section 7, although the surrounding areas are almost totally undeveloped and therefore the new development will be a more significant determinate of street/building relationships than the existing and surrounding development.*

STREETS AND STREET NETWORK

CD-24 Ensure that the Subdivision Regulations encourage a fine-grained and integrated pattern of streets that provide continuity between neighborhoods, have a human scale, and enhance the character of neighborhoods and activity centers. Ensure that the Subdivision Regulations:

- Require the continuity of major streets between neighborhoods. *The Specific Plan provides for a potential connection to Sturdevant Street in the Canon Manor area.*
- Limit use of cul de sacs to: No more than ten percent of the length of all streets in a subdivision map; and a 150-foot maximum length, to prevent their use as a

substitute to through streets. *This requirement will be addressed by the subdivision map. It should be noted that the Land Use and Circulation Plan includes only one cul-de-sac, which makes up less than 2% of the length of all streets within the SESPA (See Figure 4-1).*

- Where cul de sacs are used, integrate pedestrian and bicycle connections through the end to the adjacent area. *This requirement will be addressed when a detailed site layout for the SESPA is prepared and submitted to the city.*
- Promote closer spacing between the intersections of local streets, as defined in Chapter 4: Transportation, with a maximum spacing of 1/8th mile (660 feet) that will strengthen pedestrian connections. *The Specific Plan is responsive to this policy. With the exception of blocks that are constrained by the configuration of the park and adjacent existing residential lots to the north, all blocks within the Conceptual Land Use and Circulation Plan are less than 660 feet in length (See Figure 4-1).*

CD-25 Use traffic calming measures to reduce traffic speeds in residential areas rather than limiting street connections. *Intersections have been designed to provide pedestrian bulbouts. Pedestrian bulbouts extend the corner sidewalk at the intersection by eliminating on street parking and narrowing the street to the travel lane curb-to-curb width at the intersection. Reducing the width of the street improves pedestrian safety by alerting the driver that an intersection is about to occur, shortening the distance required to cross the street, and improving the visibility of the pedestrian. Corner radii are also reduced, forcing drivers to slow down during turning movements.*

CD-26 Design local streets to not only accommodate traffic, but also to serve as comfortable pedestrian environments. These should include, but not be limited to:

- Street tree planting adjacent to curb and between the street and sidewalk to provide a buffer between the pedestrian and the automobile, where appropriate;
- Minimum curb cuts along streets; and
- Sidewalks on both sides of streets, where feasible.

The Specific Plan is responsive to this policy by providing sidewalks on both sides of all streets as detailed in Section 5 Circulation Element, subsection C and the Public Services Plan (Attachment A). Designated multi-use trails and key pedestrian corridors, where driveway cuts are minimized through neighborhood designs, further implement this policy.

CD-27 Allow soundwalls only for development along US 101 and NP Railroad, as shown in figure 3.2-6. A review of the calculated noise levels and traffic counts along RP arterials, coupled with implementation of other tools such as larger setbacks, suggests that sound walls will not be necessary along proposed arterials.

Restrictions on use of sound walls will allow neighborhoods to be less inward focused and allow them to be perceived as more open and welcoming to passers by. *The Specific Plan does not contemplate the use of extensive sound walls and is therefore generally consistent with the intent of CD-27. Street patterns have been intentionally designed to allow units to side onto Valley House Drive and Bodway parkway to avoid the need for long expanses of soundwall. Instead, side and rear yards abutting these streets will be attenuated by side yard fencing or short courtyard walls rated to mitigate noise to an acceptable level. Although these short distances will be attenuating noise, they will not appear as a solid soundwall that closes off the community. Along Petaluma Hill Road, the Specific Plan proposes a combination of landscape berm and wall to provide sound attenuation to the adjacent rural estate. The landscape berm will allow the wall to be no taller than 4 feet in height. The berm will also create a softened edge along this corridor. This concept is described in the Design Guidelines, Page 3.*

PARKING

CD-29 To establish flexibility in parking standards, review residential parking requirements in the Zoning Ordinance, and consider implementing the following provisions and exceptions, where appropriate:

- Reduced off-street parking requirements for High Density Residential uses;
- Reduced off-street parking requirements for residential sites adjacent to the linear park, where on-street parking is more available;
- Reduced parking requirements for development with a mix of uses, to account for differences in peak hour parking demand between the uses.
- Reduced parking requirements in areas designated as Mixed Use, where mix of uses and compact development favors pedestrian and bicycle access.
- Allowing on-street parking to count toward parking requirements for development in mixed use areas.

The Specific Plan provides information concerning parking requirements in the Development Standards found in Table 4-4. As more detailed planning and design is undertaken of the residential and Mixed Use areas, consideration can be given to the provisions and exceptions as noted and as necessary and appropriate.

CD-30 Encourage development of parking assessment districts for the mixed-use areas. Upon establishment and participation in such a district, do not require parking on individual sites.⁷ *As more detailed planning is undertaken for the Mixed-Use area and the ultimate development program is defined, consideration can be given to the*

⁷ This policy allows flexibility in the arrangement of parking within mixed-use areas. On-street or off-street parking can be located off-site, allowing more compact development.

need for and appropriateness of implementing this policy.

SOUTHEAST SPECIFIC PLAN AREA

CD-49 Locate the proposed Mixed-Use Commercial area along Bodway Parkway to increase accessibility. Require buildings to front on Bodway with parking located behind buildings. *The Specific Plan site layout is responsive to this policy as indicated in the site layout and described in Section 6 Design Guidelines, subsection D Mixed Use Design Guidelines.*

CD-50 Provide Medium Density Residential uses adjacent to mixed-use/commercial areas. Require the commercial center to provide landscaping to screen parking and provide a buffer between the residential and commercial uses. *The Specific Plan site layout is responsive to this policy and the Design Guidelines in Section 7, subsection D Mixed Use Design Guidelines provide additional guidance on this subject.*

CD-51 Ensure that the proposed neighborhood park is located adjacent to the Medium Density Residential area. *The Specific Plan is responsive to this policy, as shown on the Conceptual Land Use and Circulation Plan Figure 4-1.*

CD-52 Allow only Estate Residential uses along Petaluma Hill Road in order to provide transition between developed and undeveloped areas. *The Specific Plan is responsive to this policy as shown on the Conceptual Land Use and Circulation Plan, Figure 4-1.*

POLICIES: PUBLIC ART

CD-58 Include art and cultural components in areas of new development and redevelopment. *The Specific Plan indicates two areas where art and cultural components can be incorporated in the development: the park and the mixed use area. Depending upon the final landscaping and site designs for these areas, cultural and art features can be incorporated into the projects.*

E. Transportation

GOALS: STREET SYSTEM

TR-A Promote safe and efficient vehicular circulation throughout Rohnert Park. *The Specific Plan provides an appropriate hierarchy of roads that will effectively separate through from local traffic providing residents with convenient, safe access to their homes while facilitating vehicular movements within the SESPA.*

TR-B Maintain high levels of mobility along all major street segments and at major intersections. *The Specific Plan incorporates the results of a traffic study that*

provides guidance on improvements needed to implement this goal.⁸

- TR-C Build new roads and improve existing roadways, where necessary, in conjunction with new development. *The Specific Plan is responsive to this goal, upgrading the existing roadways located on the east, south and west while developing a new network of roads for internal circulation within the SESPA.*
- TR-E Discourage high-speed traffic and trucks from using local streets. *The Specific Plan site layout discourages high-speed and truck traffic by reducing the possibilities for through movement to the potential linkage with Canon Manor via Sturdevant Street.*
- TR-F Encourage alternative modes of travel—including transit, bicycles, and walking—by coordinating land use planning and development with transportation and by promoting compact, mixed-use development in targeted areas. *The Specific Plan is responsive to this goal by providing a network of sidewalks and roads that can be used by bicyclists and pedestrians.*

POLICIES: STREET SYSTEM

STREET CLASSIFICATIONS AND STANDARDS

- TR-1 Establish LOS C as the minimum standard for all arterial and collector roadway segments (“segments”) and intersections, except for (1) those specified segments and intersections for which allowable LOS standards are otherwise established below; and (2) segments and intersections that are operating at LOS D or lower at the time an application for a development project or a specified plan is submitted if no feasible improvements exist to improve the LOS. The then-existing LOS may be permitted to be the standard for those segments and intersections in category (2), provided that the LOS not be permitted to deteriorate further due to the proposed development project or specific plan. *The General Plan identified the segment of Petaluma Hill Rd. from Valley House Rd. to East Railroad Ave. as having a Level of Service of “E/A”. The analysis of this condition is included in the EIR in Section 3.10 Traffic and Circulation.*
- TR-2 Require mitigation measures, as needed, for new development that increases traffic such that LOS levels fall below the established minimum standard. Ensure that mitigation measures are coordinated with roadway improvements programmed for funding through transportation-related impact fees.⁹ *As part of the Specific Plan process, a Traffic Impact Study has been prepared and is on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005). This study provides the required analysis and recommendations as to mitigation*

⁸ See: Southeast Specific Plan Traffic Impact Study for the City of Rohnert Park, Whitlock & Weinberger Transportation Inc.

⁹ Chapter 2: Land Use and Growth Management of the General Plan requires project proponents to pay for transportation improvements made necessary by development. Policy TR-1 establishes minimum LOS standards. A traffic analysis will be required for each specific plan area and mitigation measures will be required, as appropriate, both within and outside the City limits.

measures that will be funded as part of the development project. Additional information is provided in Section 3.10 Traffic and Circulation of the EIR.

TR-4 Establish roadway classifications, as shown in Table 4.1-3 of the General Plan. Require right-of-way dedications and design roadway improvements based on these classifications and Figure 4.1-1 in the General Plan. *The Specific Plan provides roadway classification information in Section 5, Circulation Element in*

subsection C. Roadway Classification Standards. Additional details of the roadway characteristics are described in the Public Services Plan (See Attachment A).

TR-5 Require provision of local streets in accordance with the City's Subdivision Ordinance and the policies and standards in Chapter 3: Community Design. *The Specific Plan is responsive to this policy by providing a local street network to serve the new development.*

ROADWAY IMPROVEMENTS

TR-10 (related to Bodway Parkway) "Where street widening is proposed and the City owns an existing right-of-way that exceeds the minimum width required according to the roadways classifications shown in Fig 4.1-3, the additional width shall be used for a greenway along one side of the street that has bikeways, pedestrian paths, and landscaping." *No modification of the Bodway Parkway is proposed.*

INTER-JURISDICTIONAL COORDINATION

TR-19 Work with Sonoma County to coordinate improvements to major roads in the unincorporated parts of the Rohnert Park Planning Area.¹⁰ *The Specific Plan recognizes the needs for coordination with Sonoma County in the development of Valley House Drive in as much as this roadway corridor lies in both the City of Rohnert Park and the County's jurisdiction.*

TR-21B. Work with the City of Cotati and Sonoma State University to determine feasible measures to mitigate impacts of increased traffic on East Cotati Avenue (within the City of Cotati, beginning with the La Plaza intersection) associated with the proposed growth assumed in the 2000 General Plan. These measures shall be based on detailed (intersection-level) traffic studies that will be prepared with each specific plan. The Southeast Specific Plan shall include a detailed analysis of intersections within and outside of the city that are projected to be impacted by the specific plan project area; an analysis of the traffic impacts of the specific plan project area on East Cotati Avenue; a cumulative impact analysis; and feasible mitigation measures for lessening the potential traffic impacts.

¹⁰ Major roads include Petaluma Hill Road, Railroad Avenue, Stony Point Road, Wilfred Avenue, Millbrae Avenue, and the Old Redwood Highway.

Contribute the City's fair share to the feasible mitigation measures identified in the Southeast Specific Plan; provided that (1) the City's fair share is roughly proportional to the traffic impacts of development beyond the 1999 incorporated limits of the City of Rohnert Park; and (2) other jurisdictions that approve development that impacts traffic congestion at the impacted intersections on East Cotati Avenue contribute their fair share. In the event that the City of Cotati and/or SSU approve development that impacts East Cotati Avenue traffic congestion but do not contribute their fair share to fund the feasible mitigation measures, the City and City of Cotati will evaluate alternative feasible mitigation measures that can be implemented. The City's financial commitment is also contingent upon legal authority to collect payments through specific plans, development agreements, assessment districts, and/or ordinances to raise funds for needed improvements on East Cotati Avenue.

The SESPA planning process has included preparation of a Traffic Impact Study to analyze the effects of the development on traffic on East Cotati Avenue. See: Southeast Specific Plan Traffic Impact Study for the City of Rohnert Park, Whitlock & Weinberger Transportation, Inc, which is on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005) In addition, this matter has been reviewed in the course of preparing the EIR.

F. Open Space

GOALS: OPEN SPACE

OS-D Maintain and enhance the Petaluma Hill Road scenic corridor. *The Specific Plan, following the guidance of the General Plan, provides for the development of the West Side of Petaluma Hill Road for Rural Estate residential uses and a 50-foot wide buffer. In addition, the Design Guidelines in Section 7, subsection B 2. Public Spaces and Streetscapes provides additional information concerning the planned design treatment along Petaluma Hill Road.*

GOALS: PARKS

OS-F Provide an integrated system of parks and trails throughout the City to meet the community's recreational needs. *The Specific Plan is consistent with this goal by providing a neighborhood park, multi-use trails along Valley House Road and Petaluma Hill Road, sidewalks on both sides of all streets and connections to adjacent existing and proposed adjacent neighborhoods.*

OS-G Develop additional parkland in the city to meet the standards of required park acreage for new residents. *The Specific Plan is consistent with this goal by providing a neighborhood park for new residents of the SESPA.*

OS-H Ensure adequate funding for parks and recreation facilities acquisition, development, and maintenance. *As part of the Specific Plan preparation, a Public Facilities Financing Plan was prepared by Harris & Associates and is on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005)*

POLICIES: OPEN SPACE

OS-6 Require property developers adjacent to sites where agricultural use is permitted or being conducted to inform subsequent buyers of potential continued agricultural production and the lawful use of agricultural chemicals, including pesticides and fertilizers. *In accordance with California law, prospective buyers of properties will be provided with a list of disclosures including information regarding agricultural activities in surrounding areas wherein certain chemicals may be used.*

POLICIES: PARKS

OS-12 Acquire and develop new parks in the approximate locations and sizes shown on Figure 5.2-1 and Table 5.2-2 in the General Plan. *The Specific Plan is consistent with the General Plan in providing a new neighborhood park for the SESPA.*¹¹

RECREATION FACILITIES

OS-16 Expand the city's network of bike and pedestrian paths in areas of new development. *The Specific Plan is consistent with this policy as the implementation of the actual development will entail the creation of new streets and sidewalks.*

OS-17 Ensure that parks and recreation facilities are safe secure areas. The City should request Department of Public Safety review and comment on park and recreation facility projects. The design and construction of these facilities should allow for safety, security, and reliable patrol and response. *Representatives of the City have participated in the review of design concepts for the location and features of the park.*

G. Wastewater

GOALS: WATER SUPPLY AND CONSERVATION

PF-D Ensure that adequate wastewater facilities and services are available to meet the needs of existing and new development. *A summary description of the planned improvements is provided in Section 6.0 Public Services Element and the Public Services Plan (Attachment A)*

GOALS: PARKS

PF-G Continue to encourage water conservation through use of reclaimed water and reduction of water consumption and discharge, for both existing and new development. *Reclaimed water is not available to the SE Specific Plan Area.*

¹¹ Figure 5.2-1 indicates the location of the park incorrectly as spanning Canon Manor and the SESPA.

PF-H Ensure that groundwater withdrawal does not exceed safe yield. *No groundwater withdrawal is proposed*

POLICIES: WASTEWATER

PF-9 Require developers to install or pay for new sewer lines and other sewer improvements needed to accommodate new development.¹² *The Public Facilities Financing Plan provides information on the financing of sewer lines for the SESPA.*

PF-10 Continue to work with residents in Canon Manor to coordinate the provision and timing of wastewater services and facilities. *See Section 6.0 Public Services Element for a general description of plans concerning the development of a collector sewer system for Canon Manor as part of the development of the SESPA.*

POLICIES: WATER SUPPLY AND CONSERVATION

WATER SUPPLY

PF- 14 Require developers to dedicate new well sites in locations identified by the City and to pay for the cost of new wells, water lines, and other water supply infrastructure needed to accommodate new development.¹³ *At the present time, it is assumed that the water supply for the SESPA will be provided from existing sources. The conceptual approach to providing water to the development is described in the Public Services Plan (Attachment A).*

CONSERVATION

PF-15 Continue to require water-conserving devices for all new development.¹⁴ *The Public Services Plan describes the types of measures that will be implemented to conserve water such as low flow devices within the homes and drought resistant landscaping.*

PF-16 Require non-residential uses to implement water conservation practices as a condition of development. *At the time detailed plans for the non-residential uses are prepared, the policy can be implemented.*

PF-21 Continue to use reclaimed wastewater to irrigate parks, recreational facilities, and landscaping.¹⁵

¹² Sewer mains on the eastside will need to be expanded in order to accommodate new development. Developers shall be required not only to install on-site sewers, but also to contribute to the cost of improvements to sewer mains. Chapter 2: Land Use and Growth Management of the General Plan includes specific policies for assessing costs and prioritizing and implementing infrastructure improvements. The Public Services Plan describes the approach to developing and financing these improvements.

¹³

¹⁴ Devices include low-flush toilets and low-flow showers and faucets.

¹⁵ Landscaping includes trees and vegetation planted along streets, as well as private business facilities

H. Environmental Conservation

POLICIES: HISTORIC AND ARCHAEOLOGICAL RESOURCES

EC-1 Undertake an inventory of historic resources to determine sites or buildings of federal, State, or local historic significance. *As part of the Specific Plan preparation process, a study was undertaken to identify the potential for historic resources. See A Cultural Resources Evaluation of the SESPA in Rohnert Park, Sonoma County, California, Archeological Resource Service, January 2002, which is on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005)*

EC-2 Insure the protection of known archaeological resources in the city by requiring a records review for any development proposed in areas that are considered archaeologically sensitive for Native American and/or historic remains. Require construction activities and development adjacent to sites of historic or archaeological resources to avoid degradation by:

- Studying the potential effects of development and construction in the resource;
- Requiring pre-construction surveys and monitoring during any ground disturbance for all development in areas of historical and archaeological sensitivity; and
- Implementing appropriate measures to avoid the identified impacts.

As part of the Specific Plan preparation process, a study was undertaken to identify the potential for historic resources. See: A Cultural Resources Evaluation of the SESPA in Rohnert Park, Sonoma County, California, Archeological Resource Service, January 2002, which is on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005). As development proceeds, the policy can be implemented.

POLICIES: HABITAT AND BIOLOGICAL RESOURCES

WETLAND CONSERVATION

EC-5 Require development in areas with high and moderate wetlands potential and habitat areas delineated in Figure 6.2-1 of the General Plan, as well as other areas where wetland or habitat for special-status species is present, to complete assessments of biological resources. *As part of the Specific Plan preparation process, a jurisdictional delineation study was performed which was submitted to the Department of the Army, Corps of Engineers resulting in a determination that Department of the Army authorization will not be required (i.e. wetlands not present on the site). This study is on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005).*

NATIVE SPECIES

EC-7 Encourage planting of native vegetation in new development sites, parks, public areas and open space. *Landscaping to be included in the Specific Plan area will be selected from a variety of plant types, which will be responsive to climate, soil conditions, water consumption and maintenance requirements. Consideration will be given to native vegetation, which is responsive to these criteria.*

VEGETATION

EC-10 As part of development approval in any new growth area, require participation in a landscape assessment district, with responsibility for maintaining open spaces, landscaped medians, and other similar features.¹⁶ *As the development moves forward, consideration will be given to creating an appropriate district mechanism (either a Community Services District or a Landscape Assessment District) to assume responsibility for this activity. See: Public Facilities Financing Plan, on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and – 005).*

GOALS: AIR QUALITY

EC-L Encourage land use and transportation strategies that promote use of alternatives to the automobile for transportation, including bicycling, bus transit, and carpooling. *The Specific Plan is responsive to this goal with respect to creating opportunities for pedestrian circulation and bicycling by providing a network of sidewalks and streets which can accommodate and encourage walking and bicycling.*

I. Seismic and Geologic Hazards

POLICIES: SEISMIC AND GEOLOGIC HAZARDS

HS- 1 Require new construction to utilize site preparation, grading, and foundation designs in accordance with site-specific soil conditions. Require submittal of a preliminary soils report, prepared by a registered civil engineer. *As part of the Specific Plan preparation effort, a geotechnical engineering investigation of the site was performed. See: Updated Geotechnical Engineering Investigation – Proposed Residential Development – SESPA, Michelucci & Associates, Inc. December 2002, on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and –005)*

POLICIES: DRAINAGE, EROSION, STORMWATER, AND FLOODING

HS-5 As part of the building permit process, require all development projects to comply with hydrology and drainage policies incorporated in the applicable Specific Plans. Require the project proponent to design and construct a storm drain system in

¹⁶ Planting of native vegetation with minimal water demand will be included in the district

accordance with the SCWA Flood Control Design Criteria (latest revision), specific LA to the project. Encourage the use of environmentally sensitive drainage improvements including flow reduction and flood bypass systems in order to ensure protection of surface water quality and stream integrity.¹⁷ *As part of the Specific Plan preparation, engineering studies have been conducted to determine potential means of retaining storm water on-site. Use of a portion of the park site for this purpose is currently under consideration.*

POLICIES: SOLID WASTE MANAGEMENT AND RECYCLING

HS-15 Require new multifamily residential and all non-residential development to incorporate attractive and convenient interior and exterior storage areas for recyclables into new buildings, to make recycling activities more convenient for those who use the buildings. *The Specific Plan is responsive to this policy and provides guidance on this subject in Section 6 Design Guidelines.*

POLICIES: EMERGENCY MANAGEMENT

HS-24 Require adequate access for emergency vehicles, including adequate street width and vertical clearance, on new streets. *The Specific Plan is responsive to this policy. See Section 5. Circulation Element, C. Roadway Classifications and Standards.*

GOALS: NOISE

NS-B Minimize the exposure of noise-sensitive uses to excessive noise levels; including residences, schools, churches, hospitals, and other public uses. *No schools, churches or hospitals will be located within the Specific Plan area. A small public park will be located in the northwestern part of the Plan area, which is surrounded on more than 75% of its perimeter by residences; the remaining 25% is adjacent to Bodway Parkway, a north-south major collector road. An analysis of potential noise generated by vehicular traffic on the major streets bounding the Specific Plan area has been conducted to ascertain needs for noise mitigation measures where noise could exceed allowable thresholds. As appropriate and necessary, those residential units where noise may exceed allowable thresholds will be designed and built with mitigation measures incorporated in walls, windows and other openings.*

POLICIES: NOISE

STANDARDS

¹⁷ Policy LU-I 04 stipulates that all specific plans shall address hydrology and drainage for their respective areas, as well as practices to be incorporated as part of individual development projects. The storm drain system may include: Street and underground storm drain improvements; and new underground storm drainage facilities.

- NS-1 During project review and approval use Figure 8.3-1 to determine acceptable uses and analysis and insulation requirements in noise impacted areas. *As part of the Specific Plan preparation, an acoustical analysis was undertaken to address potential noise issues related to the location of residences along the east side of Petaluma Hill Road. The results of this analysis are provided in the Appendix in the study prepared by Illingworth & Rodkin, Inc.*
- NS-2 For all residential uses establish 45dBLdn as the standard for interior noise levels and 60dB Ldn as the standard for exterior noise levels. Require appropriate siting of residential uses and/or mitigation measures to meet the standards. *As part of the Specific Plan preparation, an acoustical analysis was undertaken to address potential noise issues related to the location of residences along the east side of Petaluma Hill Road. The results of this analysis are provided in the Appendix in the study prepared by Illingworth & Rodkin, Inc.*

MITIGATION OF NOISE IMPACT

- NS-6 Require buffers or site planning techniques for all new development within the 65 dB Ldn noise contours. However, avoid visible sound walls except along US 101 and along NP Railroad right-of-way. *As part of the Specific Plan preparation, an acoustical analysis was undertaken to address potential noise issues related to the location of residences along the east side of Petaluma Hill Road. The results of this analysis are provided in the Appendix in the study prepared by Illingworth & Rodkin, Inc.*
- NS-7 Require new development within existing or projected 65 dB Ldn noise contours to undergo a technical acoustical analysis, which shall serve as the basis for designing mitigation measures. Require the technical analysis to be conducted by a professional acoustical engineer. *As part of the Specific Plan preparation, an acoustical analysis was undertaken to address potential noise issues related to the location of residences along the east side of Petaluma Hill Road. The results of this analysis are provided in the study prepared by Illingworth & Rodkin, Inc., which is on file with the City of Rohnert Park Planning Division (File numbers 2003-031, -054 and -005)*

J. Housing

POLICIES: HOUSING SUPPLY

- HO-3(3.2) Continue to establish assessment districts and utilize subdivision agreements to finance adequate infrastructure. *As part of the planning process for this Specific Plan, a Public Facilities Financing Plan was prepared by Harris and Associates (dated May 25, 2004) which provides information on the financing approach to achieve adequate infrastructure.*

GOAL: BALANCE OF HOUSING TYPES

HO-B Provide for a range of housing types within the community to accommodate a variety of incomes and lifestyles, and enable residents to remain in Rohnert Park throughout their lives if they so choose. *The Specific Plan, following the guidance of the General Plan, is responsive to this goal by providing for the development of a range of housing types. Detailed information concerning the sizes of units is provided in the Development Standards found in Table 4-4 and additional information concerning the design of the units is provided in Section 7.0 Design Guidelines.*

POLICIES: BALANCE OF HOUSING TYPES

HO-4 Promote a diversity of housing types, including single-family detached and attached residences, mobilehomes, multi-family rental and ownership units, secondary units, and units combined with non-residential uses. *The Specific Plan, following the guidance and direction of the General Plan, is responsive to this policy by accommodating a diversity of housing types. Detailed information concerning the sizes of units is provided in the Development Standards found in Table 4-4 and additional information concerning the design of the units is provided in Section 7.0 Design Guidelines.*

GOAL: PROVISION OF AFFORDABLE HOUSING

HO-C Address to the maximum extent feasible the housing needs of all economic segments of the present and future community, giving highest priority to lower income households. *The Specific Plan, incorporating direction from the City's Municipal Code section 17.70.040, based on the planned development of for-sale residences, provides for the development of 15% of the housing units as affordable to low and moderate income households. Appropriate regulation of resale and occupancy of units designated as affordable shall be monitored by the City of Rohnert Park.*

GOAL: PRESERVATION OF AFFORDABILITY

HO-D Preserve the City's existing affordable housing stock, and ensure the long-term affordability of new non-market rate units. *The Specific Plan, incorporating direction from the City's Municipal Code section 17.70.040, based on the planned development of for-sale residences, provides for the development of 15% of the housing units as affordable to low and moderate income households.*

GOAL: ENERGY CONSERVATION

HO-H Encourage energy conservation in housing. *The residences to be developed within the Specific Plan will be subject to statutory standards and review procedures pertaining to energy and energy conservation. Last year the California Energy Commission (CEC) completed the rulemaking process for the 2008 Energy Efficiency Standards for Residential and Nonresidential Buildings (Title 24, Part 6,*

of the California Code of Regulations). The Energy Commission adopted the 2008 Standards on April 23, 2008, and the Building Standards Commission approved them for publication on September 11, 2008. The CEC has posted the final proposed version of the Residential Compliance Manual, which was certified by the CEC on December 17, 2008. It has also posted a final draft of the Nonresidential Compliance Manual, which was to be considered for adoption at the CEC Business Meeting on January 14, 2009. A first analysis of the 2008 code revealed an average energy performance at least 21% more efficient than ASHRAE 90.1-2004. Even better results are likely after more definitive testing. The new standards will be effective August 1, 2009. Furthermore, the applicant has submitted a zero carbon plan for the project that identifies a number of energy conservation techniques. This plan is currently under review by the City. Once approved, these techniques will be implemented as part of the project.

HO-24 Promote the use of energy conservation features in the design of residential development. *In addition to application of statutory standards and review procedures for residential development, consideration will be given to features which promote energy conservation, consistent with marketplace requirements and consumer preferences.*

HO-24 (24.1) Continue to evaluate residential projects for consistency with Section 66473.1 of the Subdivision Map Act during the development review process. *The City of Rohnert Park has responsibility for review of projects during the development review process including an evaluation of consistency with applicable Municipal Code provisions.*

HO-24 (24.2) Continue to require the planting of trees as part of residential projects to provide cooling during the summer months. *As part of the overall subdivision implementation common areas and the park will be planted with trees according to a landscaping plan. In addition, front yards will be planted with trees to provide shading along public streets and sidewalks. Periodic maintenance will be required to ensure that the initial plan intent is carried out in future years as trees mature and, on occasion, require replacement*

