

**RESOLUTION NO. 2018-074**

**A RESOLUTION OF THE CITY COUNCIL OF THE  
CITY OF ROHNERT PARK, CALIFORNIA, APPROVING AN AMENDMENT TO  
VAST OAK EAST DEVELOPMENT AREA PLAN II: SYCAMORE NEIGHBORHOOD  
AT UNIVERSITY DISTRICT, CONSISTING OF 114-SINGLE-FAMILY RESIDENTIAL  
LOTS**

**WHEREAS**, the applicant, Signature Homes, has submitted an application to amend the Vast Oak East DAP II: Sycamore Neighborhood within the University District Specific Plan ("UDSP") Area; and

**WHEREAS**, pursuant to California State Law and the RPMC, public hearing notices were mailed to all property owners within an area exceeding a three hundred foot radius of the subject property and a public hearing was published for a minimum of 10 days prior to the first public hearing in the Community Voice; and

**WHEREAS**, the City Council of the City of Rohnert Park has certified the Final Environmental Impact Report (EIR) and EIR Addendum prepared for the UDSP project and the City has otherwise carried out all requirements for the project pursuant to CEQA; and

**WHEREAS**, on April 26, 2018, the Planning Commission held a public hearing at which time interested persons had an opportunity to testify either in support or opposition to the proposed amendment to the Development Area Plan; and

**WHEREAS**, the Planning Commission reviewed and considered the information contained in the proposed amendment to the Development Area Plan; and

**WHEREAS**, the Planning Commission voted to recommend approval of the proposed amendment to the Development Area Plan subject to the following recommendation: that the developer install solar panels for alternative energy on four of the model homes; and

**WHEREAS**, on May 8, 2018, the City Council held a public hearing at which time interested persons had an opportunity to testify either in support or opposition to the proposed amendment to the Development Area Plan; and

**WHEREAS**, the City Council has reviewed and considered the information contained in proposed amendment to Vast Oaks East DAP II: Sycamore Neighborhood; and

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Rohnert Park makes the following findings, determinations and recommendations with respect to the proposed amendment to the Development Area Plan:

**Section 1.** The above recitations are true and correct.

**Section 2.** CEQA Finding. On May 23, 2006, the City of Rohnert Park certified the Final EIR for the UDSP project, including adoption of associated CEQA Findings, Statement of Overriding Considerations, and the Mitigation Monitoring and Reporting Program. On April 8,

2014, the City approved an Addendum to the Final EIR, as described in City Council Resolution No. 2014-032. Pursuant to CEQA Guidelines Sections 15162 and based on the entire record, the City Council finds that no new environmental effects could occur and no new mitigation measures are required as a result of the amendment to the subject Development Area Plan. Therefore, no additional environmental review is required.

**Section 3.** Findings for Approval of Development Area Plans. The City Council, in consideration of Planning Application file number PLDP2017-0003 (Vast Oak East Development Area Plan II: Sycamore Neighborhood at University District), hereby makes the following findings in accordance with Rohnert Park Municipal Code Section 17.06.400 with respect to the proposed amendment to the DAP II - Sycamore Neighborhood:

1. *The proposed amended development conforms to the applicable specific plan*

**Criteria Satisfied.** The amendment to the Vast Oak East DAP II: Sycamore Neighborhood is consistent with the Specific Plan and provides additional details on the project including residential floor plans and elevations by housing type, and landscaping details and specifications. The proposed amendment to the DAP is consistent with the Specific Plan because it conform to the requirements in the Specific Plan related to density, housing type, housing location, public improvements, landscaping, and related amenities. The DAP amendment is designed to have adequate infrastructure and be integrated with existing City roadways, streets, bicycle paths, and walkways. All streets and thoroughfares will meet the standards of the City as is required by the Specific Plan. The recommended conditions of approval for the DAP amendment ensure that implementation of the Development Area Plan will remain consistent with the Specific Plan, Tentative Map, and mitigation measures.

2. *Public infrastructure and services can be provided concurrently with the amended development*

**Criteria Satisfied.** The developer will be required to participate in the Public Facilities Financing Plan, which will provide for necessary off-site public facilities, and shall be responsible for on-site facilities to meet the project's needs. The Development Agreement for the project sets forth the timing of the necessary facilities as they relate to the physical development of the site.

**Section 4.** A duly noticed public hearing on the proposed Development Area Plan amendment was held on May 8, 2018.

**Section 5.** Based on the findings set forth in this Resolution and the evidence in the staff report, the City Council hereby approves the amended Vast Oak East Development Area Plan II: Sycamore Neighborhood at University District, as set forth at **Exhibit A**, in its entirety, and subject to the recommended conditions of approval as amended in their entirety in **Exhibit B**. Except as modified herein with respect to the Sycamore Neighborhood, the Vast Oak East Development Area Plan II remains in full force and effect.



**DULY AND REGULARLY ADOPTED** on this 8th day of May, 2018 by the City of Rohnert Park Planning Commission by the following vote:

**CITY OF ROHNERT PARK**

Pam Stafford

Pam Stafford, Mayor

**ATTEST:**

Caitlin Saldanha

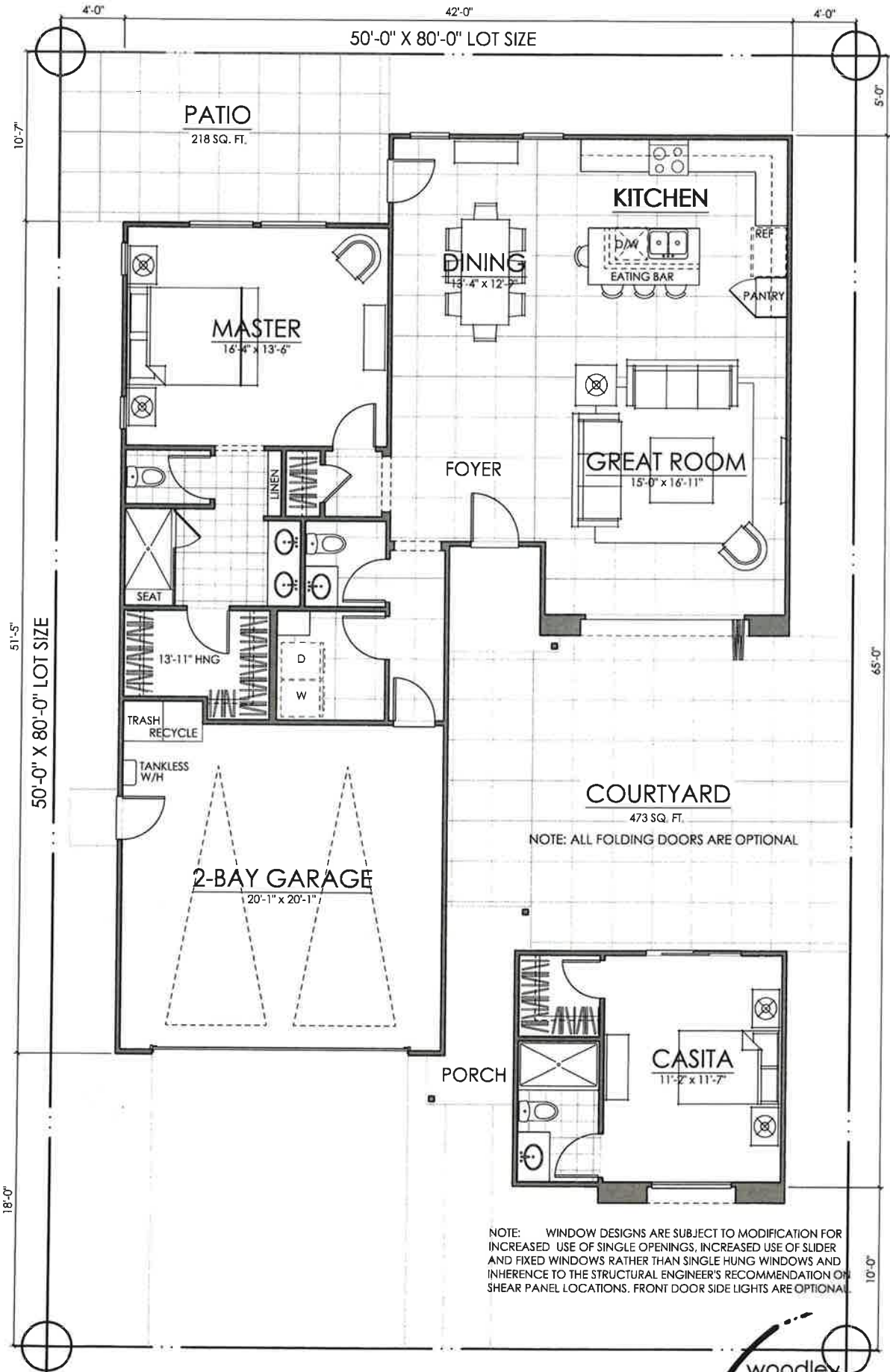
Caitlin Saldanha, Assistant City Clerk

Attachments: Exhibits A & B

AHANOTU: Absent BELFORTE: Absent MACKENZIE: Aye CALLINAN: Aye STAFFORD: Aye  
AYES: ( 3 ) NOES: ( 0 ) ABSENT: ( 2 ) ABSTAIN: ( 0 )

**For attachments to Resolution 2018-074,  
please see LaserFiche, due to the size of the  
file.**

EXISTING



FIRST FLOOR  
TOTAL LIVING

1518 SQ. FT.  
1518 SQ. FT.

PLAN ONE | 1518 SQ.FT. CONCEPTUAL PLAN  
SYCAMORE AT UNIVERSITY DISTRICT | BROOKFIELD HOMES  
ROHNERT PARK, CALIFORNIA

NOTE: SQUAREFOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

06.09.17

Brookfield  
Homes

woodley  
architectural  
group, inc  
colorado // 731 southpark dr. suite B  
littleton, co 80120 / 303 683.7231  
california // 2943 pullman st. suite A  
santa ana, ca 92705 / 949 553.8919



**MATERIAL NOTES**  
**elevationC**  
 -CONCRETE 'S' ROOF TILE  
 -STUCCO  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -DECORATIVE SHUTTERS  
 -DECORATIVE WROUGHT IRON

NOTE: OPTIONAL GATE AT ENTRY, GARAGE DOOR STYLE IS SUBJECT TO CHANGE PER ATTACHED GARAGE DOOR SHEET.

elevationC-ITALIAN



**MATERIAL NOTES**  
**elevationD**  
 -CONCRETE FLAT ROOF TILE  
 -STUCCO  
 -CEMENTITIOUS BOARD & BATT  
 -WOOD TRIM @ BOARD & BATT  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -WOOD POSTS  
 -DECORATIVE SHUTTERS  
 -BRICK VENEER

NOTE: OPTIONAL GATE AT ENTRY, GARAGE DOOR STYLE IS SUBJECT TO CHANGE PER ATTACHED GARAGE DOOR SHEET.

elevationD -FARMHOUSE

06.09.17

**Brookfield**  
Homes

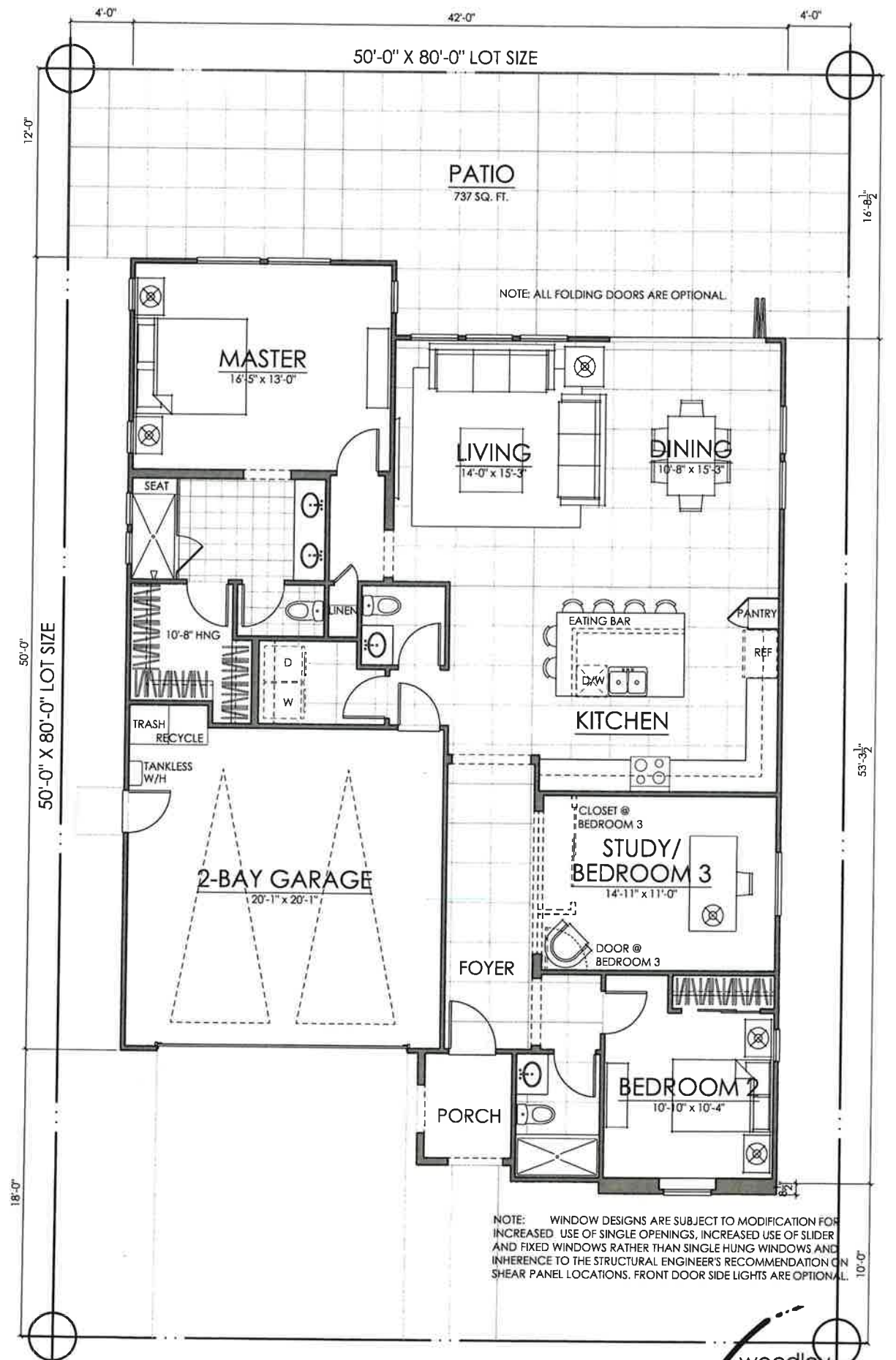
PLAN ONE

**SYCAMORE AT UNIVERSITY DISTRICT | BROOKFIELD HOMES**  
 ROHNERT PARK, CALIFORNIA

**woodley**  
architectural  
group, inc

colorado // 731 southpark dr. suite 8  
 littleton, co. 80120 / 303.683.7231  
 california // 2943 pullman st. suite A  
 santa ana, ca. 92705 / 949.553.8919





FIRST FLOOR  
TOTAL LIVING

1704 SQ. FT.  
1704 SQ. FT.

PLAN TWO | 1704 SQ. FT. | CONCEPTUAL PLAN  
SYCAMORE AT UNIVERSITY DISTRICT | BROOKFIELD HOMES  
ROHNERT PARK, CALIFORNIA

06.09.17

**Brookfield**  
Homes

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
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california // 2943 pullman st. suite A  
santa ana, ca 92705 / 949 553.8919





**MATERIAL NOTES**  
elevationC  
 -CONCRETE 'S' ROOF TILE  
 -STUCCO  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -DECORATIVE SHUTTERS

elevationC-ITALIAN

NOTE: GARAGE DOOR STYLE IS SUBJECT TO CHANGE  
 PER ATTACHED GARAGE DOOR SHEET.



**MATERIAL NOTES**  
elevationD  
 -CONCRETE FLAT ROOF TILE  
 -STUCCO  
 -CEMENTITIOUS BOARD & BATT  
 -WOOD TRIM @ BOARD & BATT  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -WOOD POSTS  
 -DECORATIVE SHUTTERS  
 -BRICK VENEER

elevationD -FARMHOUSE

NOTE: GARAGE DOOR STYLE IS SUBJECT TO CHANGE  
 PER ATTACHED GARAGE DOOR SHEET.

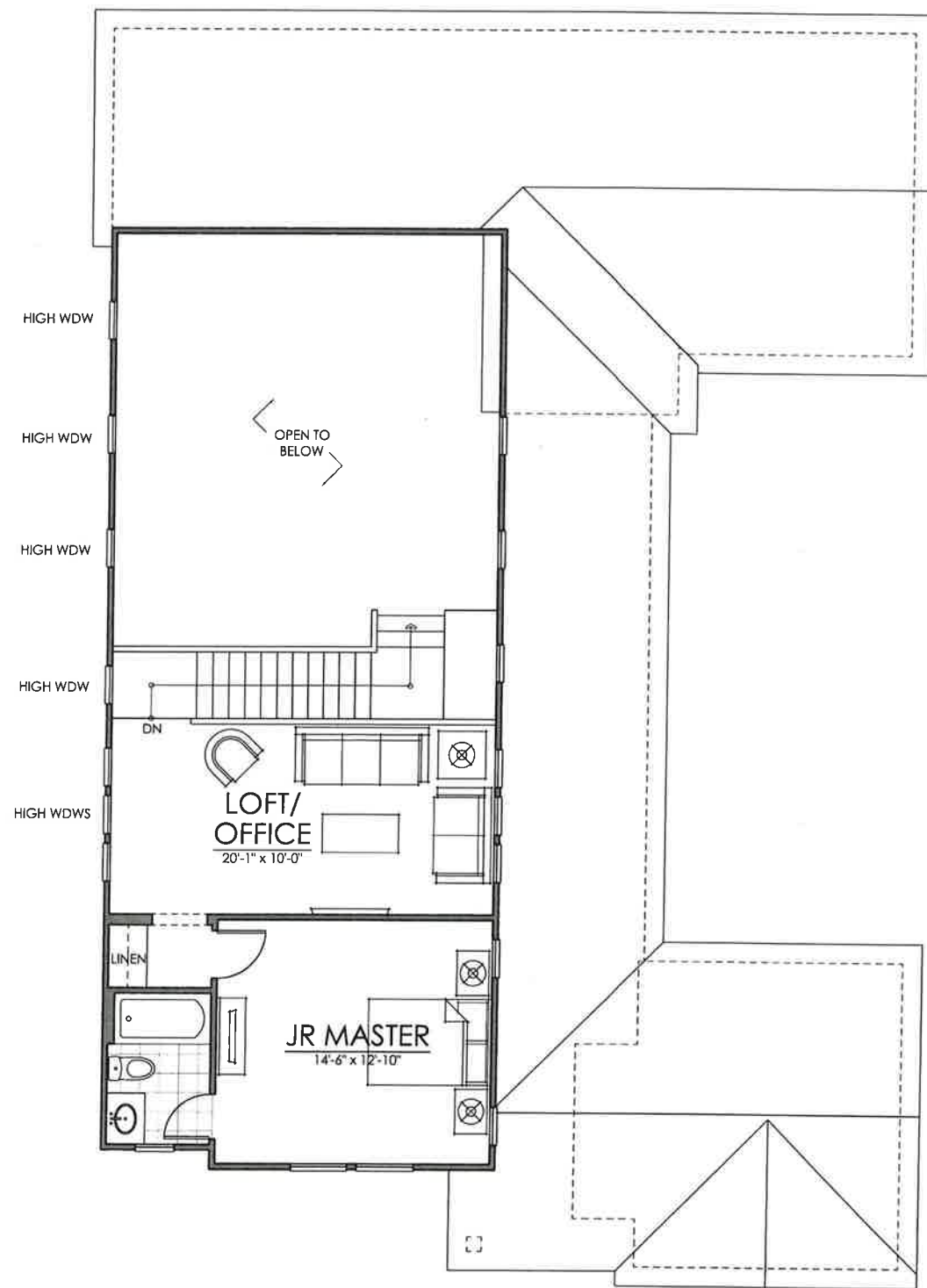
06.09.17

**Brookfield**  
 Homes

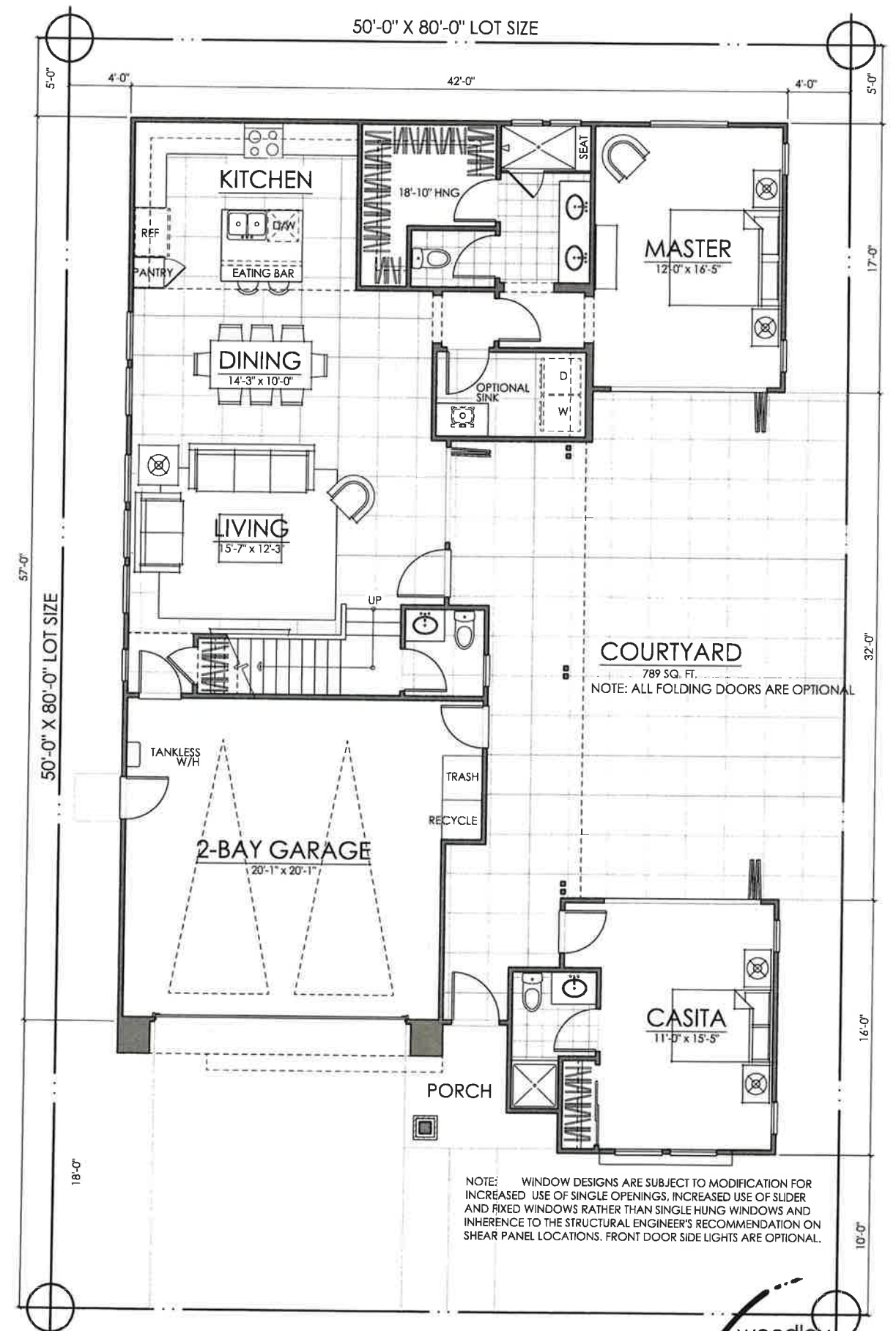
PLAN TWO

**SYCAMORE AT UNIVERSITY DISTRICT | BROOKFIELD HOMES**  
 ROHNERT PARK, CALIFORNIA

**woodley**  
**architectural**  
 group, inc  
 colorado // 731 southpark dr. suite B  
 littleton, co 80120 / 303.683.7231  
 california // 2943 pullman st. suite A  
 santa ana, ca 92705 / 949.553.8919



FIRST FLOOR 1417 SQ. FT.  
 SECOND FLOOR 483 SQ. FT.  
**TOTAL LIVING 1900 SQ. FT.**



NOTE: WINDOW DESIGNS ARE SUBJECT TO MODIFICATION FOR INCREASED USE OF SINGLE OPENINGS, INCREASED USE OF SLIDER AND FIXED WINDOWS RATHER THAN SINGLE HUNG WINDOWS AND INHERENCE TO THE STRUCTURAL ENGINEER'S RECOMMENDATION ON SHEAR PANEL LOCATIONS. FRONT DOOR SIDE LIGHTS ARE OPTIONAL.

06.09.17

**Brookfield**  
Homes

PLAN THREE | 1900 SQ.FT. CONCEPTUAL PLAN  
**SYCAMORE AT UNIVERSITY DISTRICT | BROOKFIELD HOMES**  
 ROHNERT PARK, CALIFORNIA

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 littleton, co 80120 / 303.683.7231  
 california // 2943 pullman st. suite A  
 santa ana, ca 92705 / 949.553.8919





**MATERIAL NOTES**  
**elevationB**  
 -CONCRETE FLAT ROOF TILE  
 -STUCCO  
 -CEMENTITIOUS SIDING AT GABLE ENDS  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -CULTURED STONE VENEER

NOTE: OPTIONAL GATE AT ENTRY, GARAGE DOOR STYLE IS SUBJECT  
 TO CHANGE PER ATTACHED GARAGE DOOR SHEET.

elevationB-CRAFTSMAN



**MATERIAL NOTES**  
**elevationD**  
 -CONCRETE FLAT ROOF TILE  
 -STUCCO  
 -CEMENTITIOUS BOARD & BATT  
 -WOOD TRIM @ BOARD & BATT  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -WOOD POSTS & CORBELS  
 -BRICK VENEER

NOTE: OPTIONAL GATE AT ENTRY, GARAGE DOOR STYLE IS SUBJECT  
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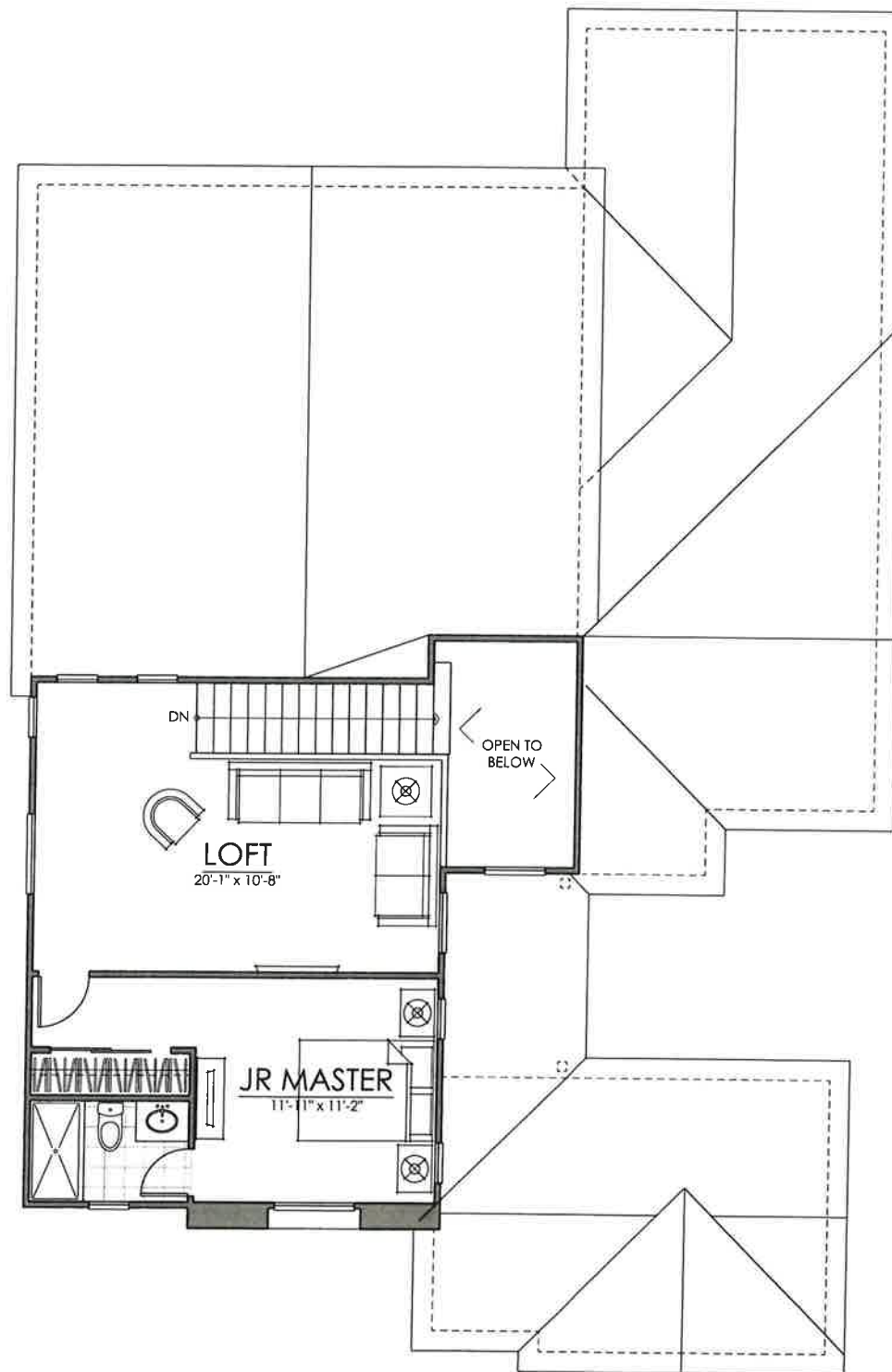
elevationD -FARMHOUSE

06.09.17

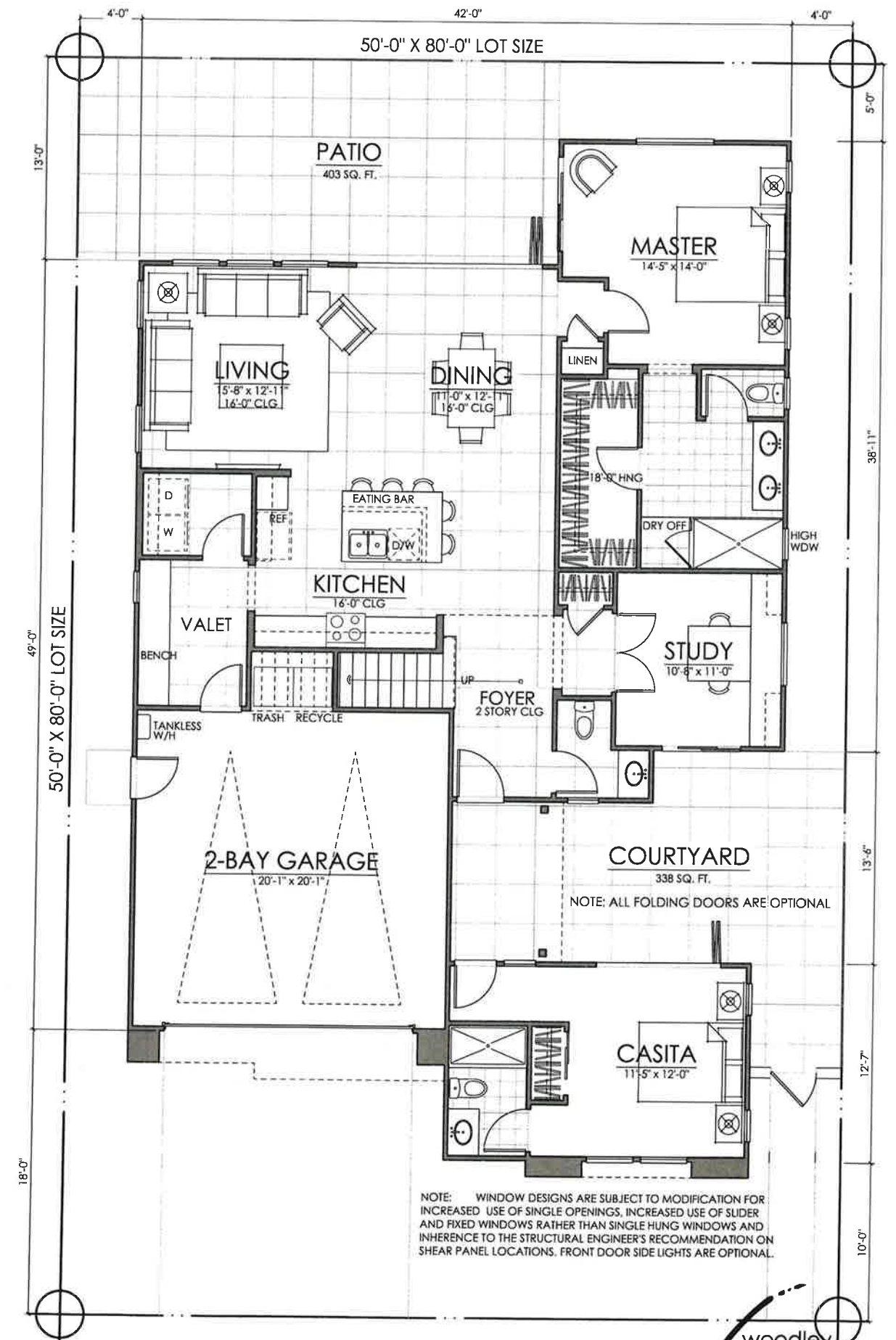
**Brookfield**  
 Homes

PLAN THREE  
**SYCAMORE AT UNIVERSITY DISTRICT | BROOKFIELD HOMES**  
 ROHNERT PARK, CALIFORNIA

**woodley**  
**architectural**  
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 california // 2943 pullman st. suite A  
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FIRST FLOOR 1643 SQ. FT.  
SECOND FLOOR 513 SQ. FT.  
**TOTAL LIVING 2156 SQ. FT.**



06.09.17

**Brookfield**  
Homes

PLAN FOUR | 2156 SQ. FT. CONCEPTUAL PLAN  
**SYCAMORE AT UNIVERSITY DISTRICT | BROOKFIELD HOMES**  
ROHNERT PARK, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
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**MATERIAL NOTES**  
**elevationB**  
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 -STUCCO  
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 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -CULTURED STONE VENEER

elevationB-CRAFTSMAN

NOTE: OPTIONAL GATE AT ENTRY, GARAGE DOOR STYLE IS SUBJECT TO CHANGE PER ATTACHED GARAGE DOOR SHEET.



**MATERIAL NOTES**  
**elevationC**  
 -CONCRETE 'S' ROOF TILE  
 -STUCCO  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -DECORATIVE SHUTTERS

elevationC -ITALIAN

NOTE: OPTIONAL GATE AT ENTRY, GARAGE DOOR STYLE IS SUBJECT TO CHANGE PER ATTACHED GARAGE DOOR SHEET.

06.09.17

PLAN FOUR

**Brookfield**  
Homes

**SYCAMORE AT UNIVERSITY DISTRICT | BROOKFIELD HOMES**  
 ROHNERT PARK, CALIFORNIA

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Proposed

# DEVELOPMENT AREA PLAN SYCAMORE

at

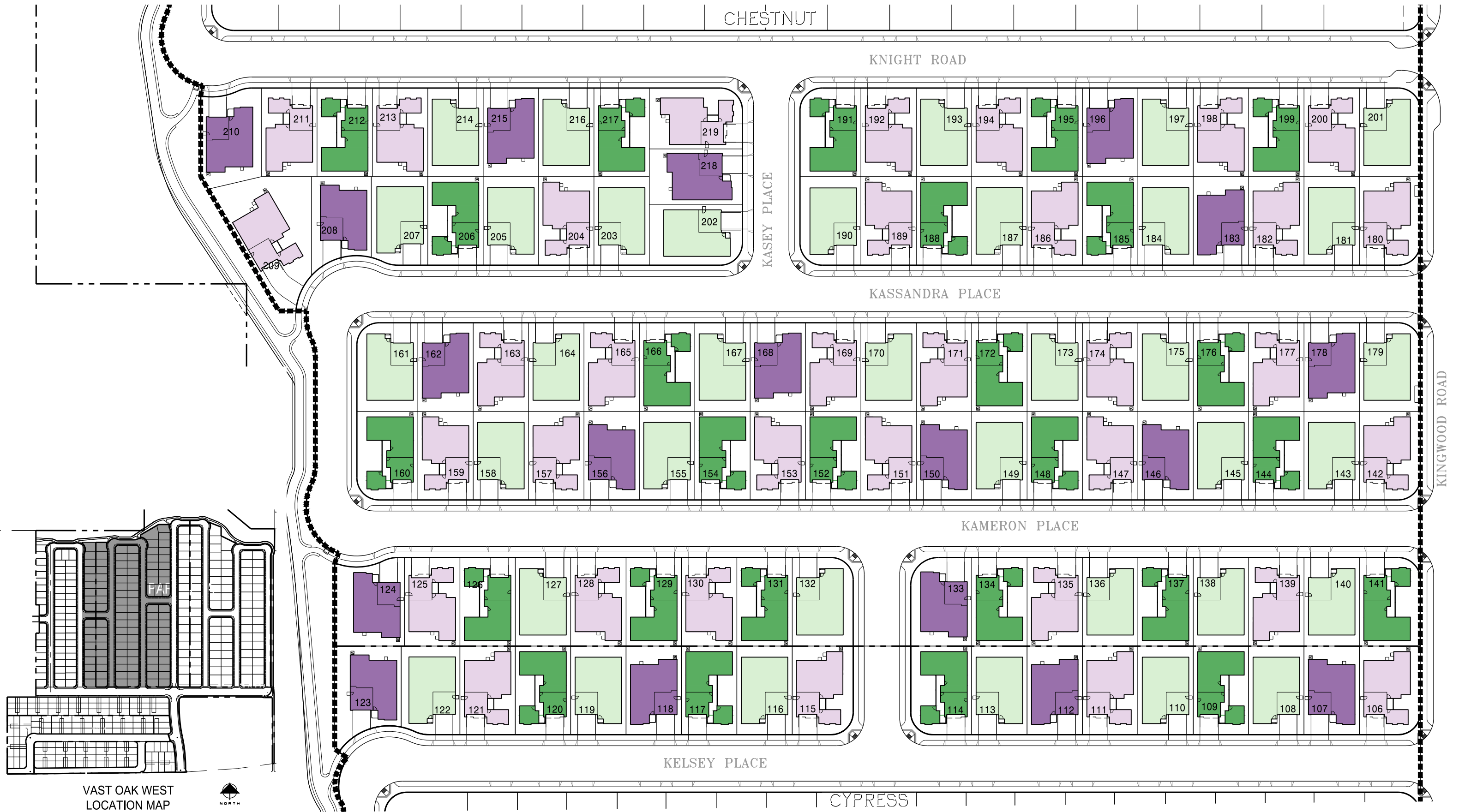
## VAST OAK EAST

2nd Vast Oak Land Development Phase  
Rohnert Park, California

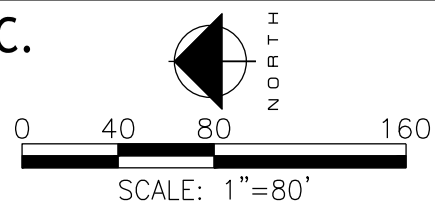
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SIGNATURE HOMES, INC.

APRIL 16, 2018



SIGNATURE HOMES, INC.



LEGEND:	
	DAP BOUNDARY
	PLAN 1 (18)
	PLAN 2 (36)
	PLAN 3 (26)
	PLAN 4 (34)

- NOTE:
- A. SEE SHEET S.6 FOR NEIGHBORHOOD MINIMUM LOT SETBACKS.
  - B. PROPOSED LAND USE: LOW DENSITY RESIDENTIAL
  - C. SEE TENTATIVE MAP FOR PARCEL DESIGNATION, LOT DIMENSIONS, UTILITY LOCATIONS AND GRADING PLAN.
  - D. PLOTTING SHOWN IS PRELIMINARY. FINAL PLOTTING TO BE DETERMINED DURING FINAL DESIGN.

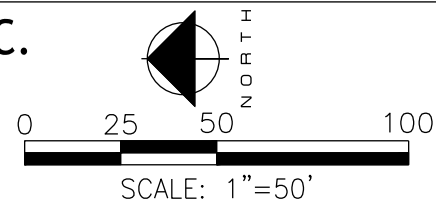
**NEIGHBORHOOD PLAN IN D.A.P.**  
**SYCAMORE (50'x80') at UNIVERSITY DISTRICT**  
 Vast Oak East  
 Rohnert Park, California

**S.1**

APRIL 2018



SIGNATURE HOMES, INC.



LEGEND:	
	DAP BOUNDARY
	PLAN 1 (32)
	PLAN 2 (24)
	PLAN 3 (26)
	PLAN 4 (32)

**NOTE:**

- A. SEE SHEET S.6 FOR NEIGHBORHOOD MINIMUM LOT SETBACKS.
- B. PROPOSED LAND USE: LOW DENSITY RESIDENTIAL
- C. SEE TENTATIVE MAP FOR PARCEL DESIGNATION, LOT DIMENSIONS, UTILITY LOCATIONS AND GRADING PLAN.
- D. PLOTTING SHOWN IS PRELIMINARY. FINAL PLOTTING TO BE DETERMINED DURING FINAL DESIGN.

**DIMENSIONED SITE PLAN**

**SYCAMORE (50'x80') at UNIVERSITY DISTRICT**

Vast Oak East

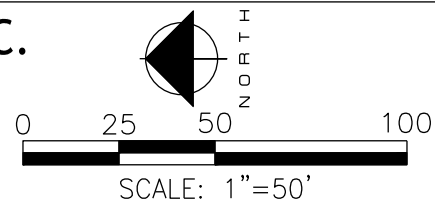
Rohnert Park, California

**S.2**

APRIL 2018



SIGNATURE HOMES, INC.



**LEGEND:**

	DAP BOUNDARY
	PLAN 1 (32)
	PLAN 2 (24)
	PLAN 3 (26)
	PLAN 4 (32)

**NOTE:**

- SEE SHEET S.6 FOR NEIGHBORHOOD MINIMUM LOT SETBACKS.
- PROPOSED LAND USE: LOW DENSITY RESIDENTIAL
- SEE TENTATIVE MAP FOR PARCEL DESIGNATION, LOT DIMENSIONS, UTILITY LOCATIONS AND GRADING PLAN.
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**DIMENSIONED SITE PLAN**

**SYCAMORE (50'x80') at UNIVERSITY DISTRICT**

Vast Oak East

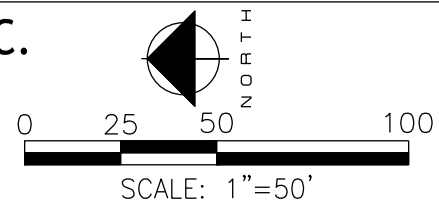
Rohnert Park, California

**S.3**

APRIL 2018



SIGNATURE HOMES, INC.



**DIMENSIONED SITE PLAN**

**SYCAMORE (50'x80') at UNIVERSITY DISTRICT**

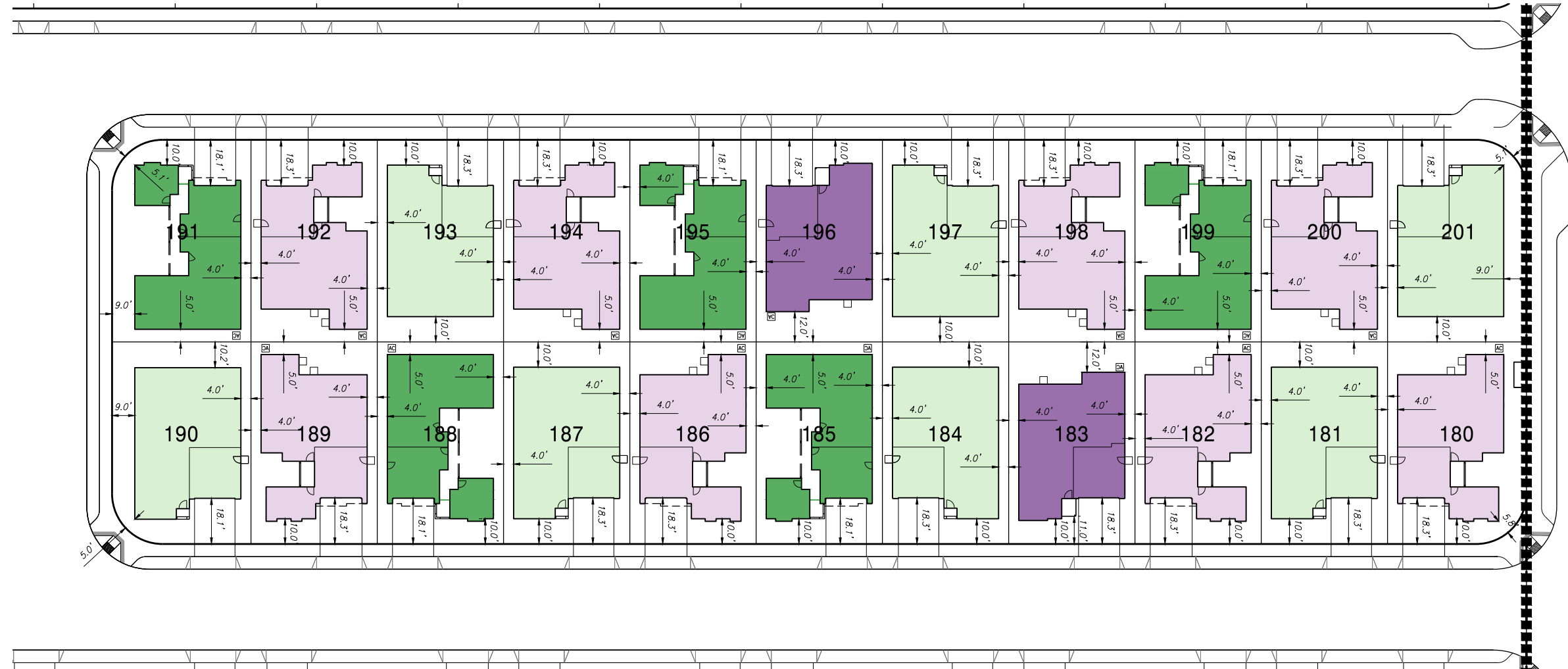
Vast Oak East

Rohnert Park, California

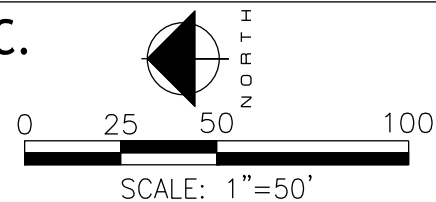
**S.4**

APRIL 2018





SIGNATURE HOMES, INC.



**LEGEND:**

	DAP BOUNDARY
	PLAN 1 (32)
	PLAN 2 (24)
	PLAN 3 (26)
	PLAN 4 (32)

**NOTE:**

- SEE SHEET S.6 FOR NEIGHBORHOOD MINIMUM LOT SETBACKS.
- PROPOSED LAND USE: LOW DENSITY RESIDENTIAL
- SEE TENTATIVE MAP FOR PARCEL DESIGNATION, LOT DIMENSIONS, UTILITY LOCATIONS AND GRADING PLAN.
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**DIMENSIONED SITE PLAN**

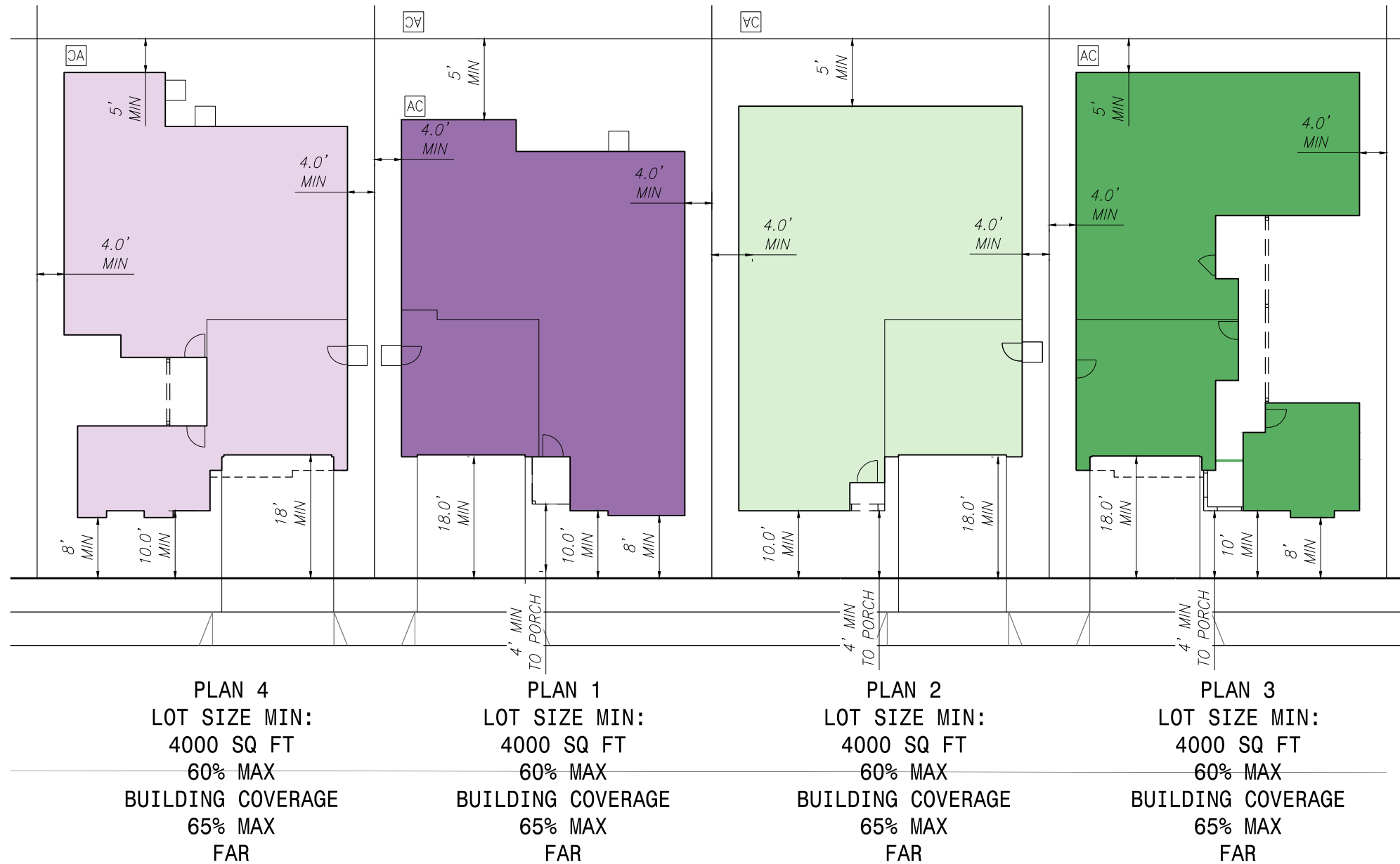
**SYCAMORE (50'x80') at UNIVERSITY DISTRICT**

Vast Oak East

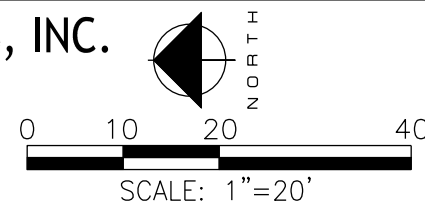
Rohnert Park, California

**S.5**

APRIL 2018

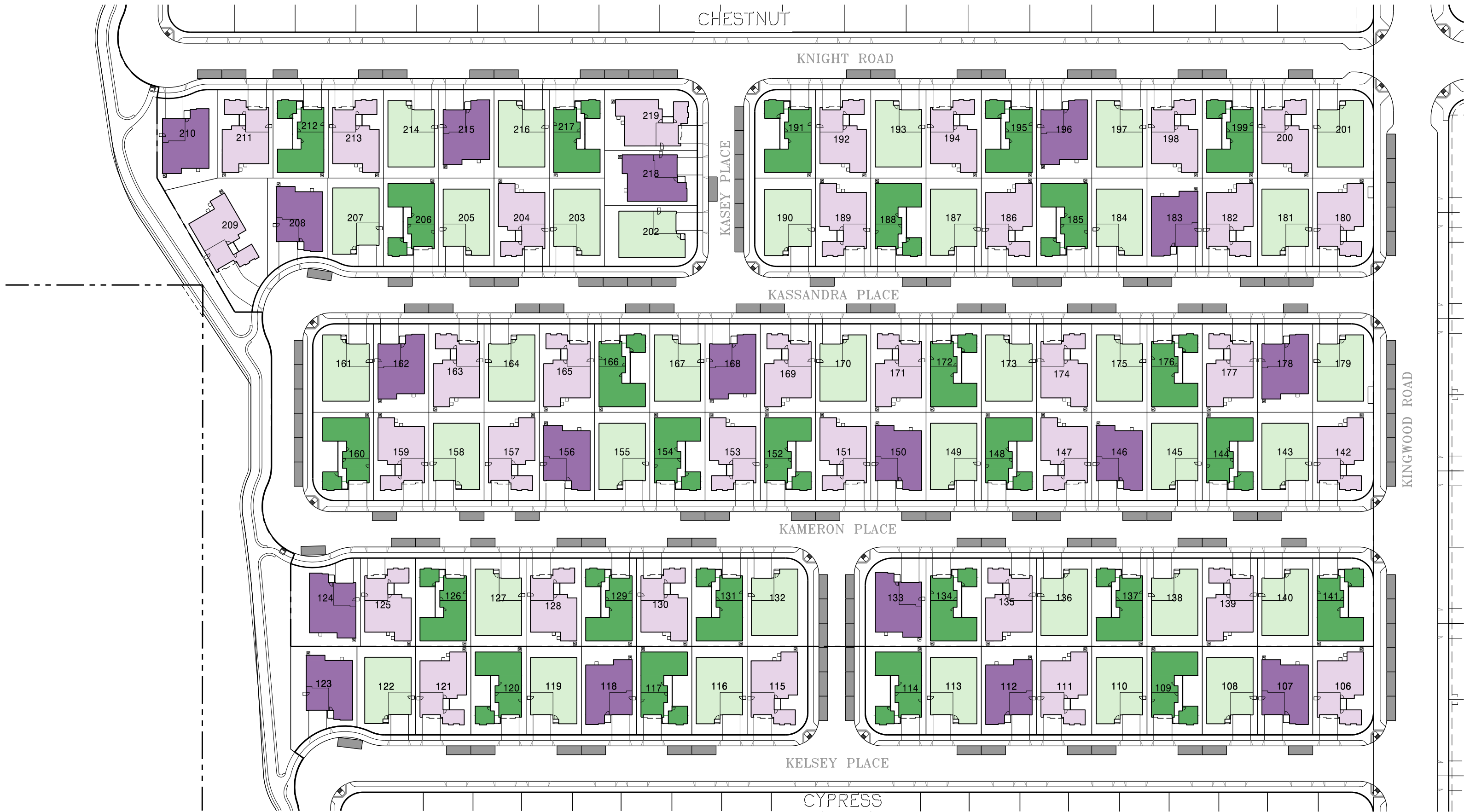


SIGNATURE HOMES, INC.

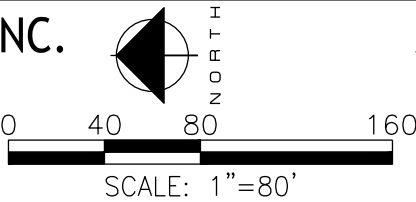


NOTES:  
 A. SEE LANDSCAPE PLANS FOR DETAILED LOCATIONS OF DRIVEWAYS, PATHWAYS AND LANDSCAPING AND FENCING.  
 B. SEE ARCHITECTURE PLANS FOR DETAILED FLOOR PLANS AND ELEVATIONS.  
 C. REFER TO SPECIFIC PLAN DESIGN GUIDELINES FOR KNUCKLE AND CORNER LOT SETBACK REDUCTION  
 (CITY COUNCIL APPROVED FEB 14, 2017)  
 D. LOT WIDTHS SHOWN ARE TYPICAL TO LOTS WITH A 80' LENGTH ONLY. OTHER LOT WIDTH DIMENSIONS MAY CHANGE WITH LOT  
 LENGTHS TO ACHIEVE THE OVERALL LOT WIDTH AREA SQUARE FOOTAGE.

**MINIMUM SETBACK EXHIBIT**  
**S.6**  
 SYCAMORE (50'x80') at UNIVERSITY DISTRICT  
 Vast Oak East  
 Rohnert Park, California  
 APRIL 2018



SIGNATURE HOMES, INC.



LEGEND:

PARKING SPACE (8' x 22')

PARKING PROVIDED FOR 50x80 PRODUCT:

RESIDENTIAL PARKING (IN GARAGE):

RESIDENTIAL VISITOR PARKING (IN DRIVEWAY):

ON STREET VISITOR PARKING:

TOTAL PARKING:

PARKING PLAN

228 SPACES

228 SPACES

141 SPACES

597 SPACES

SYCAMORE (50'x80') at UNIVERSITY DISTRICT

Vast Oak East

Rohnert Park, California

S.7

APRIL 2018



SIGNATURE HOMES, INC.

**LEGEND**

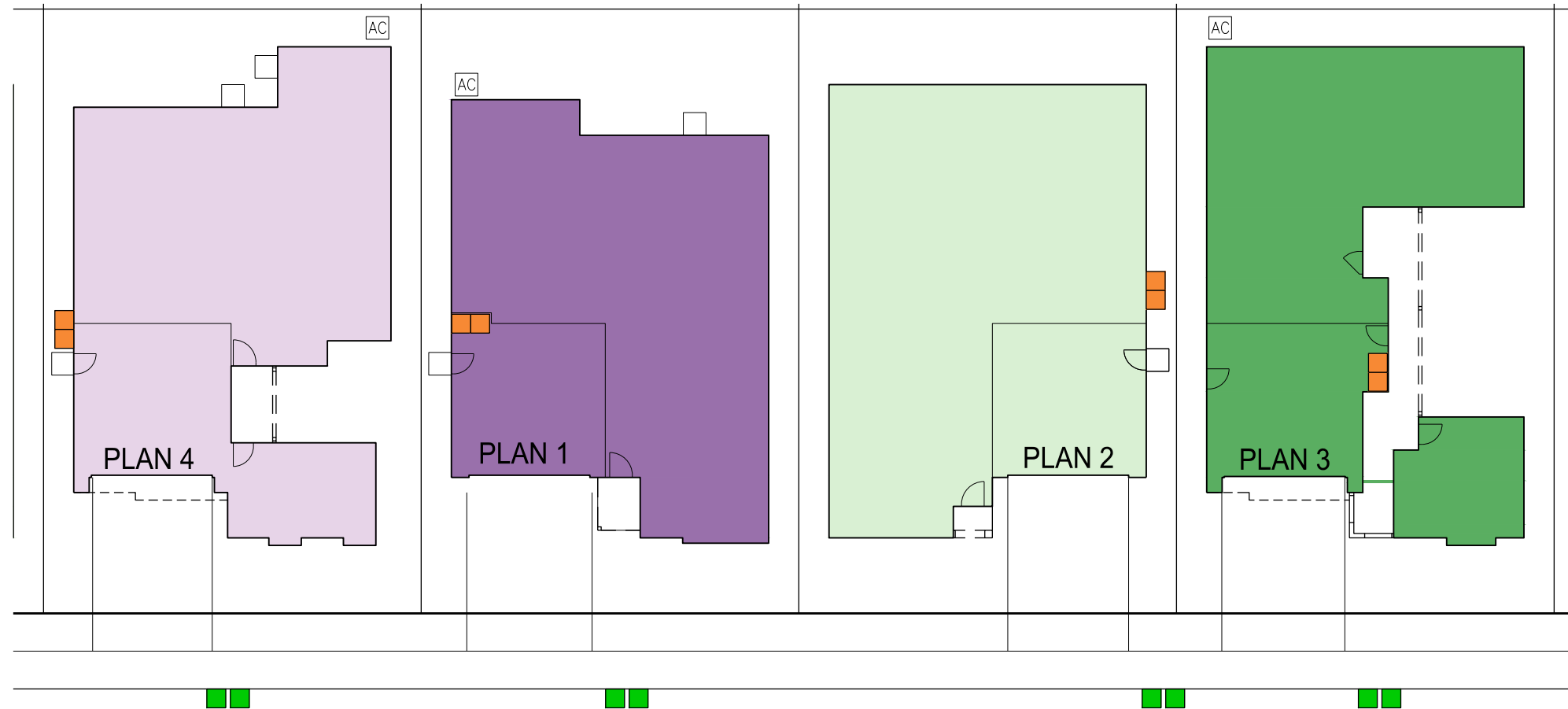
■ TRASH AND RECYCLING BIN LOCATIONS WITHIN PUBLIC STREETS FOR PICKUP

**GARBAGE PICKUP PLAN**

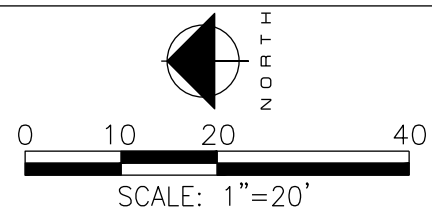
SYCAMORE (50'x80') at UNIVERSITY DISTRICT  
Vast Oak East  
Rohnert Park, California

**S.8.1**

APRIL 2018



SIGNATURE HOMES, INC.



#### LEGEND

- ON-LOT TRASH & RECYCLING BIN STORAGE LOCATION INSIDE/OUTSIDE GARAGE
- TRASH AND RECYCLING BIN LOCATIONS WITHIN PUBLIC STREETS FOR PICKUP

**GARBAGE STORAGE LOCATIONS S.8.2**  
 SYCAMORE (50'x80') at UNIVERSITY DISTRICT  
 Vast Oak East  
 Rohnert Park, California  
 APRIL 2018



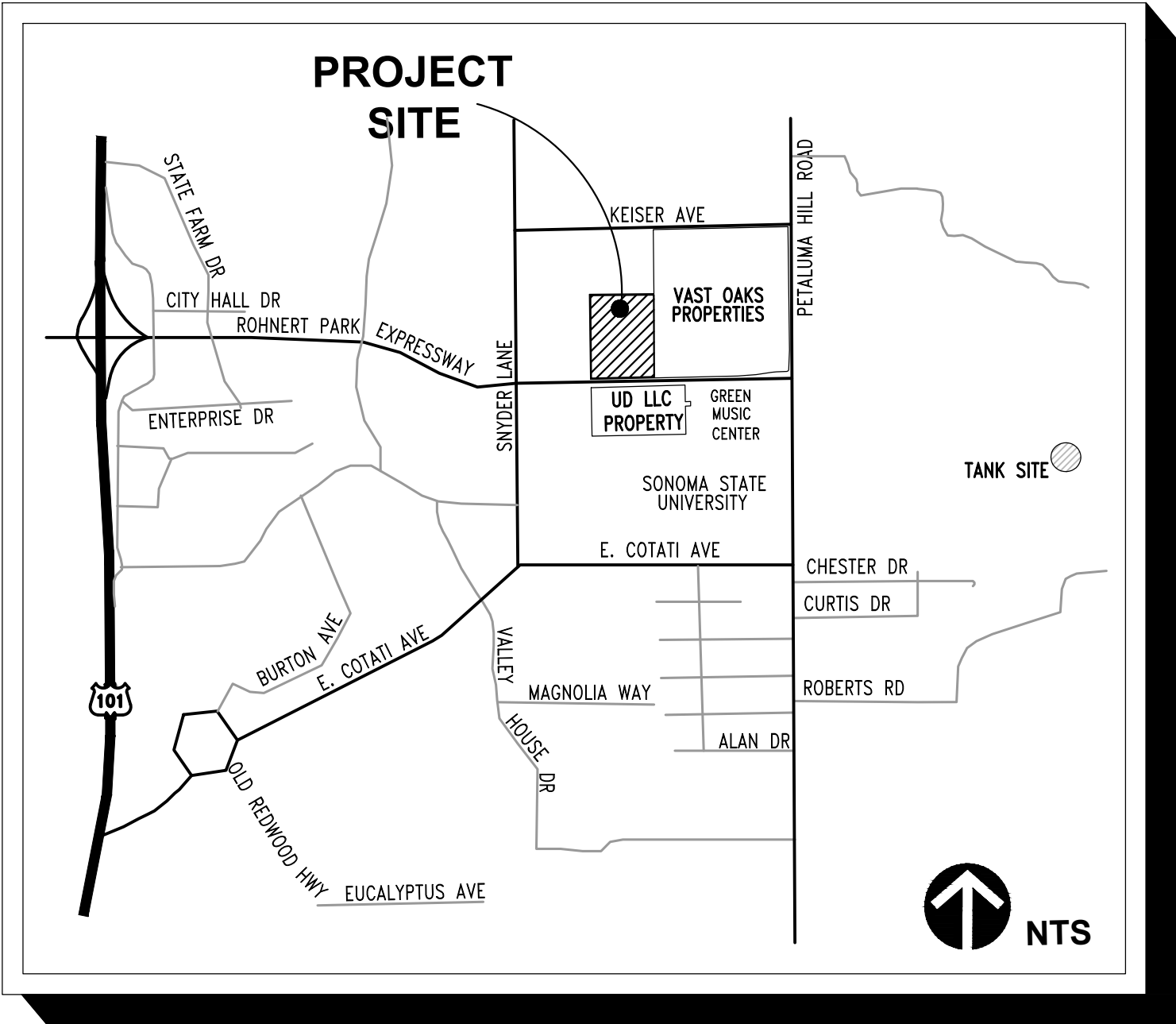
LANDSCAPE PLANS FOR:

# SYCAMORE FINAL MAP 2C AT UNIVERSITY DISTRICT (DAP #2)

2nd LAND DEVELOPMENT FINAL MAP -  
VAST OAK EAST AT UNIVERSITY DISTRICT

ROHNERT PARK, CALIFORNIA  
APRIL 13, 2018

VICINITY MAP



SITE MAP

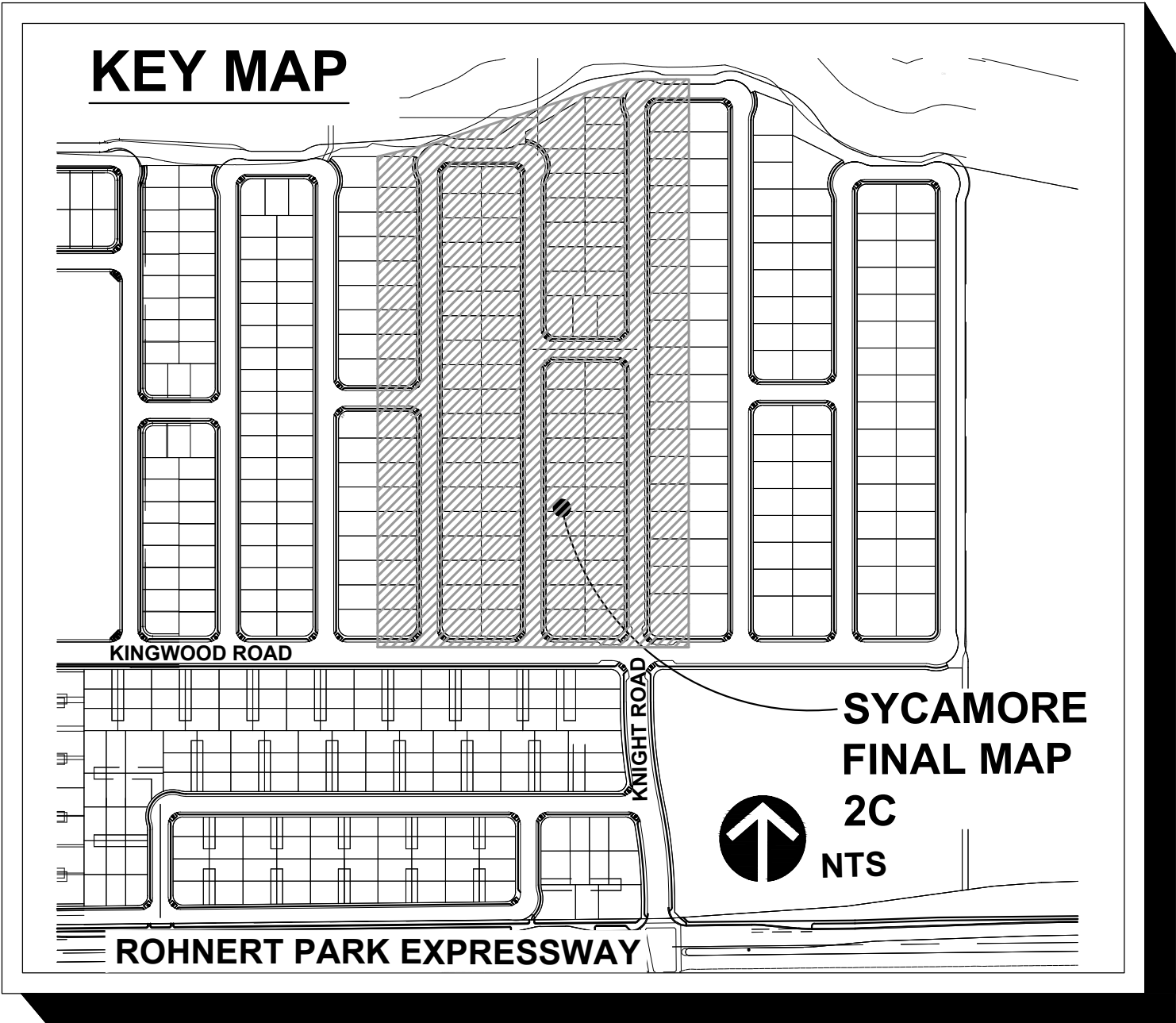






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FRONT & SIDE YARD 55 X 80 LOT TYPICAL LANDSCAPE PLANS	L-1.4
LANDSCAPE DETAILS	L-1.5

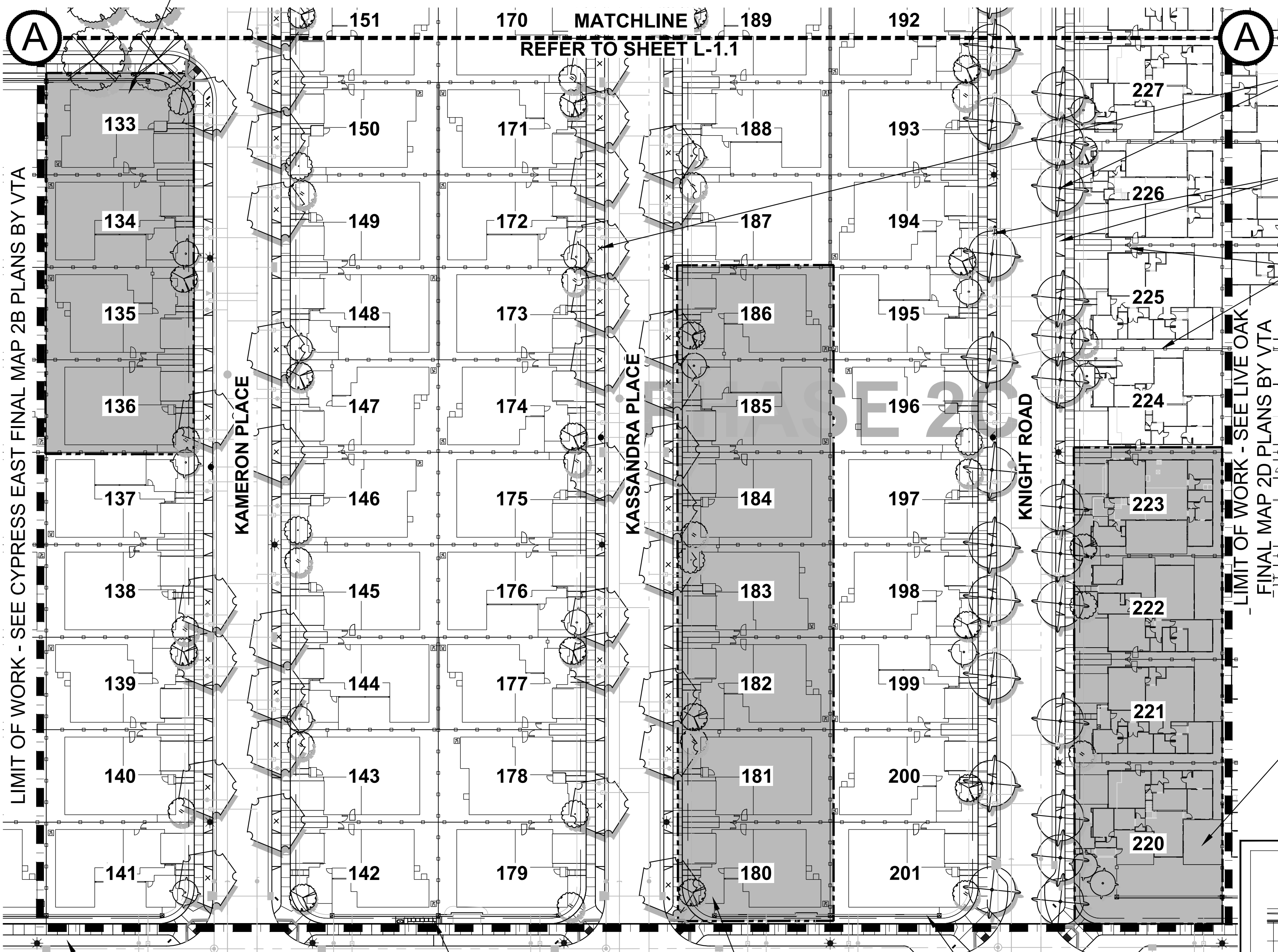
FOR OVERALL PARKWAY LANDSCAPE, PROJECT AND ACOUSTIC WALLS/PILASTERS, FENCES, AND MAILBOX LOCATIONS REFER TO VAST OAK EAST DAP 1.

		Vast Oak East at University District							
	Development Area Plan 2	SYCAMORE FINAL MAP 2C	Landscape Cover Sheet		Scale: Not Applicable		APRIL 13, 2018	Project No. 09717	
		Rohnert Park, California							





FRONT & SIDE YARD TYPICAL LANDSCAPE, 50 X 80 LOTS -  
SEE ENLARGED PLAN, SHEET L-1.3



NORTH-SOUTH THEMED  
STREET TREE (TYP.) SEE  
DAP 1 PREPARED BY VTA

FOR PARKWAY PLANTING,  
REFER TO DAP 1 (TYP.)  
PREPARED BY VTA

GOOD NEIGHBOR FENCE &  
GATE(TYP.) - SEE DETAIL B &  
C, SHEET L-1.5

FRONT & SIDE YARD TYPICAL  
LANDSCAPE, 55 X 80 LOTS - SEE  
ENLARGED PLAN, SHEET L-1.4

## PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	WATER USE	MIN. SIZE
TREES				
STREET TREES				
	ACER RUBRUM	RED MAPLE	MODERATE	24" BOX
	LIRIODENDRON TULIPIFERA	TULIP TREE	MODERATE	24" BOX
	PISTACIA CHINENSIS	CHINESE PISTACHE	LOW	24" BOX
SECONDARY FRONT YARD TREES				
	ARBUTUS 'MARINA'	MARINA STRAWBERRY TREE	LOW	15 GAL
	CERCIS OCCIDENTALIS (STANDARD)	WESTERN REDBUD	VERY LOW	15 GAL
	MALUS 'PRAIRIFIRE'	FLOWERING CRABAPPLE	MODERATE	15 GAL
	PRUNUS C. 'KRAUTER VESUVIUS'	PURPLE LEAF PLUM	LOW	15 GAL
FRONT & SIDE YARD PLANTING				
LARGE SHRUBS				
	DODONAEA VISCOSA	PURPLE HOPSEED BUSH	LOW	5 GAL
	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	MODERATE	5 GAL
	PHORMIUM 'GUARDSMAN'	NEW ZEALAND FLAX	LOW	5 GAL
	PRUNUS CAROLINIANA	CAROLINA CHERRY	LOW	5 GAL
	RHAPHIOLEPIS L. 'CLARA'	CLARA INDIAN HAWTHORN	LOW	5 GAL
	XYLOSMA CONGESTUM	SHINY XYLOSMA	LOW	5 GAL
MEDIUM SHRUBS				
	CISTUS SPP.	ROCKROSE	LOW	5 GAL
	COLEONEMA SPP.	BREATH OF HEAVEN	MODERATE	5 GAL
	ESCALONIA FRADESII	FRADESI ESCALONIA	MODERATE	5 GAL
	LOROPETALUM 'RAZZLEBERRY'	FRINGE FLOWER	LOW	5 GAL
	NANDINA DOMESTICA	HEAVENLY BAMBOO	LOW	5 GAL
	PHORMIUM SPP.	NEW ZEALAND FLAX	LOW	5 GAL
	PITTOSPORUM SPP.	TOBIRA	LOW	2 GAL
	ROSA SPP.	ROSE	MODERATE	5 GAL
	SALVIA SPP.	ORNAMENTAL SAGE	MODERATE	5 GAL
	VIBURNUM SPP.	VIBURNUM	MODERATE	5 GAL
	WESTRIGIA FRUTICOSA	COAST ROSEMARY	LOW	5 GAL
SMALL SHRUBS				
	ANIGOZANTHOS SPP.	KANGAROO PAW	LOW	1 GAL
	DIETES BICOLOR	FORTNIGHT LILY	LOW	1 GAL
	HEMEROCALLIS SPP.	EVERGREEN DAYLILY	MODERATE	1 GAL
	PENSTEMON SPP.	GARDEN PENSTEMON	MODERATE	1 GAL
	PHORMIUM SPP.	NEW ZEALAND FLAX	LOW	1 GAL
	ROSA 'RED FLOWER CARPET'	FLOWER CARPET ROSE	MODERATE	1 GAL
	SOLLYA HETEROPHYLLA	AUSTRALIAN BLUEBELL	LOW	1 GAL
GRASSES				
	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	LOW	1 GAL
	FESTUCA MAIREI	ATLAS FESCUE	LOW	1 GAL
	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	LOW	1 GAL
	LEYMUS 'CANYON PRINCE'	BLUE WILD RYE	VERY LOW	1 GAL
	MUHLENBERGIA RIGENS	DEER GRASS	LOW	1 GAL
	PENNISETUM ORIENTALE	FOUNTAIN GRASS	MODERATE	1 GAL
	STIPA ARUNDINACEA	PHEASANT GRASS	MODERATE	1 GAL
GROUNDCOVERS				
	FRAGARIA CHILOENSIS	CREeping STRAWBERRY	MODERATE	1 GAL
	HELIANTHEMUM NUMMULARIUM	SUNROSE	LOW	1 GAL
	MYOPORUM PARVIFOLIUM	PROSTRATE MYOPORUM	LOW	1 GAL
	ROSMARINUS 'HUNTINGTON CARPET'	DWARF ROSEMARY	LOW	1 GAL
	SCAEVOLA 'MAUVE CLUSTERS'	PURPLE SCAEVOLA	MODERATE	1 GAL
VINES				
	FICUS PUMILA	CREeping FIG	MODERATE	5 GAL
	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	MODERATE	5 GAL

PLANT LIST CONSISTENT WITH APPROVED  
PLANTING VAST OAK WEST.

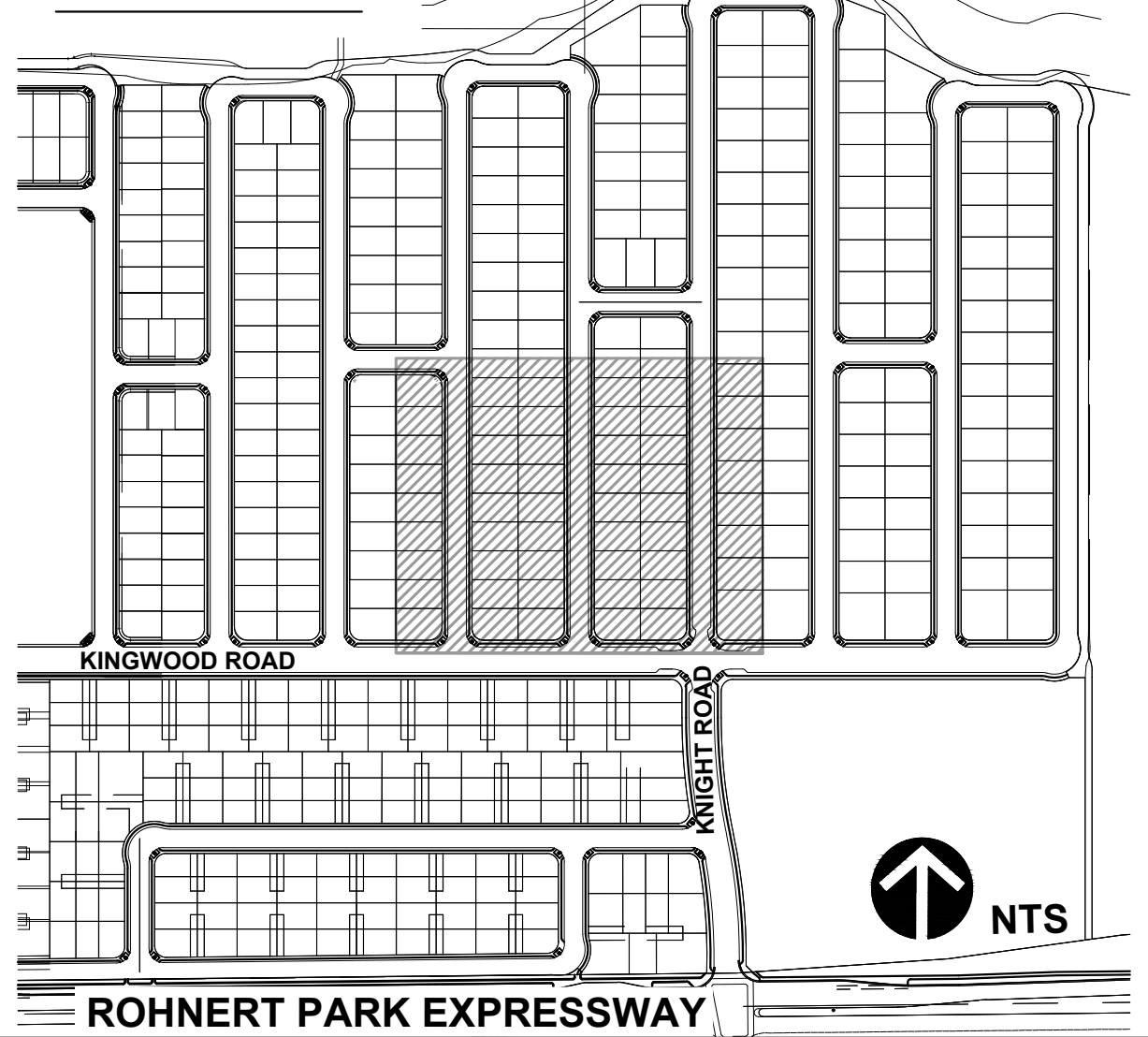
## IRRIGATION DESIGN

- PARKWAY STRIP LANDSCAPING SHALL UTILIZE RECYCLED WATER FROM A COMMON HOA SYSTEM.
- FRONT, SIDE AND REAR YARD LANDSCAPING SHALL UTILIZE POTABLE WATER FOR IRRIGATION AS PART OF THE HOMEOWNER'S IRRIGATION SYSTEM.

## PLANTING NOTES

- THE PLANTING DESIGN FOR THE SITE IS DROUGHT TOLERANT AND UTILIZES NATIVE AND ADAPTED ORNAMENTAL PLANTING.
- ALL SHRUBS AND GROUNDCOVER MATERIAL SELECTED HAS A WUCOLS WATER USE RATING OF LOW OR VERY LOW.
- PROPOSED TREE CANOPIES ARE SHOWN AT 85% MATURE GROWTH DIAMETER IN ORDER TO ENSURE THERE IS SUFFICIENT ROOM FOR TREE GROWTH AND HEALTH.

## KEY MAP



## TREE NOTE

- THE LOCATION AND QUANTITY OF TREES IS SUBJECT TO CHANGE BASED ON UTILITY COMPOSITION.
- PROVIDE 3' CLEAR AROUND ALL HYDRANTS PER CALIFORNIA FIRE CODE.

SIGNATURE  
HOMES

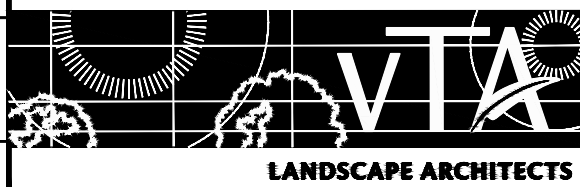
Development Area Plan 2

Vast Oak East at University District  
**SYCAMORE FINAL MAP 2C**  
Rohnert Park, California

Landscape Master Plan

vanderToolen • Associates

www.vanderToolen.com



Napa  
855 Bordeaux  
Way, Suite 240  
Napa, CA  
94558  
tel: 707.224.2299  
fax: 707.224.6821

Walnut Creek  
700 Ygnacio Valley  
Rd., Suite 100  
Walnut Creek, CA  
94596  
tel: 925.274.1305

West Sacramento  
2101 Spence Blvd.,  
Suite 115  
W. Sacramento,  
CA 95691  
tel: 916.244.3000

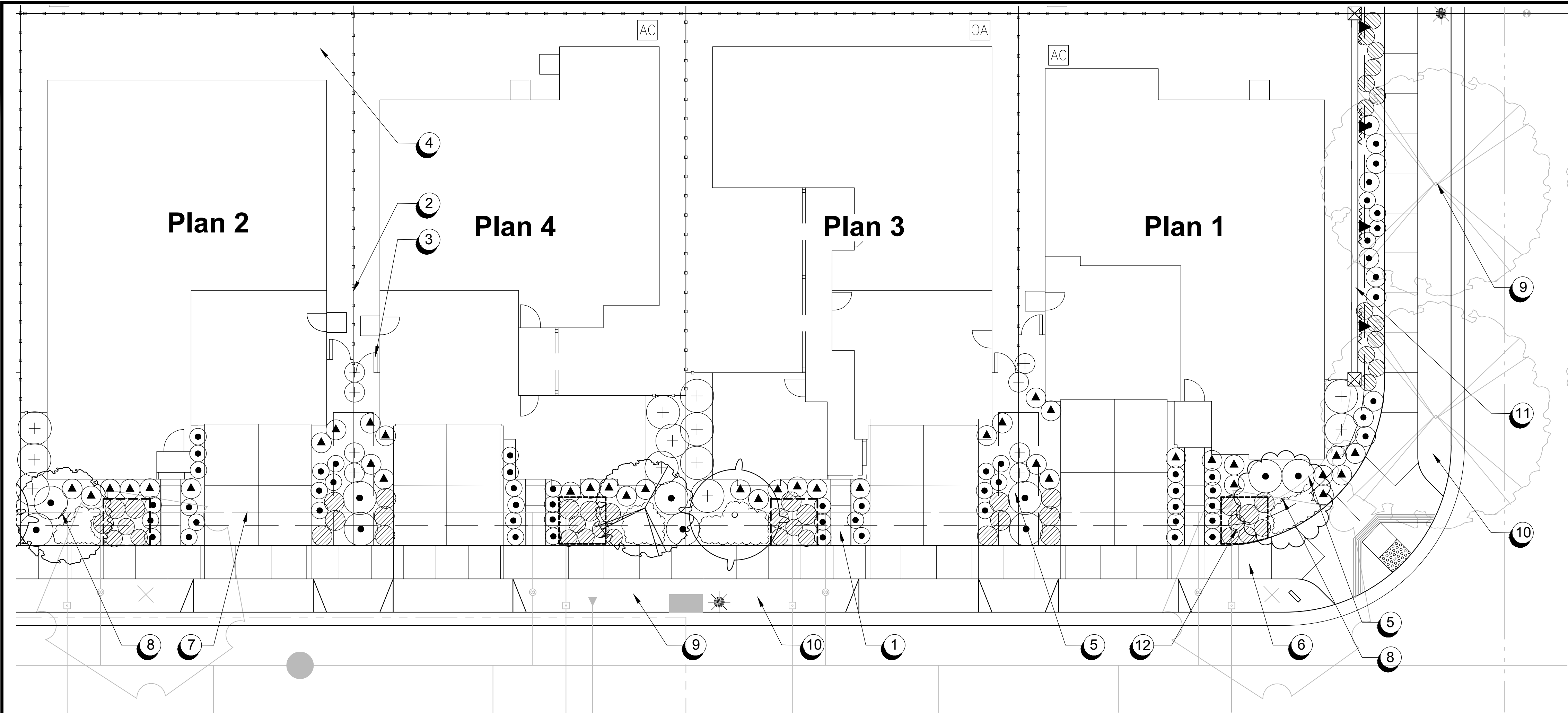
0' 25' 50' 100' 200'

Scale: 1" = 50'-0"

APRIL 13, 2018

NORTH

Project No. 09717



INLINE & CORNER 50 X 80 LOT FRONT & SIDE YARD TYPICAL LANDSCAPE

IRRIGATION NOTES

- 1. THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE GOVERNOR'S WATER CONSERVATION MANDATE, WELO, AND ALL CURRENT LOCAL WATER DISTRICT REGULATIONS.
- 2. THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TIMING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES.
- 3. THE IRRIGATION SYSTEM WILL CONSIST OF LOW VOLUME, LOW FLOW BUBBLERS FOR TREES, AND POINT SOURCE DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVERS.
- 4. PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE. THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPO-TRANSPIRATION RATES.
- 5. ALL AB1881 DOCUMENTATION INCLUDING IRRIGATION PLANS, WATER USE CALCULATIONS AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.

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DESIGN CALLOUTS

- 1 PRIVATE ENTRY CONCRETE WALK - SEE DETAIL A, SHEET L-1.5
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PLANT PALETTE

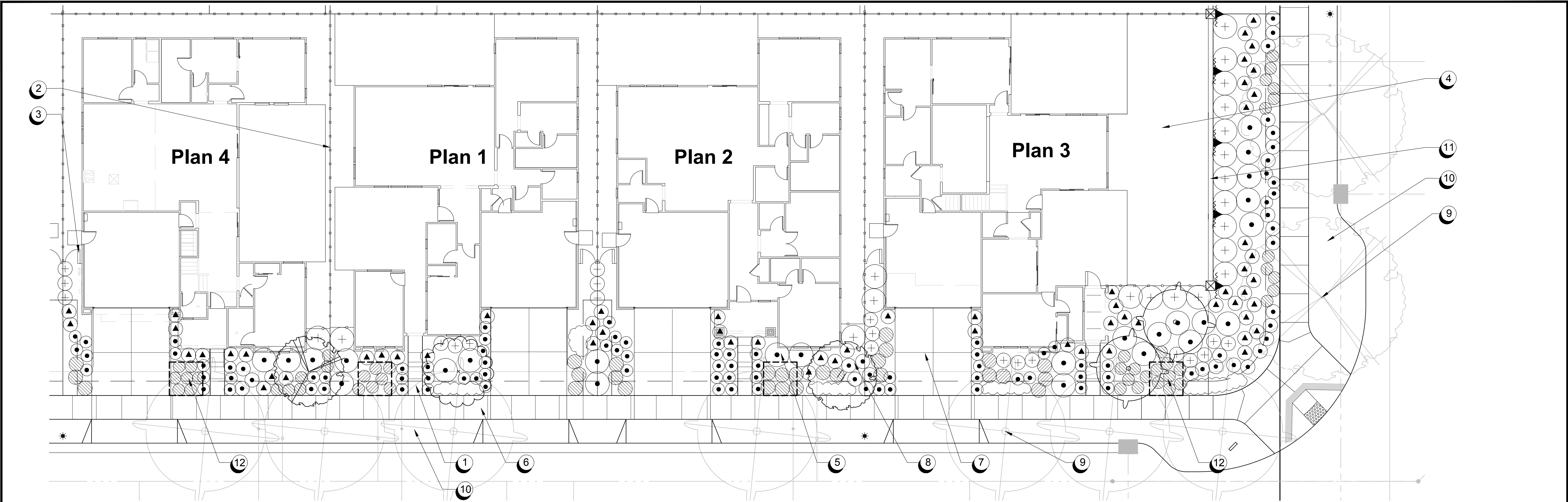
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	BOSTON IVY	MODERATE	MODERATE	5 GAL

PLANT LIST CONSISTENT WITH APPROVED PLANTING VAST OAK WEST.

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INLINE & CORNER 55 X 80 LOT FRONT & SIDE YARD TYPICAL LANDSCAPE

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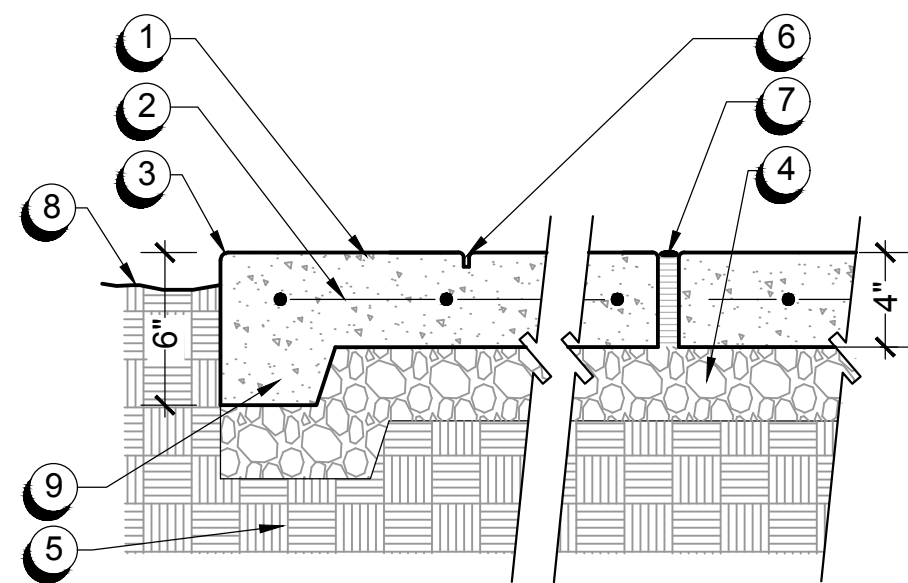
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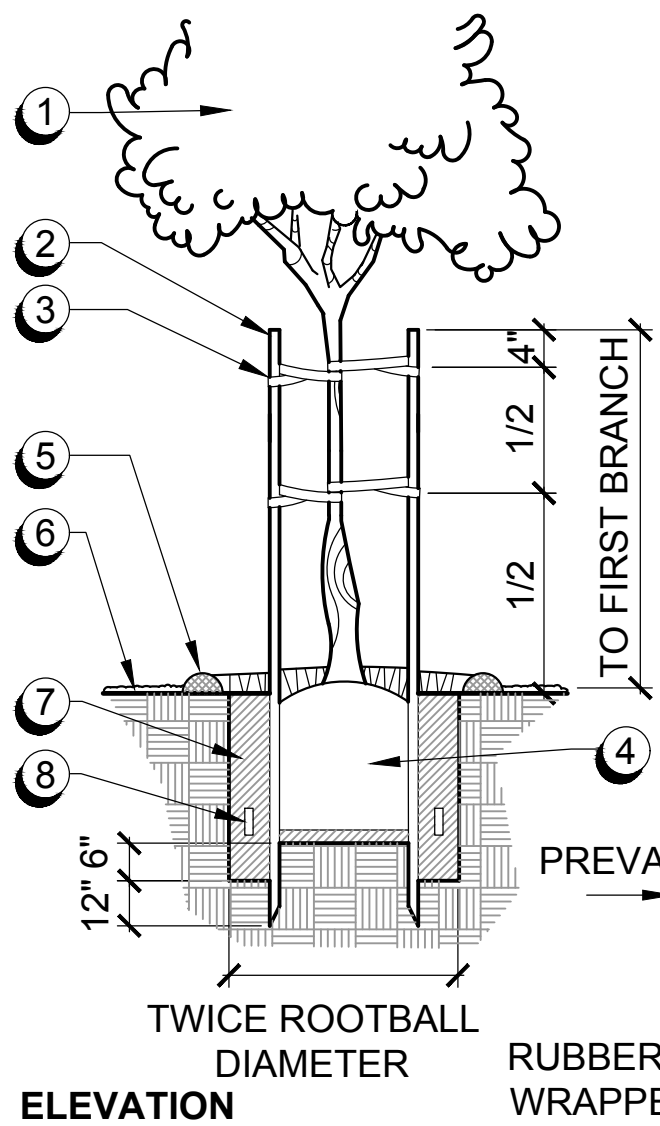
REFER TO SHEET L-1.3 FOR PLANT PALETTE.



- 1 CONCRETE PAVING.
- 2 REINFORCING PER SOIL'S REPORT RECOMMENDATION.
- 3 1/2" TOOLED RADIUS.
- 4 CLASS II AGGREGATE BASE, COMPACTION, & THICKNESS PER SOIL'S REPORT RECOMMENDATION.
- 5 COMPACTED SUBGRADE OR ENGINEERED FILL.
- 6 1/4" WIDE X 3/4" DEEP TOOLED CONTROL JOINT (SEE PLANS).
- 7 3/8" WIDE FIBER FILLED EXPANSION JOINT W/ POLYSULFIDE SEALANT. SEALANT COLOR TO MATCH ADJACENT PAVING. SEE PLAN FOR LOCATION.
- 8 FINISH GRADE. 2" BELOW TOP OF PAVING FOR PLANTING AREA.
- 9 THICKENED EDGE AT PLANTING AREA WHERE REQUIRED OR UNDER PEDESTALS.

## A CONCRETE PAVING

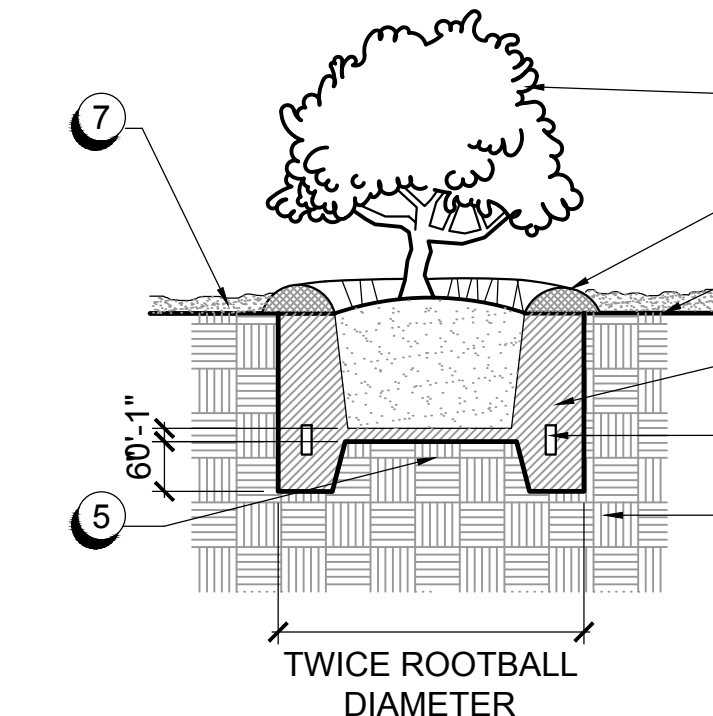
SCALE: 1-1/2" = 1'-0"



- 1 TREE.
  - 2 2" DIAMETER LODGE POLE PINE STAKE SET 30" INTO GRADE OR UNDISTURBED SUBGRADE A MINIMUM OF 12" BELOW BOTTOM OF ROOTBALL. PLACE STAKES PARALLEL TO PREVAILING WINDS.
  - 3 RUBBER TWIST TIES - KNOT AND ATTACH TO STAKE W/ ROOFING TACK.
  - 4 TREE ROOTBALL SET ON LIGHTLY TAMPED SOIL. DO NOT PENETRATE ROOTBALL WITH STAKES.
  - 5 3" DEEP WATERING BASIN.
  - 6 FINISH GRADE.
  - 7 AMENDED BACKFILL.
  - 8 FERTILIZER TABLETS - SEE GENERAL PLANTING NOTES, SHEET L-1, FOR QUANTITY PER TREE SIZE.
- NOTE:**  
-SCARIFY SIDES OF PLANTING PIT.  
-FERTILIZED TABS ARE NOT TO BE USED WITH CALIFORNIA NATIVE PLANTS.  
-DO NOT USE AMENDED SOIL FOR CALIFORNIA NATIVE TREES.  
-SET CROWN OF ROOTBALL 1" ABOVE GRADE.

## D TREE STAKING

N.T.S.

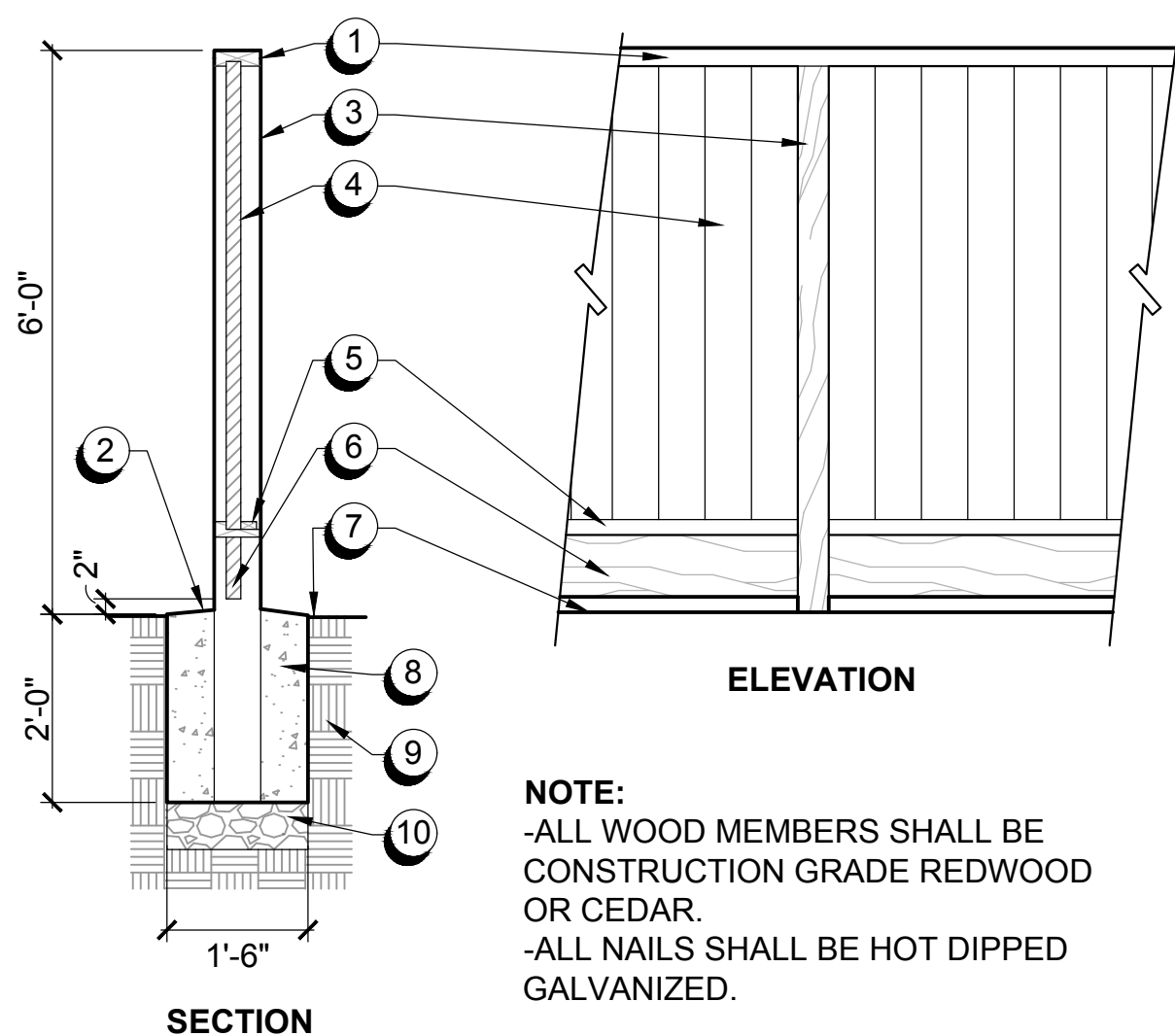


- 1 SHRUB - SET CROWN OF ROOTBALL 2" ABOVE FINISH GRADE.
- 2 3" HIGH WATERING BASIN.
- 3 FINISH GRADE.
- 4 AMENDED BACKFILL.
- 5 SET ROOTBALL ON LIGHTLY TAMPED SUPPORT.
- 6 (2) 21 GRAM PLANT TABLETS.
- 7 3" DEPTH MULCH.
- 8 COMPACTED SUBGRADE OR ENGINEERED FILL.

- NOTE:**  
1. FERTILIZER TABS ARE NOT TO BE USED WITH CALIFORNIA NATIVE SHRUBS.  
2. DO NOT USE AMENDED SOIL FOR CALIFORNIA NATIVE SHRUBS.

## E SHRUB

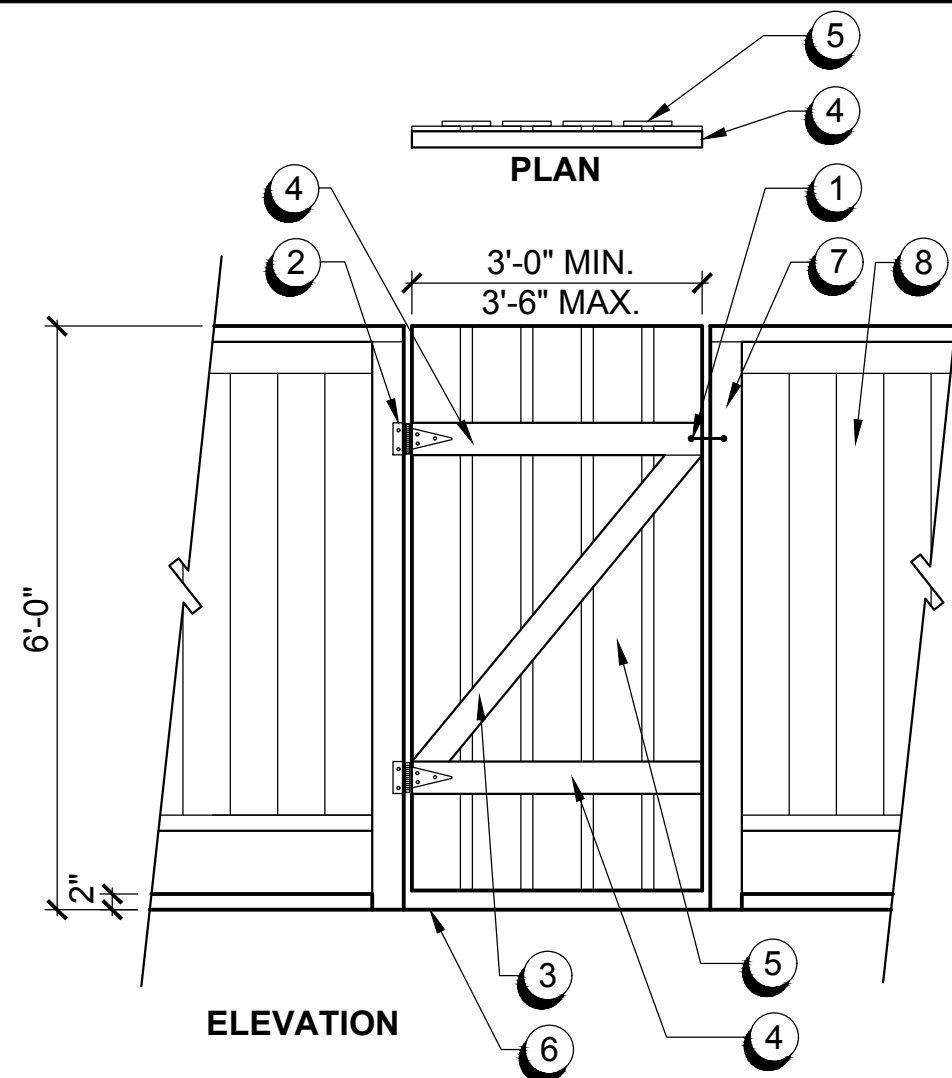
N.T.S.



- 1 2 X 4 TOP RAIL DADO (16' LENGTH)
  - 2 TOP OF FOOTING AT TOP OF GRADE.
  - 3 4 X 4 PTDF POST @ 8' O.C.
  - 4 5/8 X 6 FENCE BOARDS - BOARD ON BOARD
  - 5 2 X 4 BOTTOM RAIL DADO
  - 6 2 X 8 KICKBOARD (PTDF)
  - 7 FINISH GRADE, GRADE TO SLOPE AWAY FROM FENCE.
  - 8 CONCRETE FOOTING
  - 9 COMPACTED SUBGRADE OR ENGINEERED FILL.
  - 10 6" AGG. DRAIN ROCK
- NOTE:**  
-ALL WOOD MEMBERS SHALL BE CONSTRUCTION GRADE REDWOOD OR CEDAR.  
-ALL NAILS SHALL BE HOT DIPPED GALVANIZED.

## B GOOD NEIGHBOR FENCE

SCALE: 1/2" = 1'-0"



- 1 GATE LATCH.
- 2 (2) GATE HINGES.
- 3 2 X 4 DIAGONAL BRACE.
- 4 2 X 4 HORIZONTAL BRACE.
- 5 5/8 X 6 ALTERNATING BOARDS.
- 6 FINISH GRADE.
- 7 4 X 4 POST PTDF - SEE FENCE DETAIL, DETAIL C, THIS SHEET, FOR FOOTING.
- 8 ADJACENT FENCE. SEE DETAIL C, THIS SHEET.

- NOTE:**  
- ALL WOOD MEMBERS SHALL BE CONSTRUCTION GRADE REDWOOD OR CEDAR.  
- ALL NAILS SHALL BE HOT DIPPED GALVANIZED.  
- GATES WIDER THAN 3'-0" REQUIRE 4" X 6" POST, HINGED SIDE ONLY.

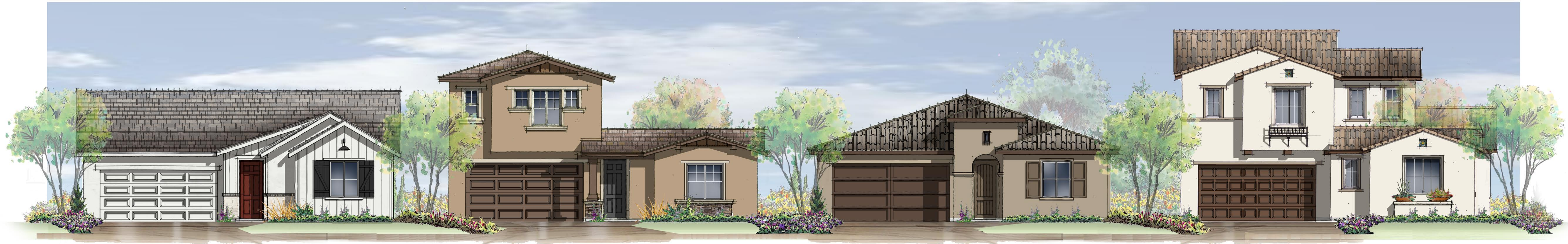
## C WOOD GATE

SCALE: 1/2" = 1'-0"

DETAILS B & C: ALL FENCE COLORS AND MATERIALS MATCH CITY APPROVED COLOR SCHEME FOR VAST OAK WEST.

FOR OVERALL DETAILING OF PARKWAY LANDSCAPE, PROJECT AND ACOUSTIC WALLS/PILASTERS, FENCES, AND MAILBOXES REFER TO VAST OAK EAST DAP 1.





PLAN ONE-FARMHOUSE

PLAN THREE-CRAFTSMAN

PLAN TWO-ITALIAN

PLAN FOUR-SPANISH

STREET SCENE

**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**  
ROHNERT PARK, CALIFORNIA

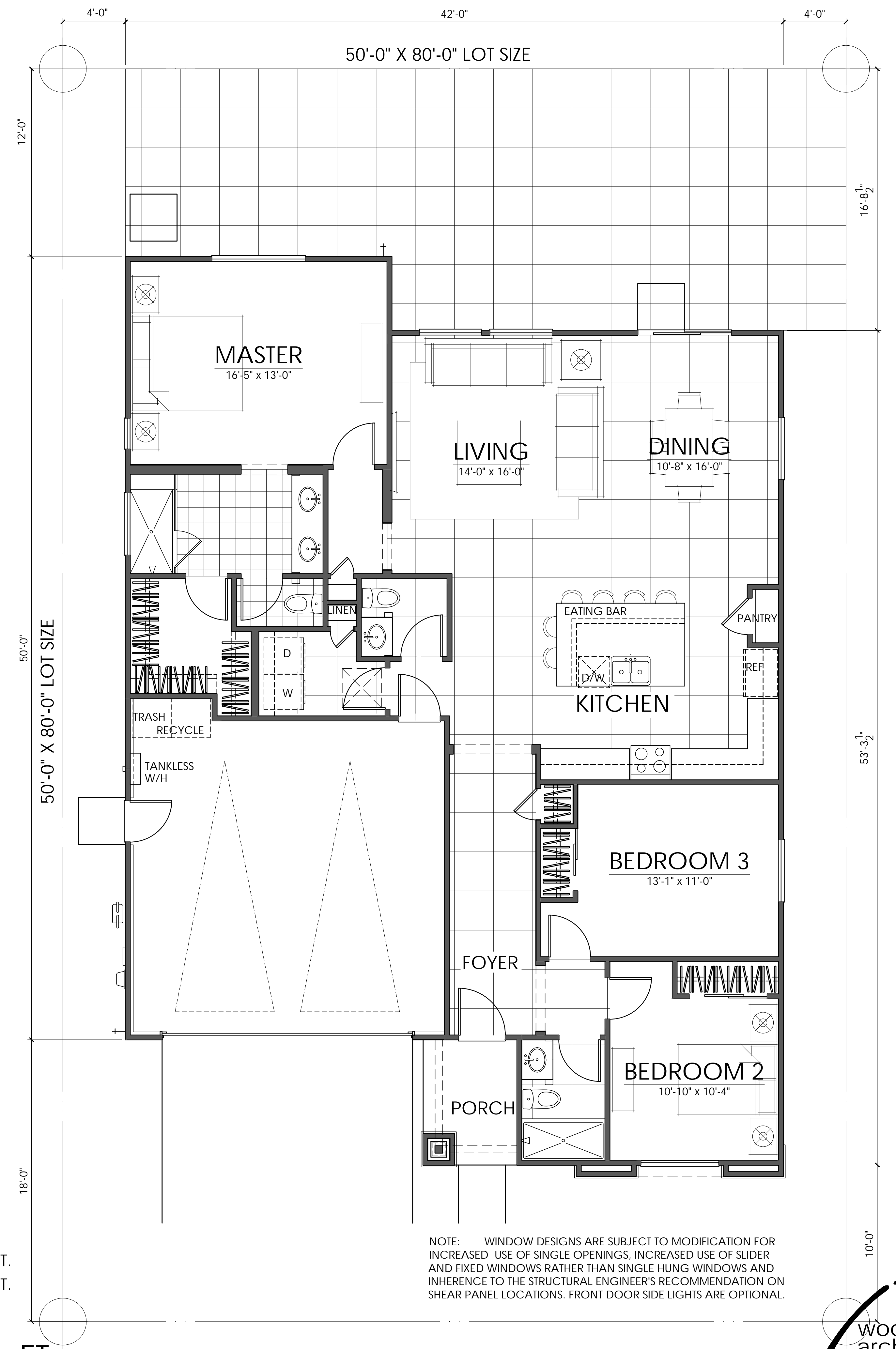
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04.16.18

*Signature*  
HOMES

**woodley**  
**architectural**  
group, inc  
colorado // 731 southpark dr. suite 8  
littleton, co 80120 / 303.683.7231  
california // 2943 pullman st. suite A  
san diego, ca 92105 / 949.553.8919





FIRST FLOOR 1704 SQ. FT.  
TOTAL LIVING 1704 SQ. FT.

## PLAN ONE | 1704 SQ. FT.

# SYCAMORE AT UNIVERSITY DISTRICT | SIGNATURE HOMES

ROHNERT PARK, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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Signature  
HOMES

woodley  
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group, inc  
colorado // 731 southpark dr. suite B  
littleton, co 80120 / 303.683.7231  
california // 2943 pullman st. suite A  
santa ana, ca 92705 / 949.553.8919





**MATERIAL NOTES**  
**elevationB**  
 -COMPOSITION ROOF TILE  
 -STUCCO  
 -CEMENTITIOUS BOARD & BATT  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -CULTURED STONE VENEER

elevationB - CRAFTSMAN

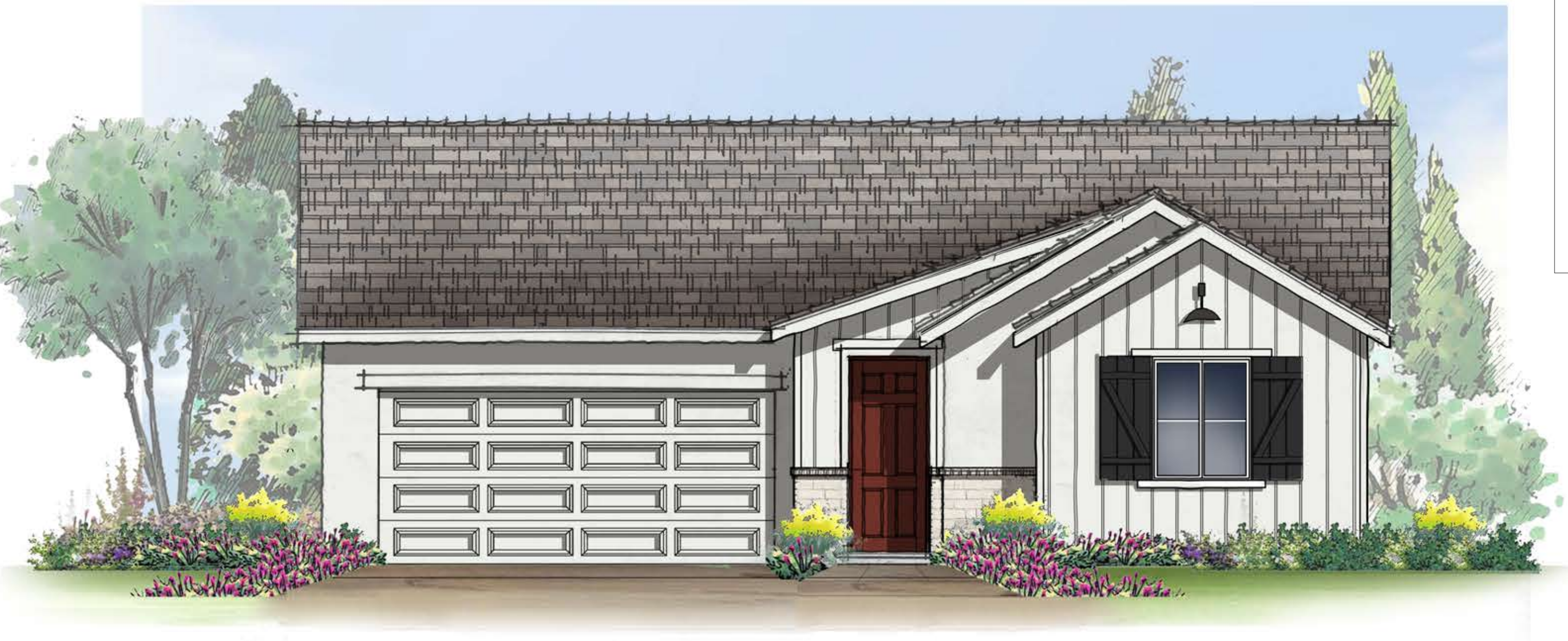
SCALE: 1/4" = 1'-0"



**MATERIAL NOTES**  
**elevationC**  
 -CONCRETE 'S' ROOF TILE  
 -STUCCO  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -DECORATIVE SHUTTERS

elevationC - ITALIAN

SCALE: 1/4" = 1'-0"

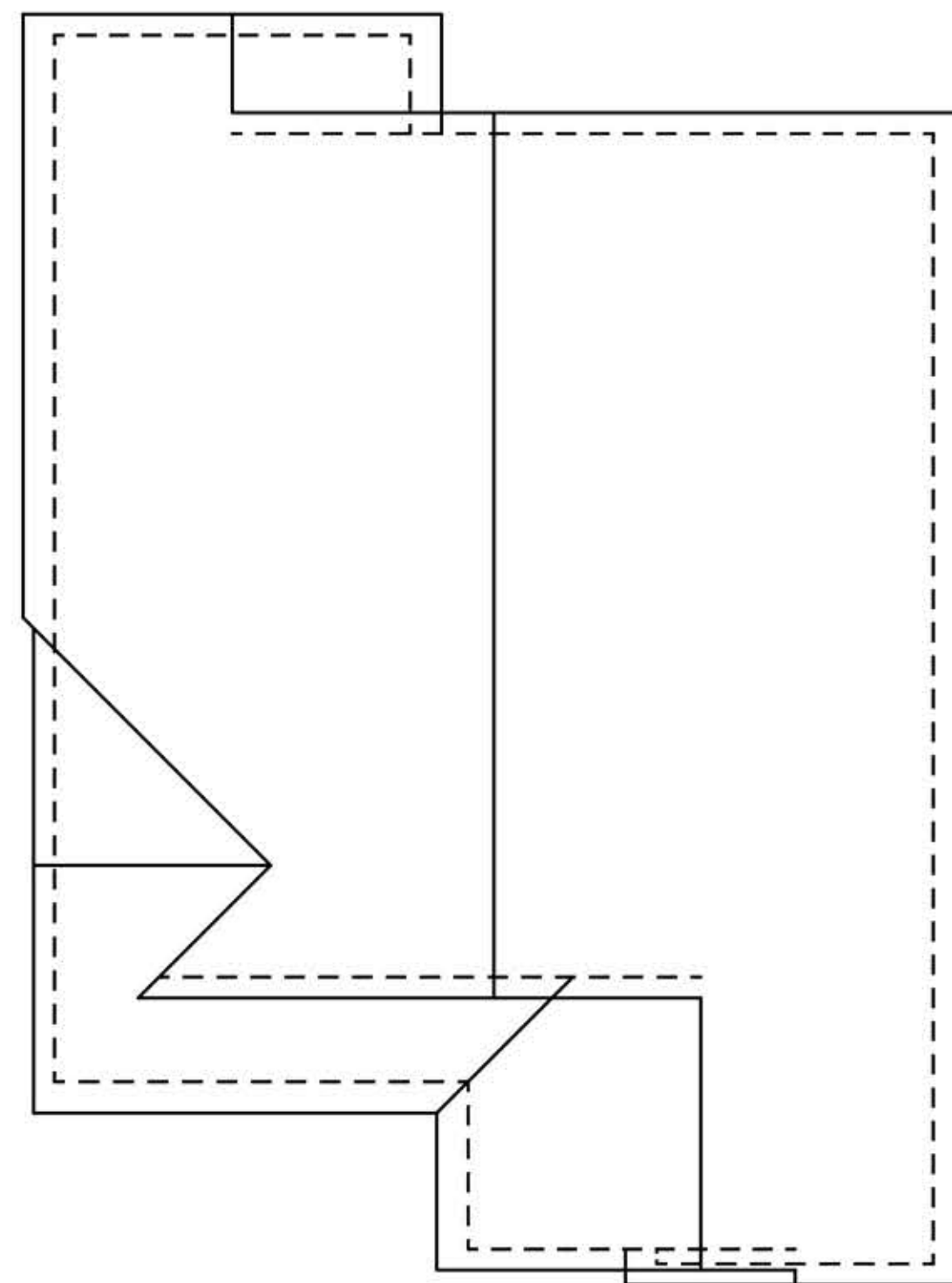


**MATERIAL NOTES**  
**elevationD**  
 -COMPOSITION ROOF TILE  
 -STUCCO  
 -CEMENTITIOUS BOARD & BATT  
 -WOOD TRIM @ BOARD & BATT  
 -STUCCO OVER FOAM TRIM  
 AT WINDOWS AND DOORS  
 -WOOD POSTS  
 -DECORATIVE SHUTTERS  
 -BRICK VENEER

elevationD - FARMHOUSE

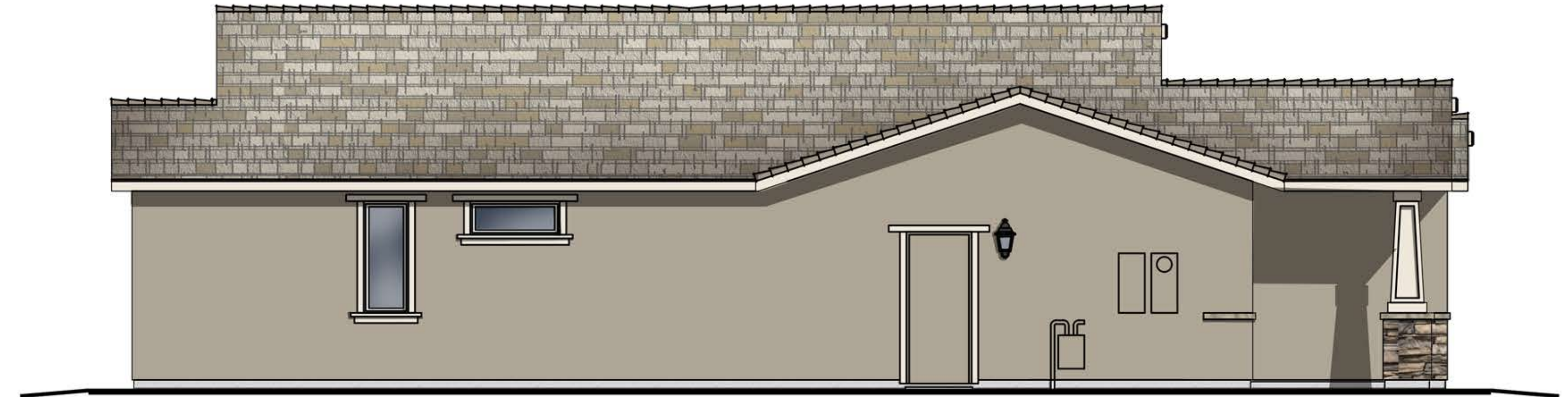
SCALE: 1/4" = 1'-0"





ROOF PLAN

SCALE: 1/8" = 1'-0"



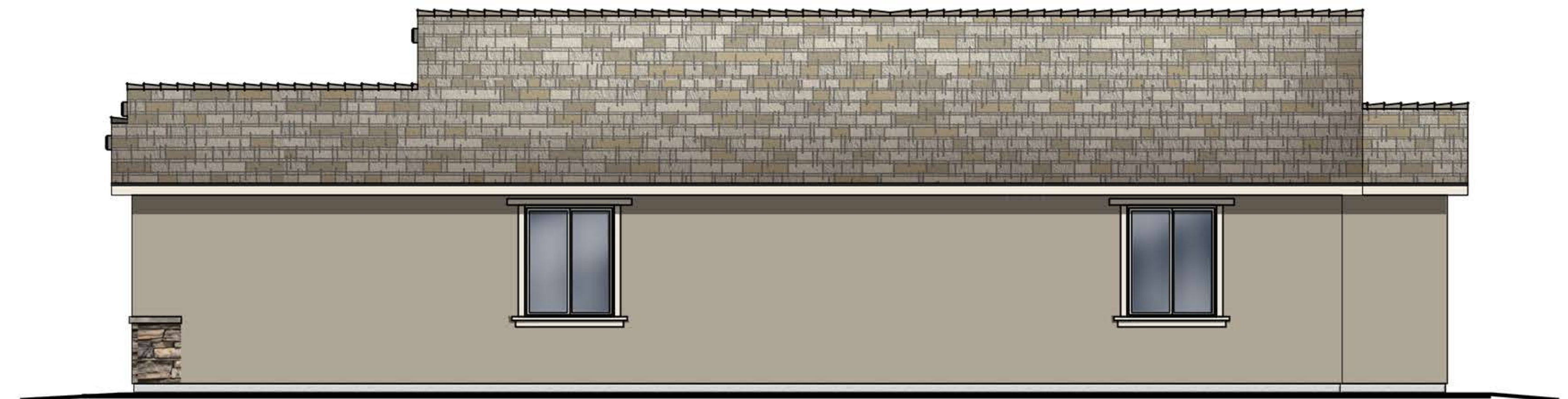
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

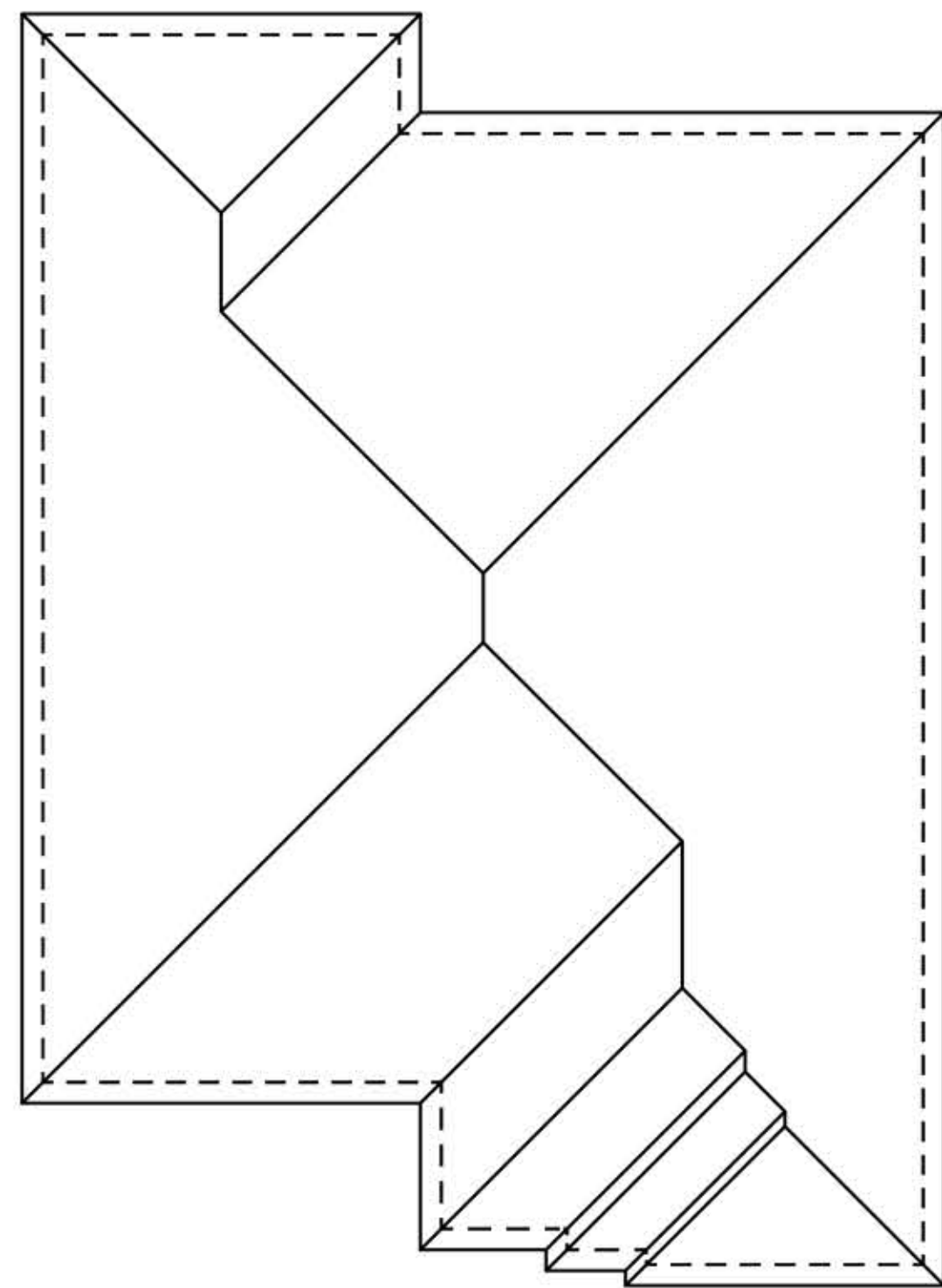
SCALE: 1/4" = 1'-0"

04.16.18

PLAN ONE | ELEVATION B | CRAFTSMAN  
**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**  
 ROHNERT PARK, CALIFORNIA

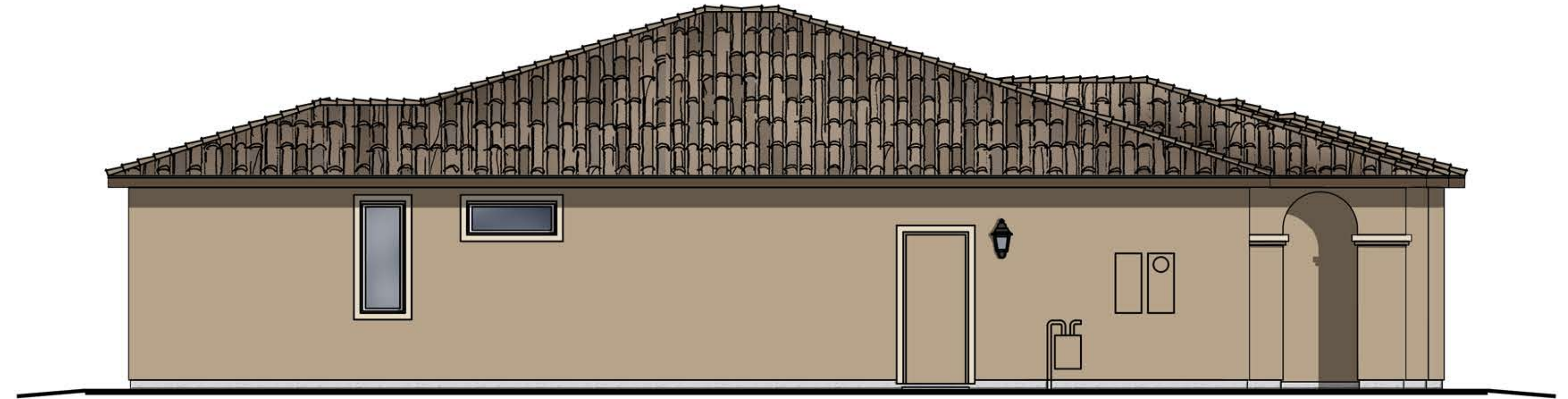
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
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ROOF PLAN

SCALE: 1/8" = 1'-0"



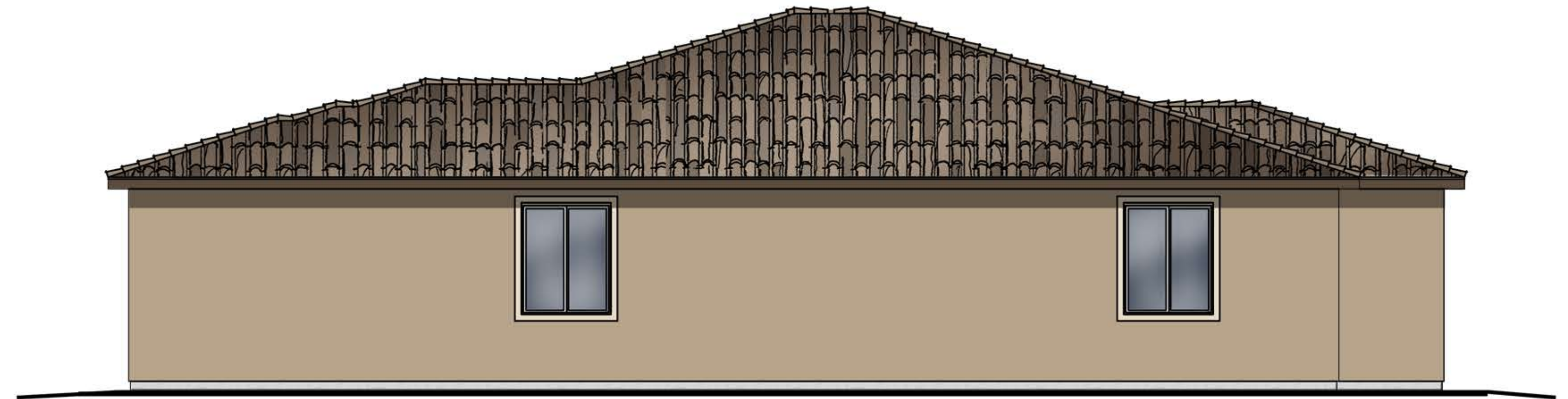
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

04.16.18

PLAN ONE | ELEVATION C | ITALIAN

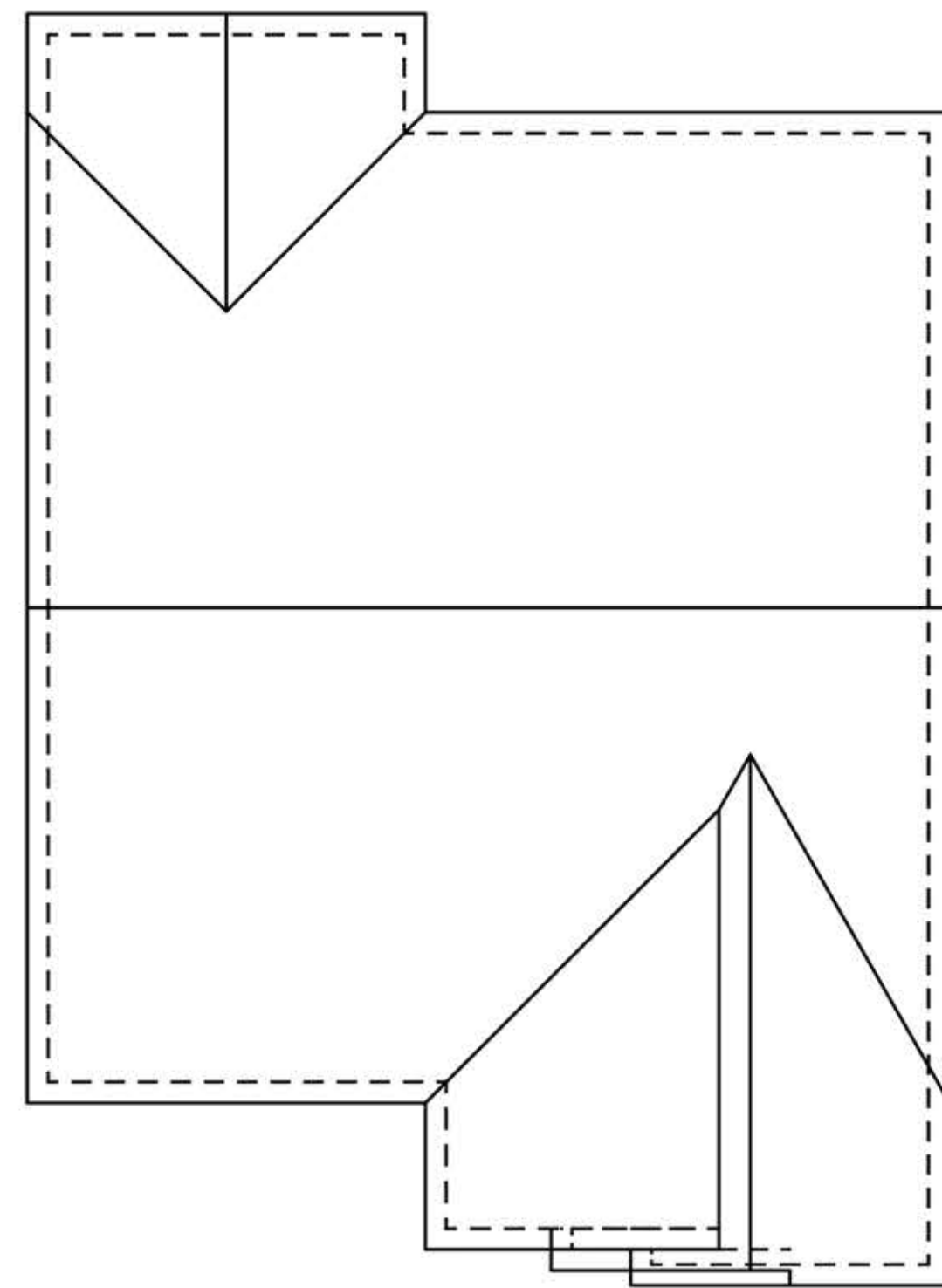
**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**

**ROHNERT PARK, CALIFORNIA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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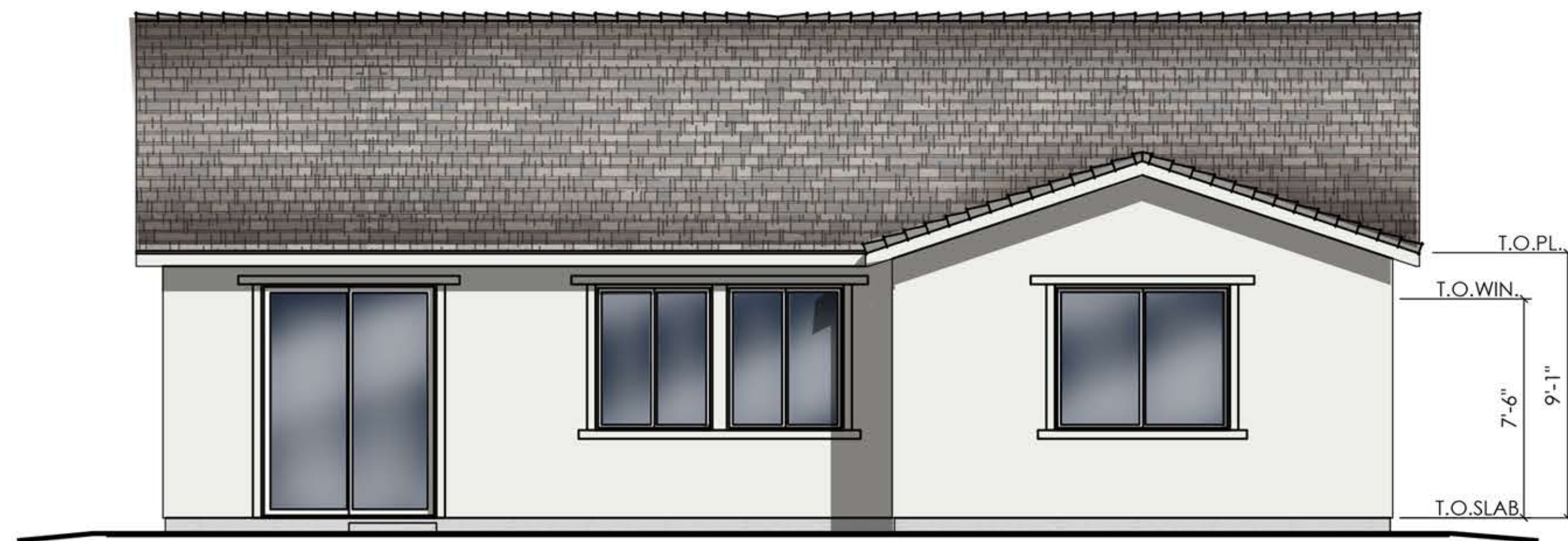
ROOF PLAN

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

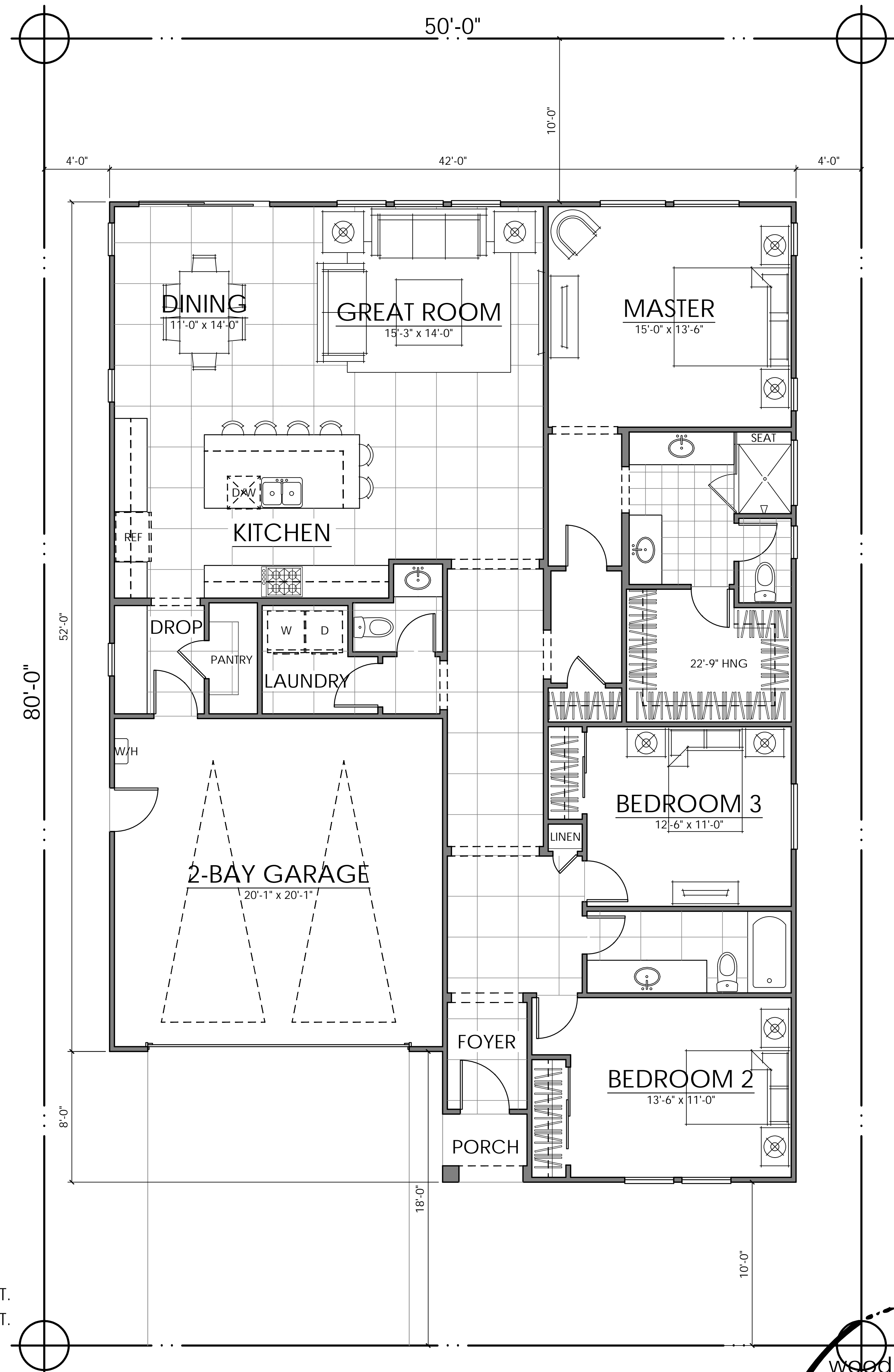
SCALE: 1/4" = 1'-0"

04.16.18

PLAN ONE | ELEVATION D | FARMHOUSE  
**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**  
 ROHNERT PARK, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS. THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.





FIRST FLOOR  
TOTAL LIVING

1920 SQ. FT.  
1920 SQ. FT.

## PLAN TWO | 1920 SQ. FT.

# SYCAMORE AT UNIVERSITY DISTRICT | SIGNATURE HOMES

ROHNERT PARK, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

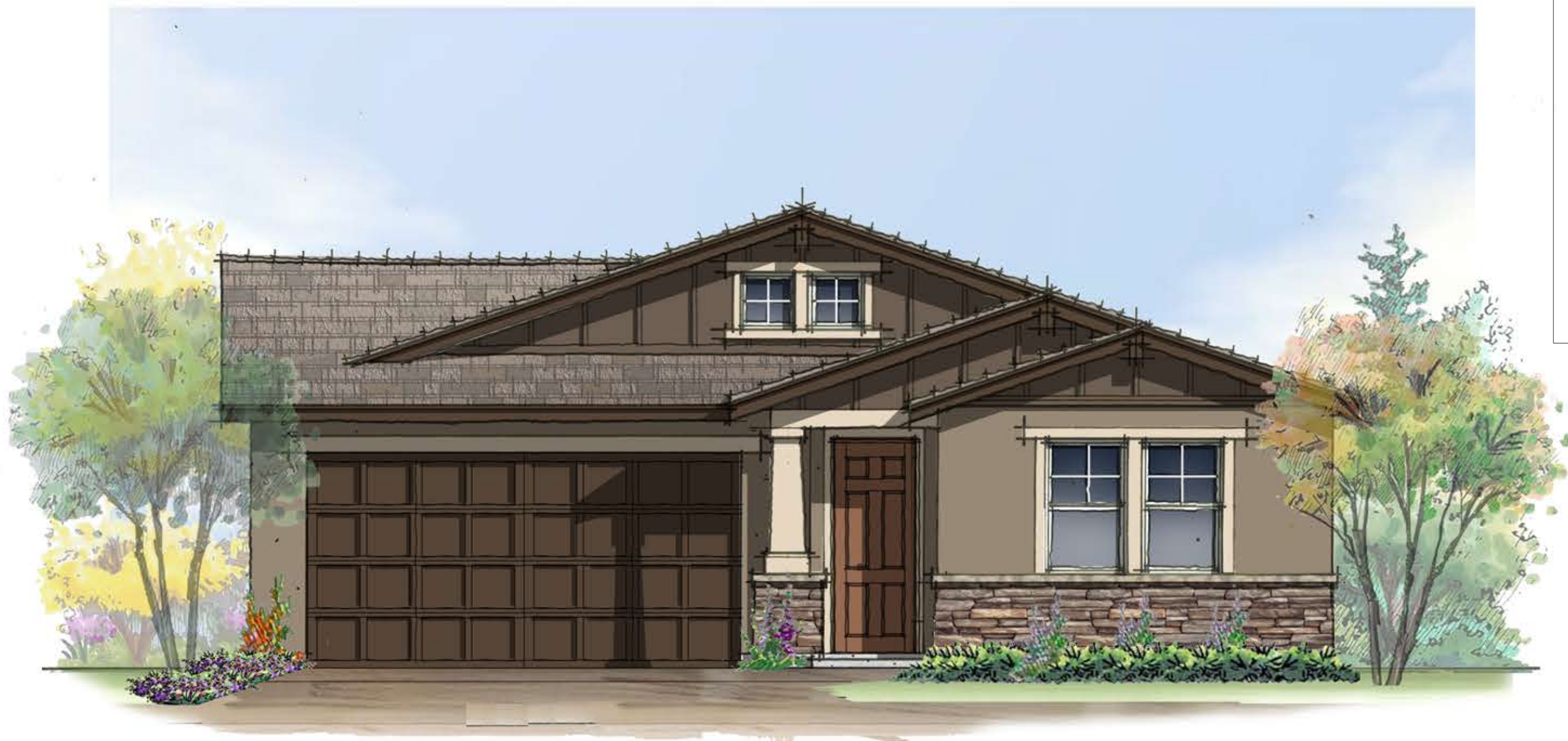
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Signature  
HOMES

woodley  
architectural  
group, inc  
colorado // 731 southpark dr. suite B  
littleton, co 80120 / 303 683.7231  
california // 2943 pullman st. suite A  
santa ana, ca 92705 / 949 553.8919

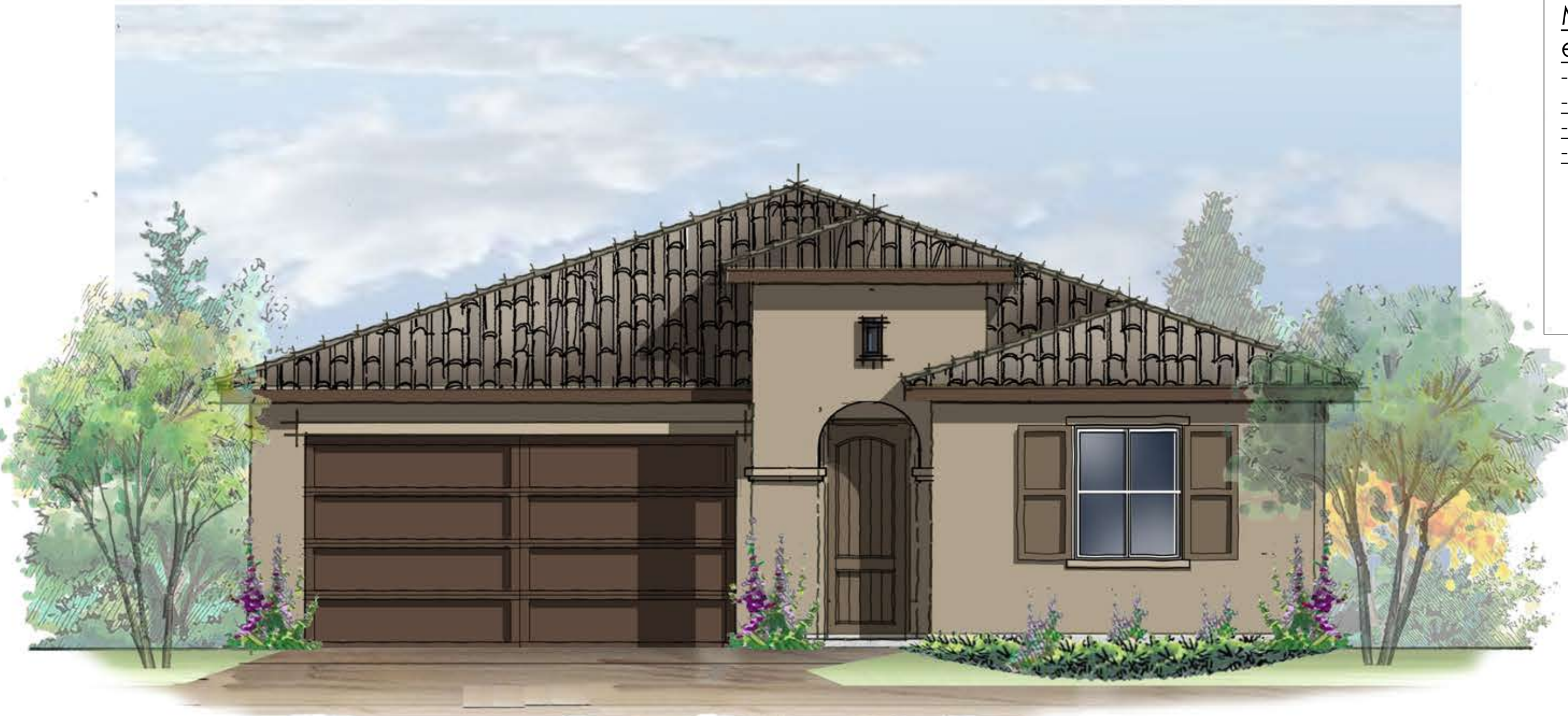




**MATERIAL NOTES**  
 elevation B  
 -COMPOSTION ROOF TILE  
 -STUCCO  
 -CORBLES AT GABLE-END  
 -FOAM TRIM  
 -BOARD & BATTEN GABLE-END SIDNG  
 -CULTURED STONE VENEER

elevationB - CRAFTSMAN

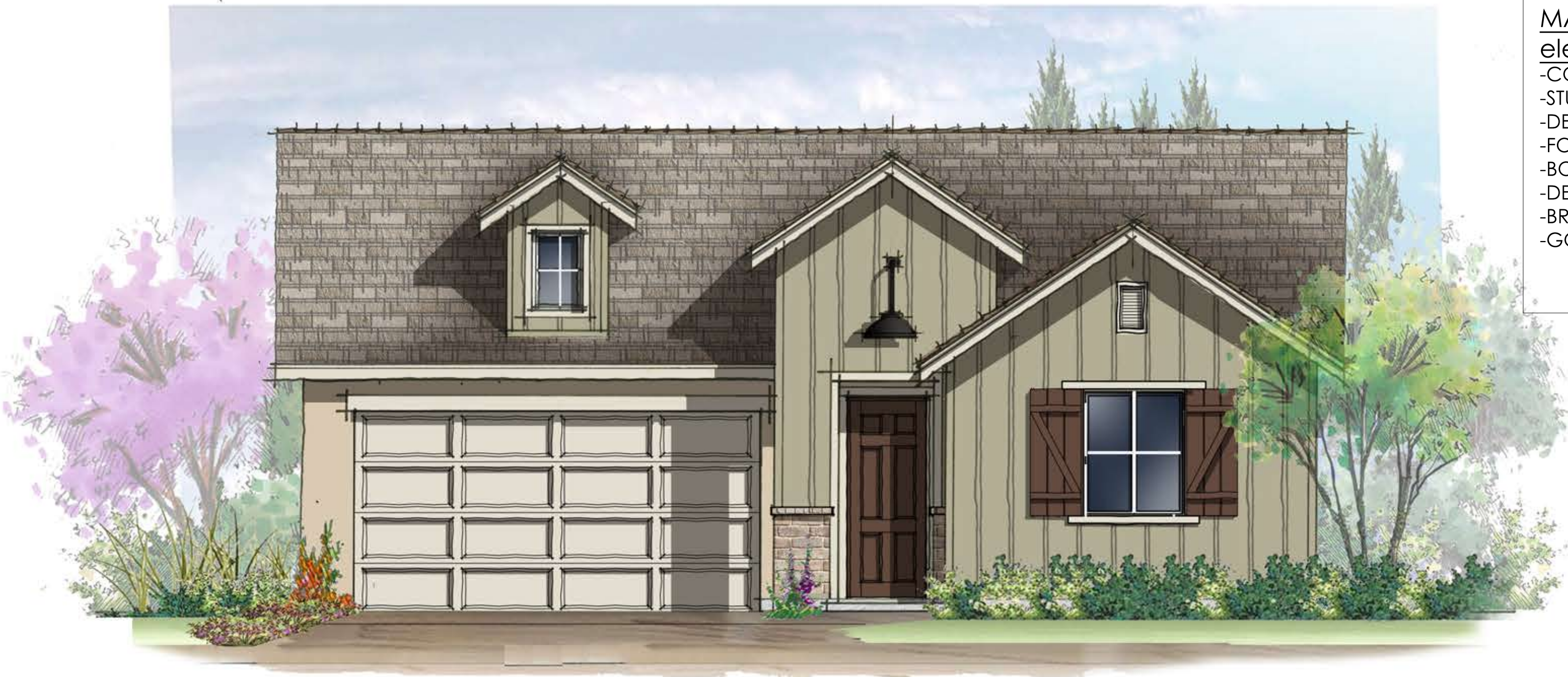
SCALE: 1/4" = 1'-0"



**MATERIAL NOTES**  
 elevation C  
 -CONCRETE 'S' ROOF TILE  
 -STUCCO  
 -FOAM TRIM  
 -DECORATIVE SHUTTERS

elevationC - ITALIAN

SCALE: 1/4" = 1'-0"

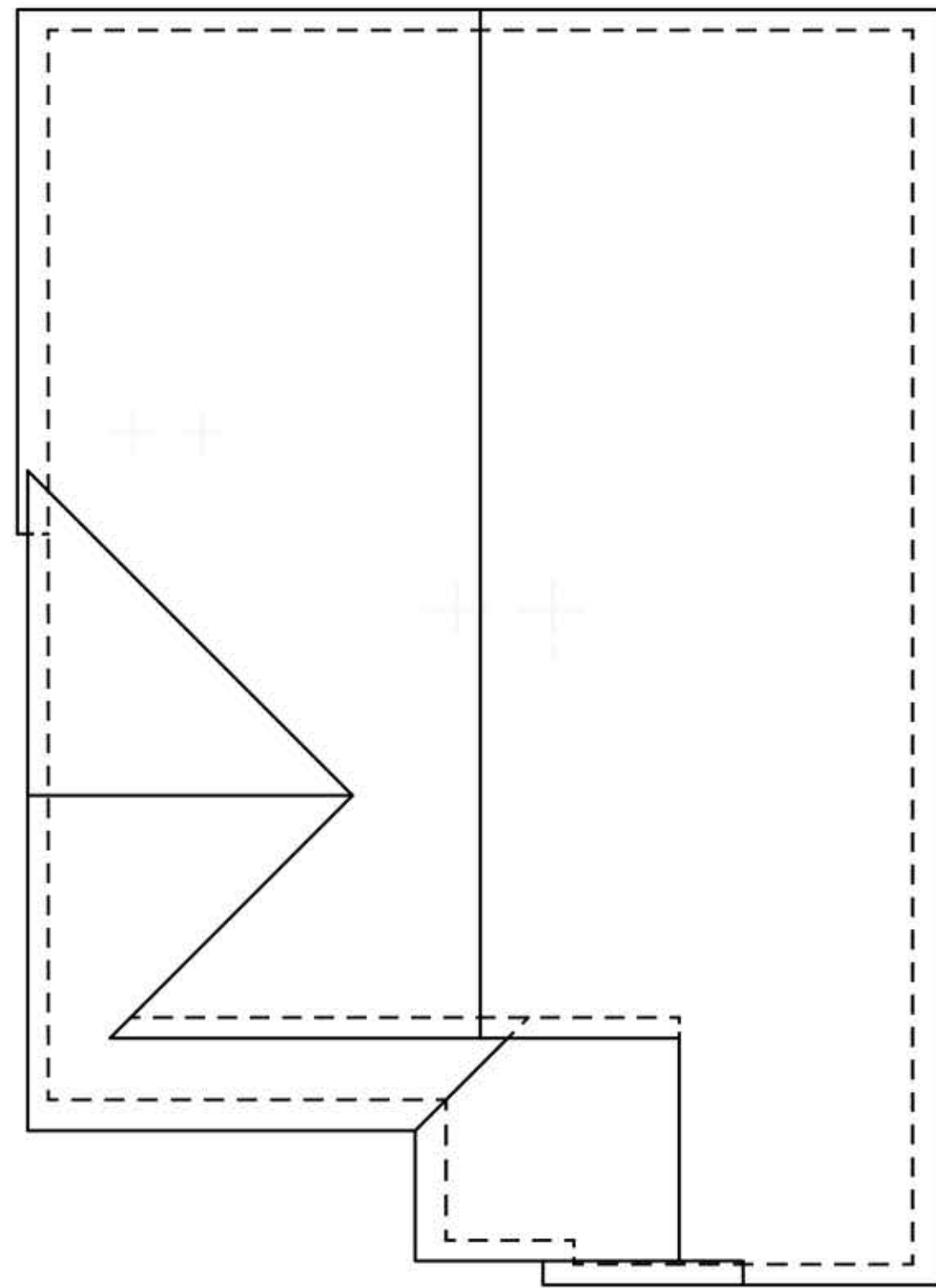


**MATERIAL NOTES**  
 elevation D  
 -COMPOSTION ROOF TILE  
 -STUCCO  
 -DECORATIVE SHUTTERS  
 -FOAM TRIM  
 -BOARD & BATTEN SIDNG  
 -DECORATIVE VENT  
 -BRICK VANNER  
 -GOOSENECK LIGHT FIXTURE

elevationD - FARMHOUSE

SCALE: 1/4" = 1'-0"





ROOF PLAN

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

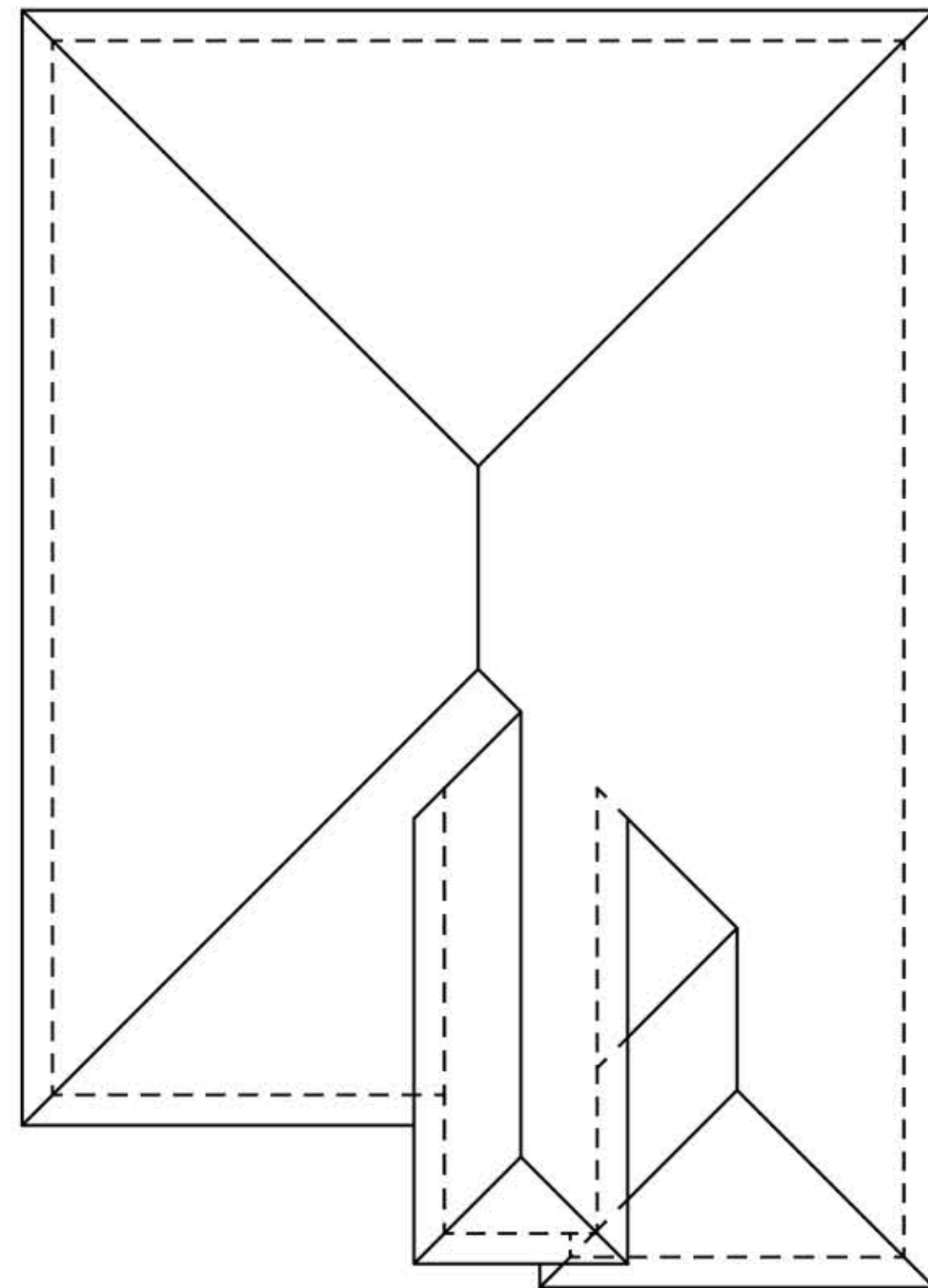
SCALE: 1/4" = 1'-0"

04.16.18

PLAN TWO | ELEVATION B | CRAFTSMAN  
**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**  
 ROHNERT PARK, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
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ROOF PLAN

SCALE: 1/8" = 1'-0"



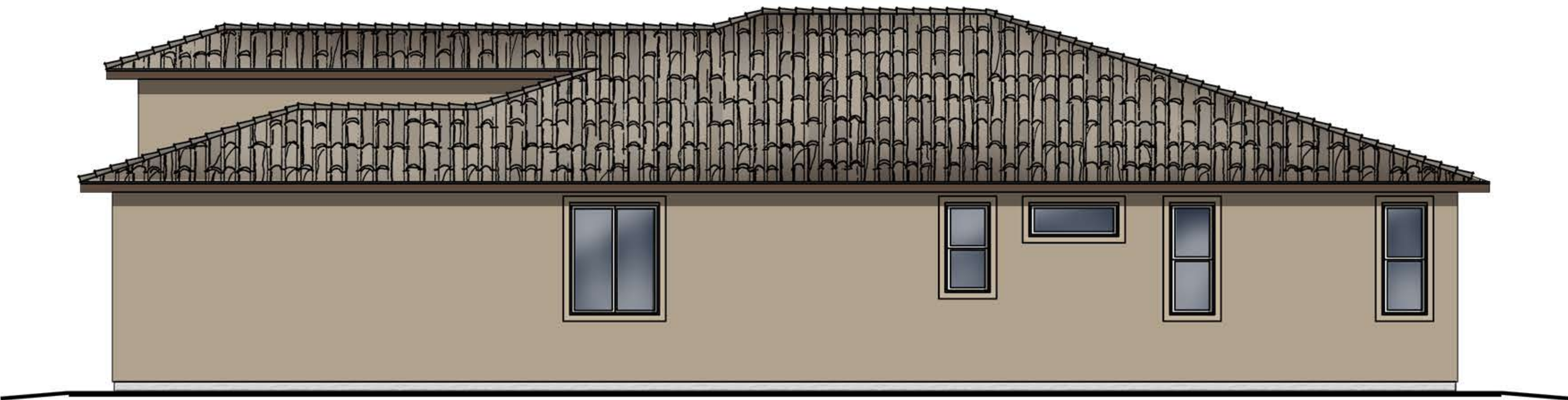
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

04.16.18

PLAN TWO | ELEVATION C | ITALIAN

**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**  
**ROHNERT PARK, CALIFORNIA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

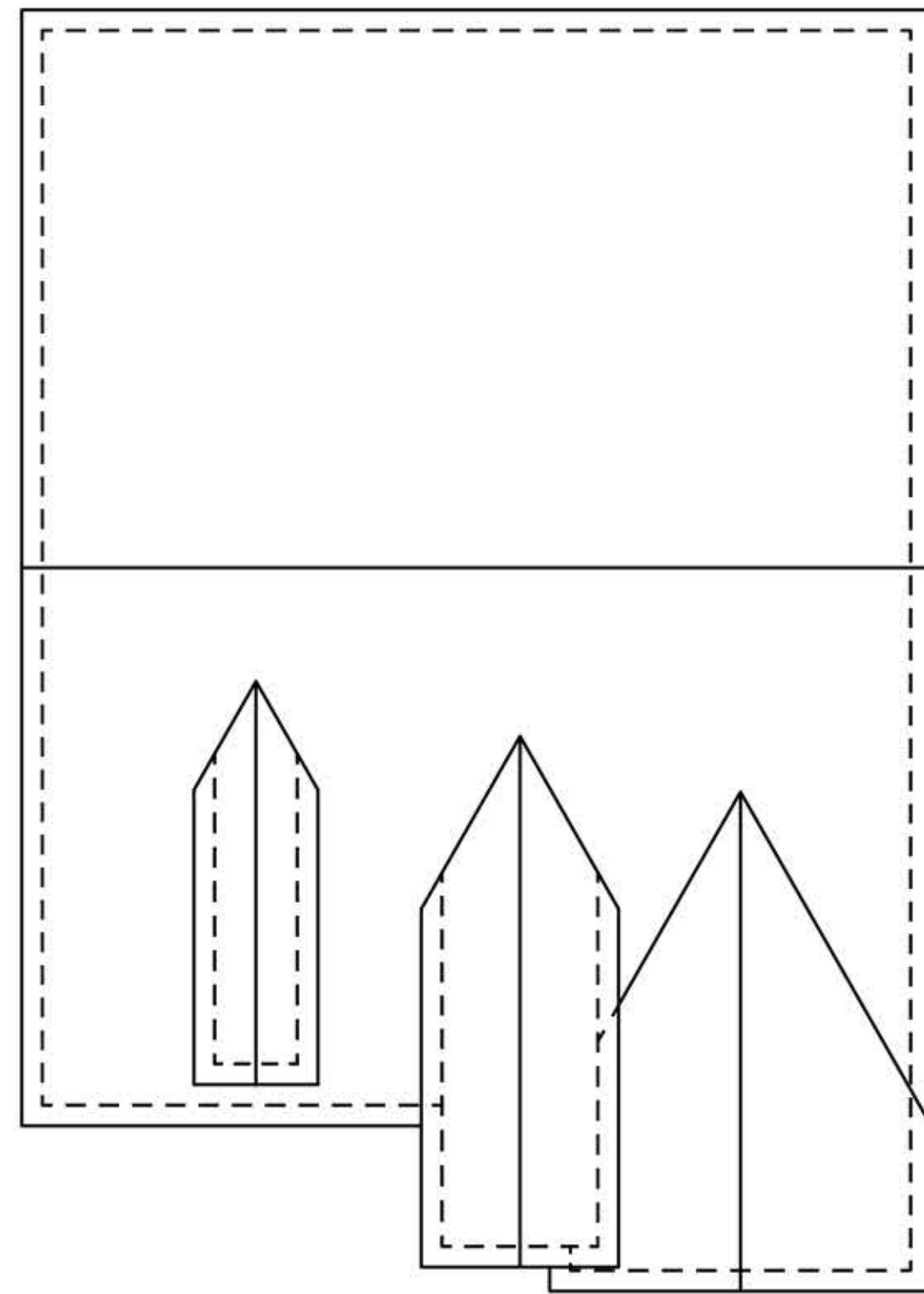
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woodley  
architectural  
group, inc

colorado // 731 southpark dr. suite B  
littleton, co 80120 / 303.683.7231  
california // 2943 pullman st. suite A  
santa ana, ca 92705 / 949.553.8919





ROOF PLAN

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

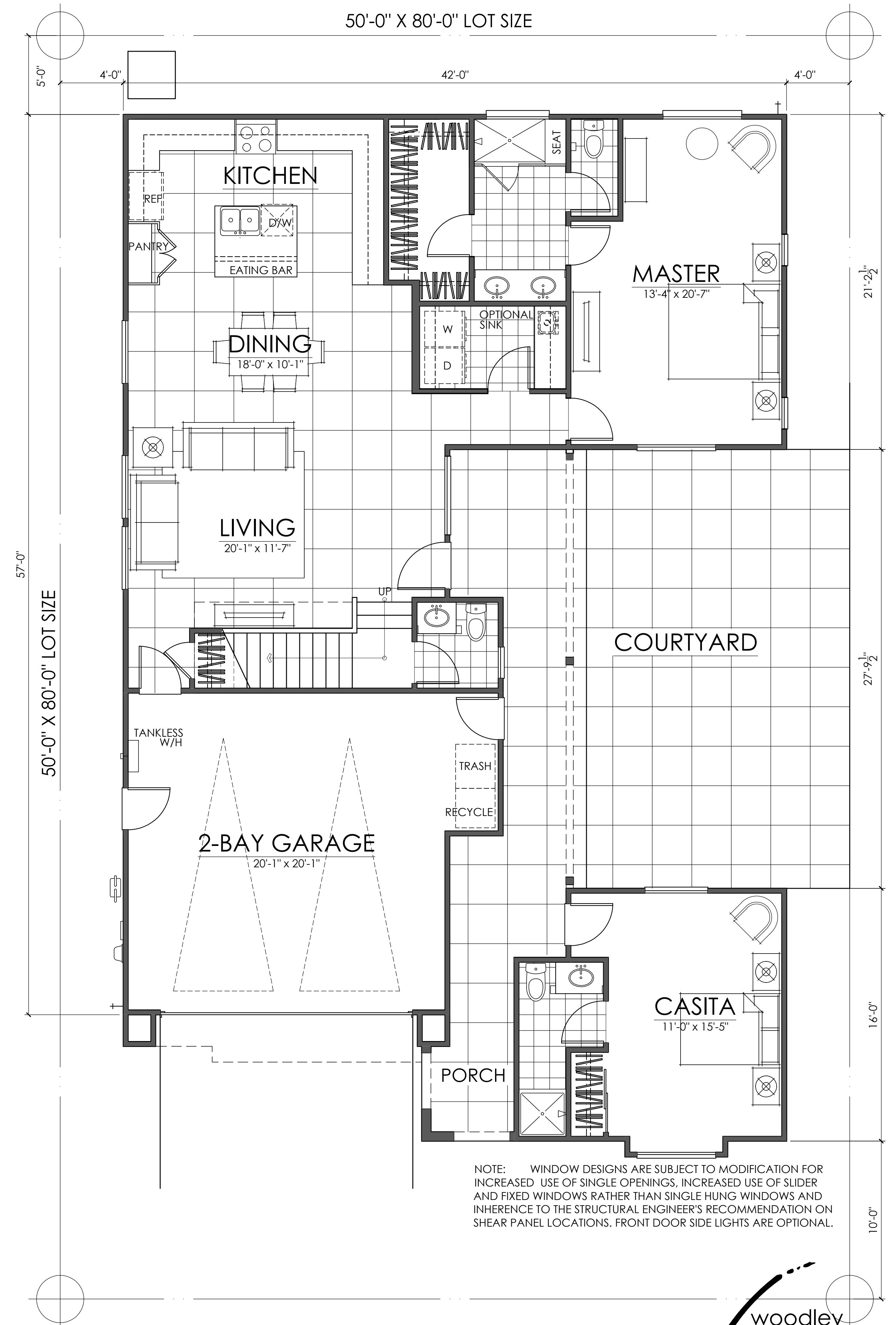
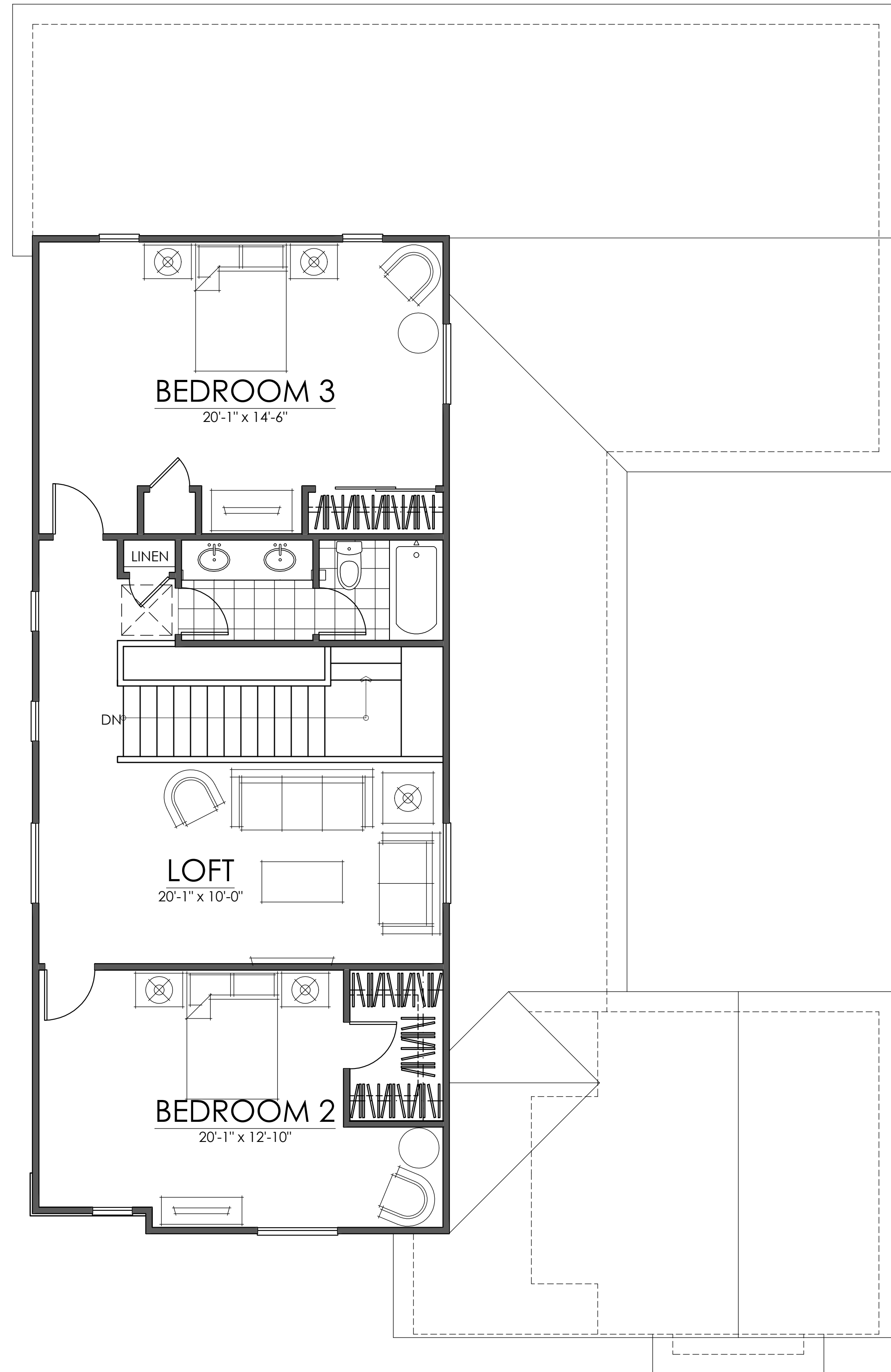
04.16.18

PLAN TWO | ELEVATION D I FARMHOUSE  
**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**  
 ROHNERT PARK, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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FIRST FLOOR 1498 SQ. FT.  
SECOND FLOOR 929 SQ. FT.  
TOTAL LIVING 2427 SQ. FT.

NOTE: WINDOW DESIGNS ARE SUBJECT TO MODIFICATION FOR INCREASED USE OF SINGLE OPENINGS, INCREASED USE OF SLIDER AND FIXED WINDOWS RATHER THAN SINGLE HUNG WINDOWS AND INHERENCE TO THE STRUCTURAL ENGINEER'S RECOMMENDATION ON SHEAR PANEL LOCATIONS. FRONT DOOR SIDE LIGHTS ARE OPTIONAL.

04.16.18

# PLAN THREE | 2427 SQ.FT. **SYCAMORE AT UNIVERSITY DISTRICT | SIGNATURE HOMES** **ROHNERT PARK, CALIFORNIA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
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- MATERIAL NOTES**  
**elevationA**
- CONCRETE 'S' ROOF TILE
  - DECORATIVE TILE AT GABLE ENDS
  - STUCCO
  - STUCCO OVER FOAM TRIM AT WINDOWS AND DOORS
  - PANEL TRIM
  - DECORATIVE SHUTTERS

elevationA - SPANISH

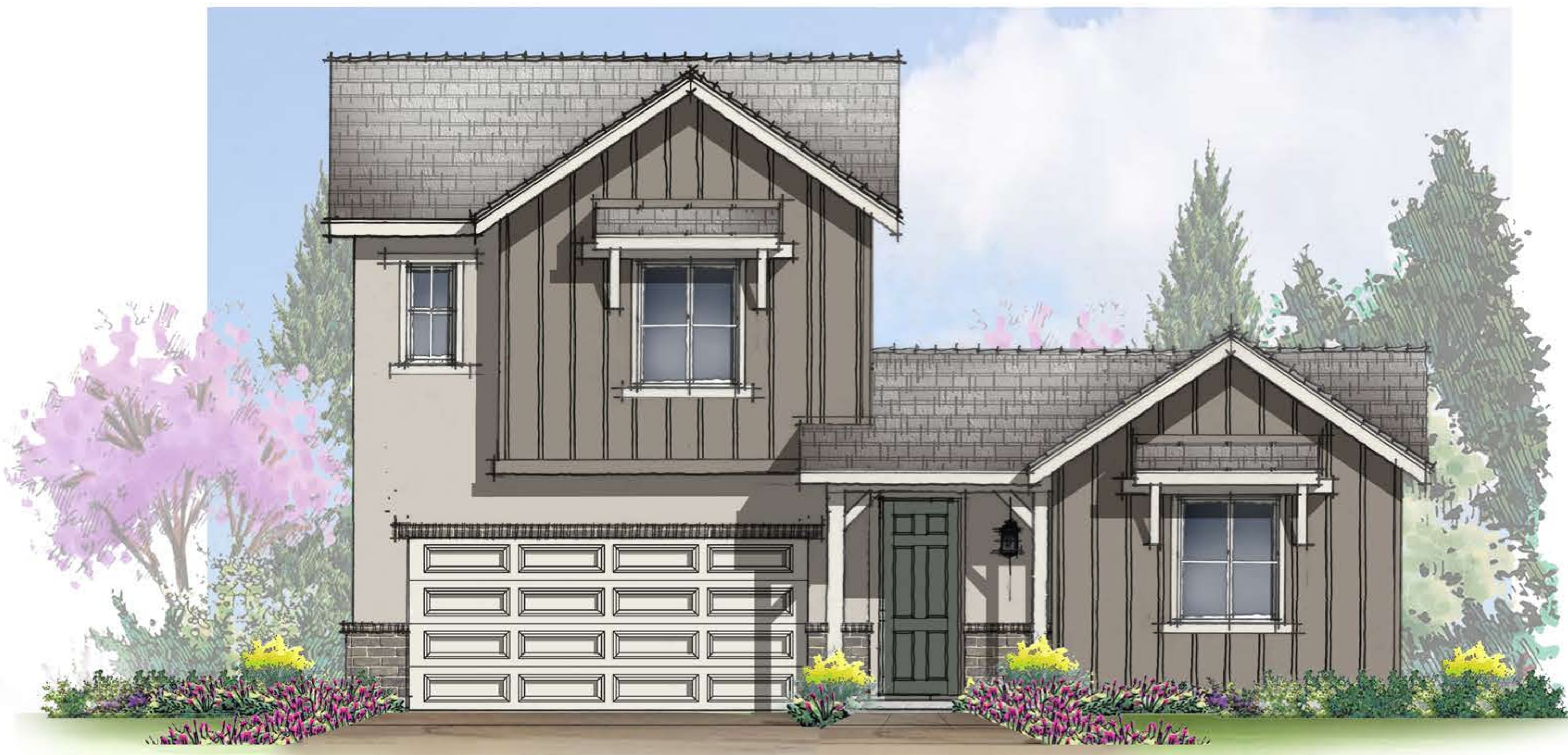
SCALE: 1/4" = 1'-0"



- MATERIAL NOTES**  
**elevationB**
- COMPOSITION ROOF TILE
  - STUCCO
  - CEMENTITIOUS SIDING AT GABLE ENDS
  - STUCCO OVER FOAM TRIM AT WINDOWS AND DOORS
  - CULTURED STONE VENEER

elevationB - CRAFTSMAN

SCALE: 1/4" = 1'-0"

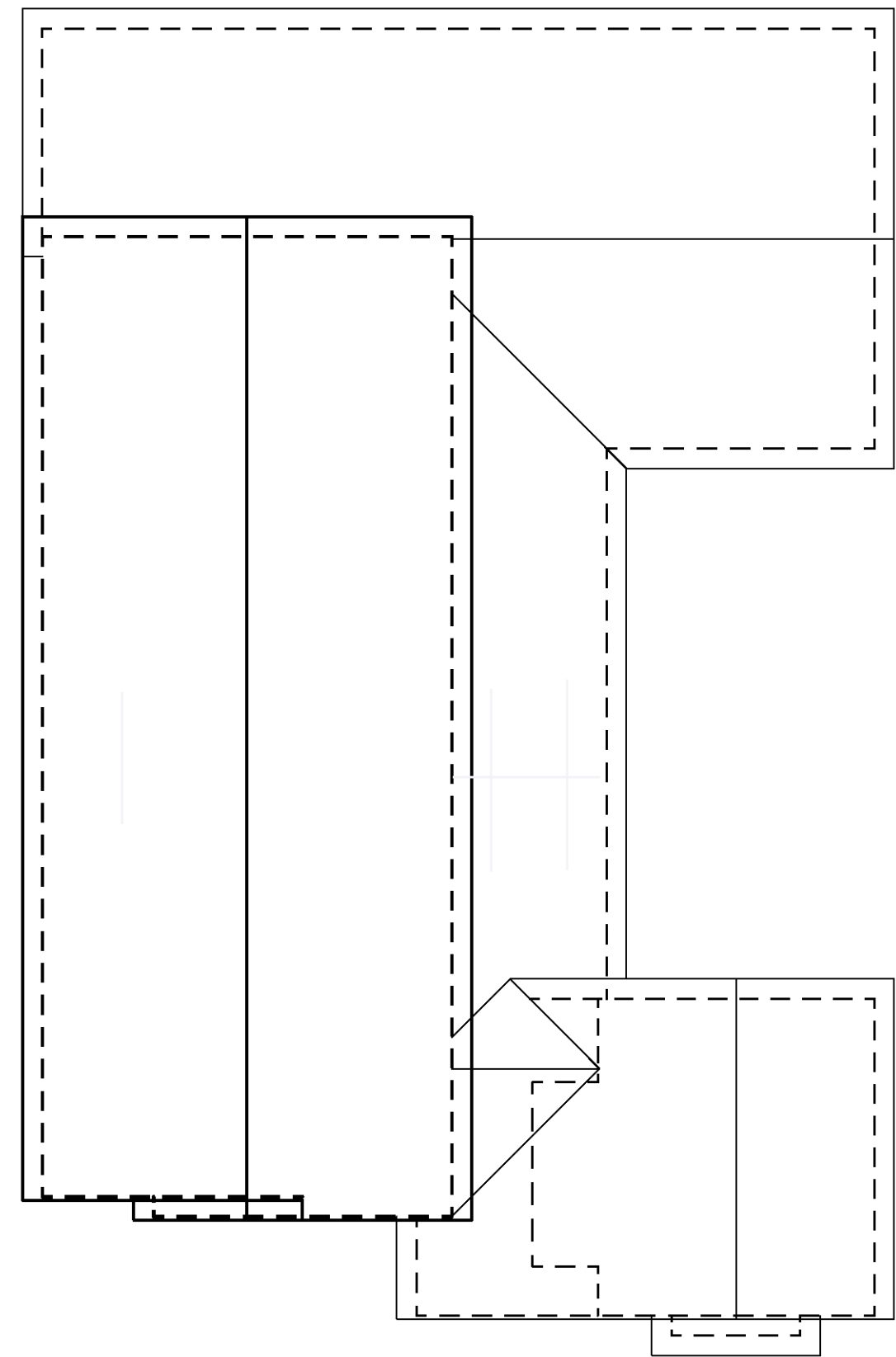


- MATERIAL NOTES**  
**elevationD**
- COMPOSITION ROOF TILE
  - STUCCO
  - CEMENTITIOUS BOARD & BATT
  - WOOD TRIM @ BOARD & BATT
  - STUCCO OVER FOAM TRIM AT WINDOWS AND DOORS
  - WOOD POSTS & CORBELS
  - BRICK VENEER

elevationD - FARMHOUSE

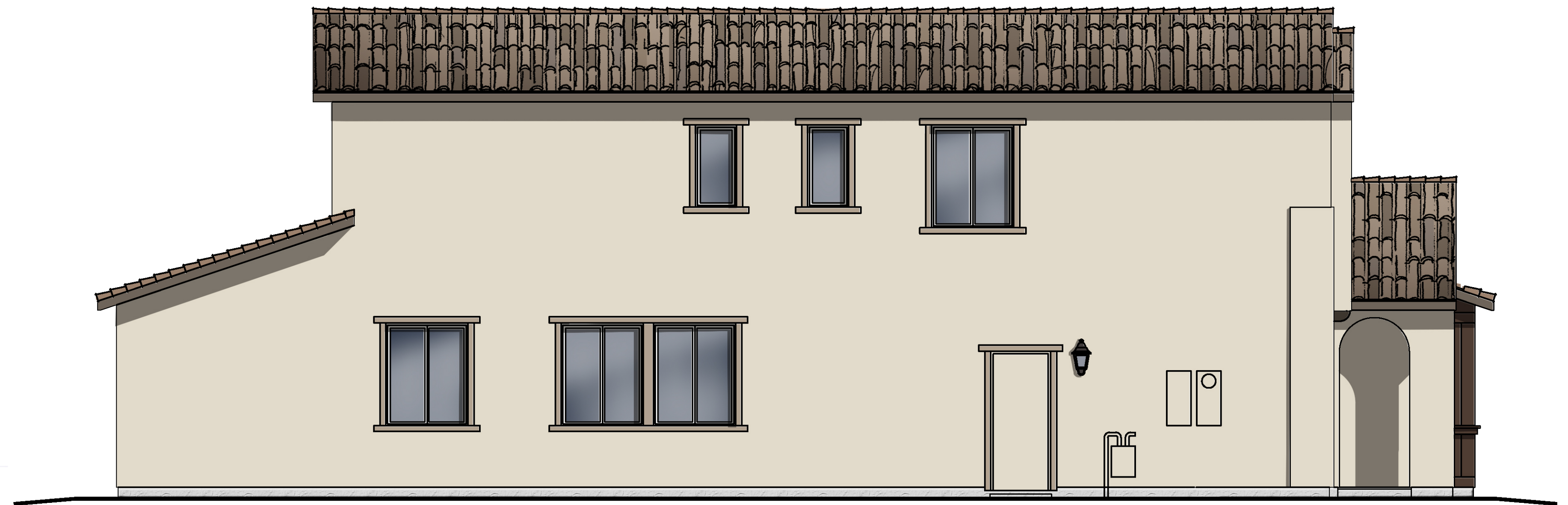
SCALE: 1/4" = 1'-0"





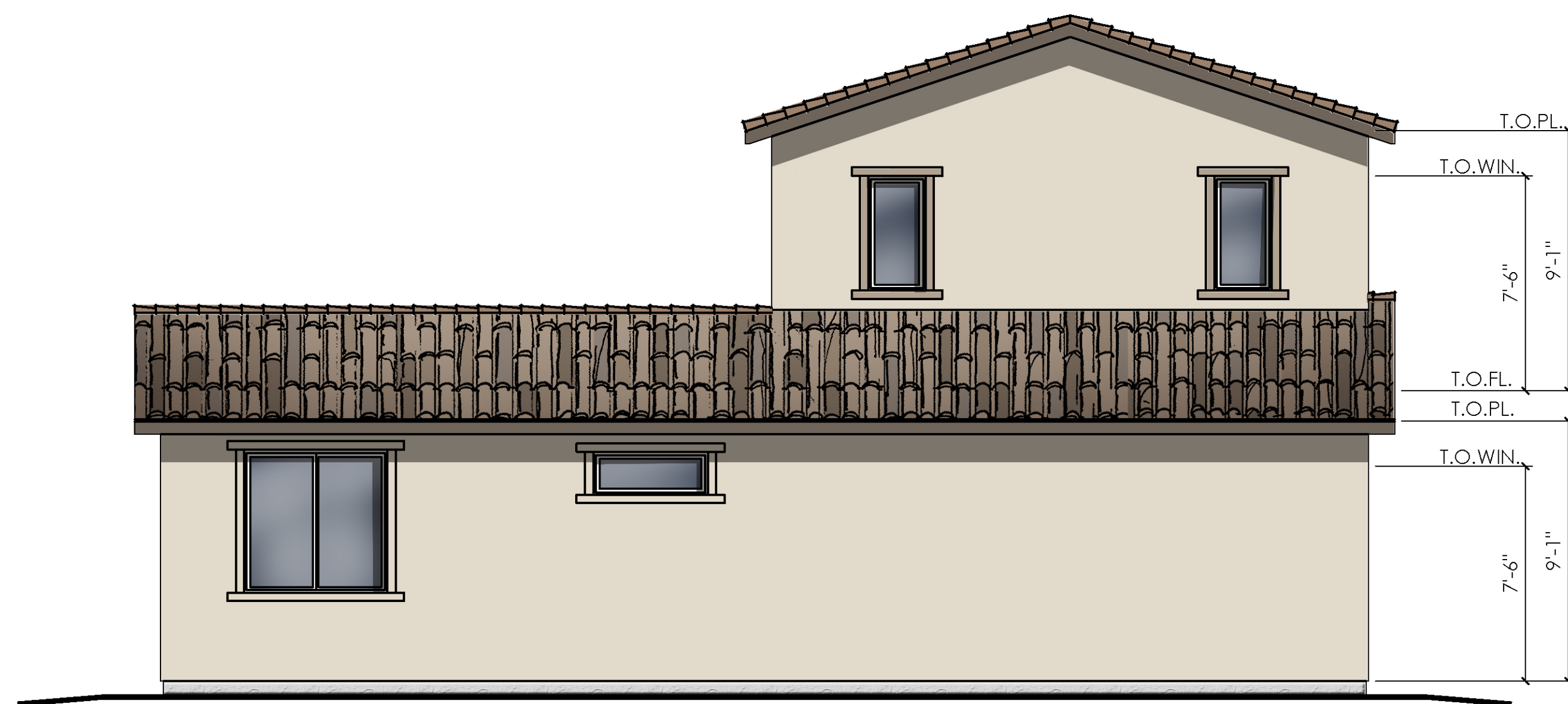
ROOF PLAN

SCALE: 1/8" = 1'-0"



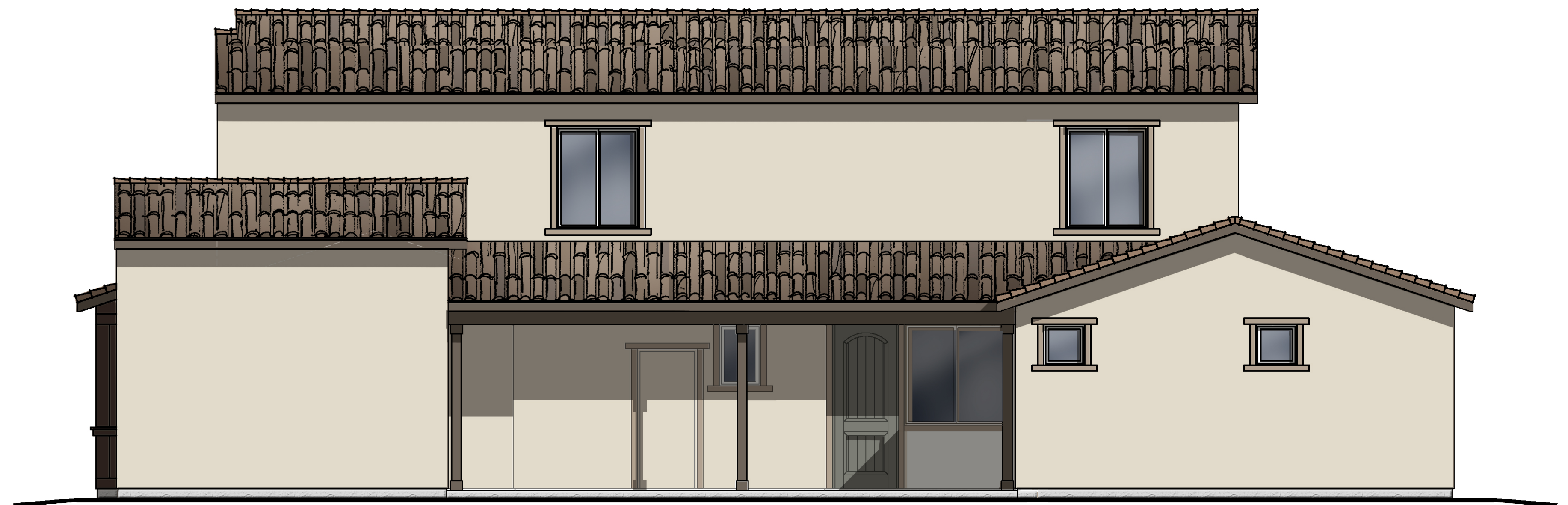
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

04.16.18

PLAN THREE | ELEVATION A | SPANISH

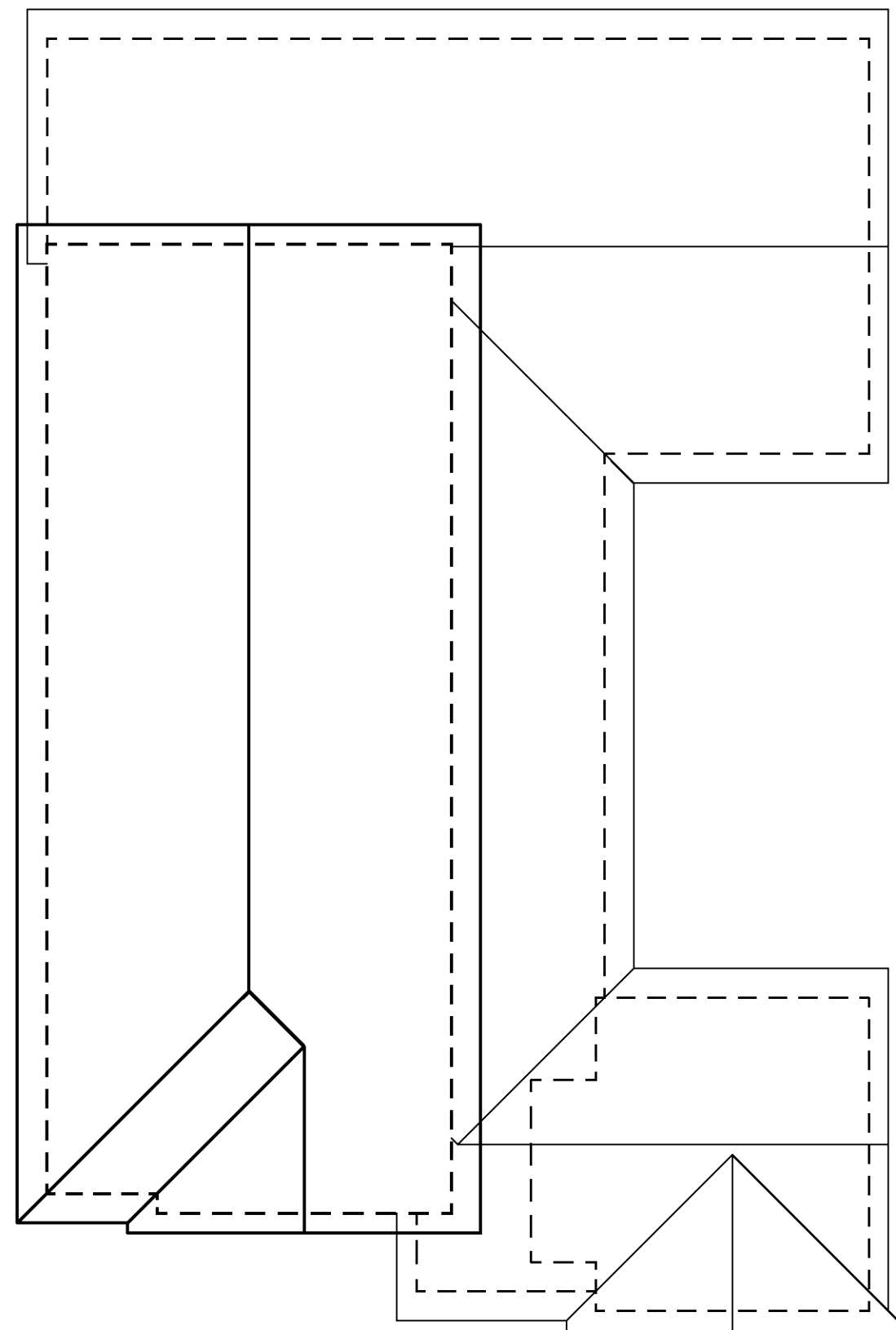
**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**

**ROHNERT PARK, CALIFORNIA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

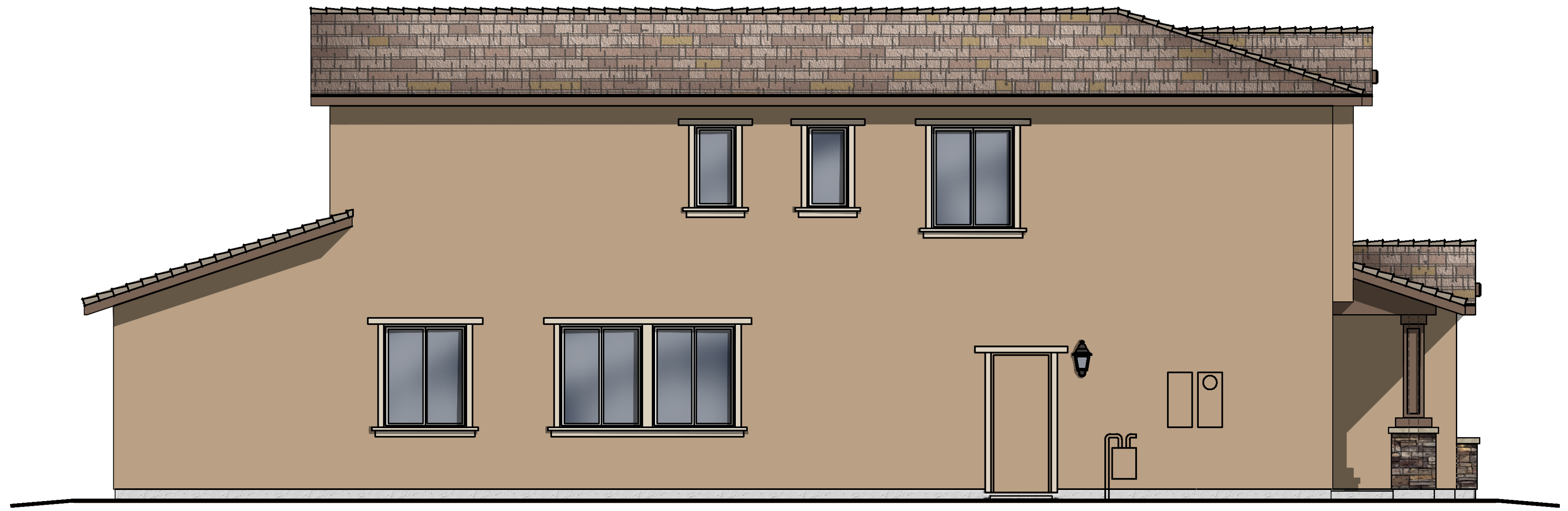
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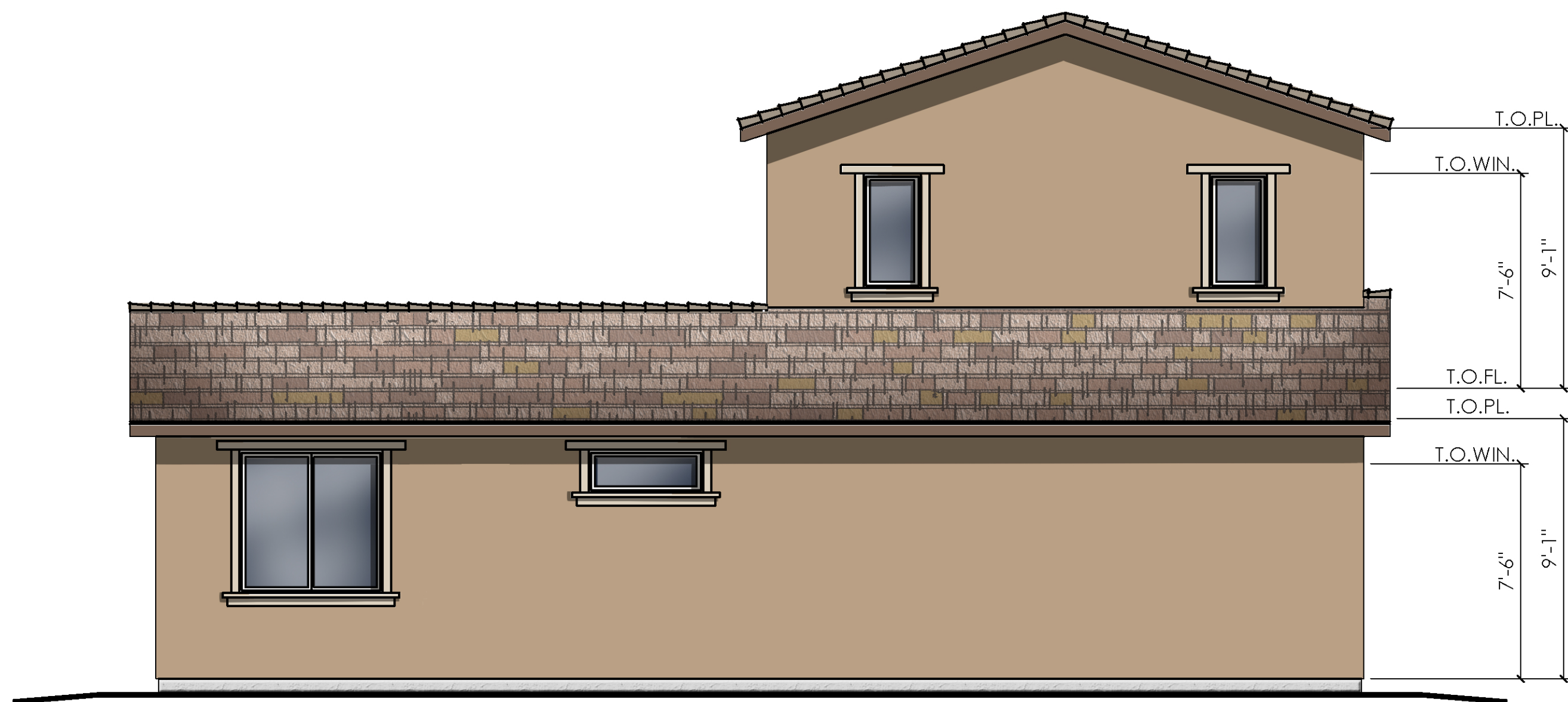
ROOF PLAN

SCALE: 1/8" = 1'-0"



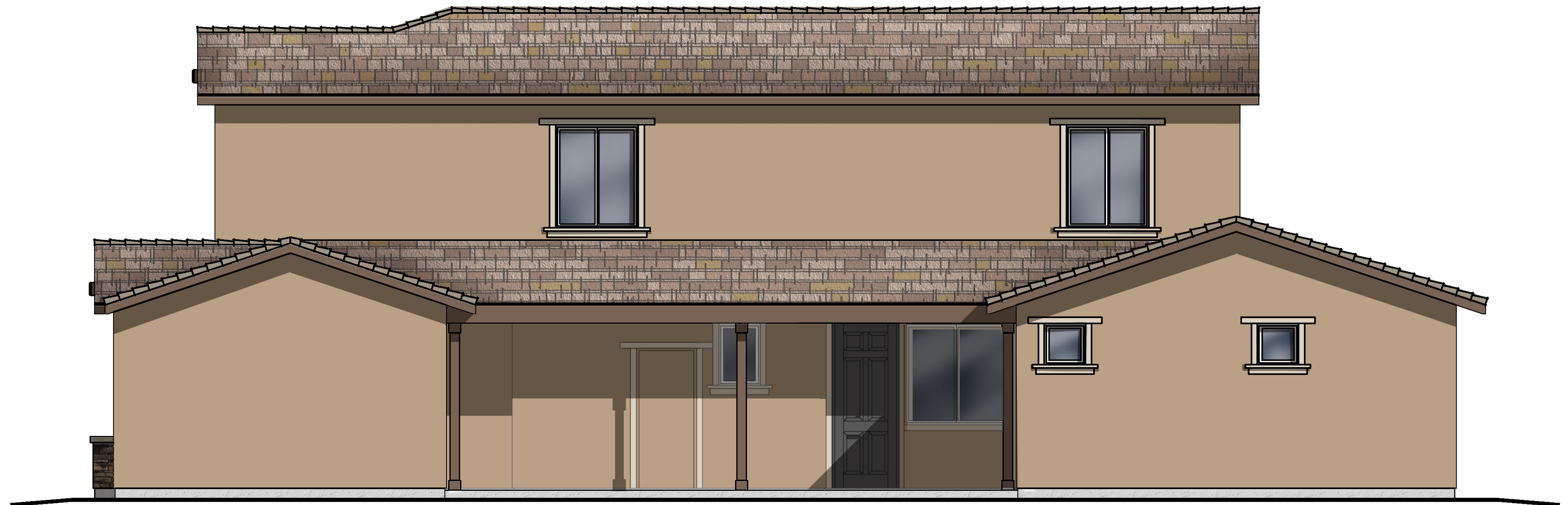
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

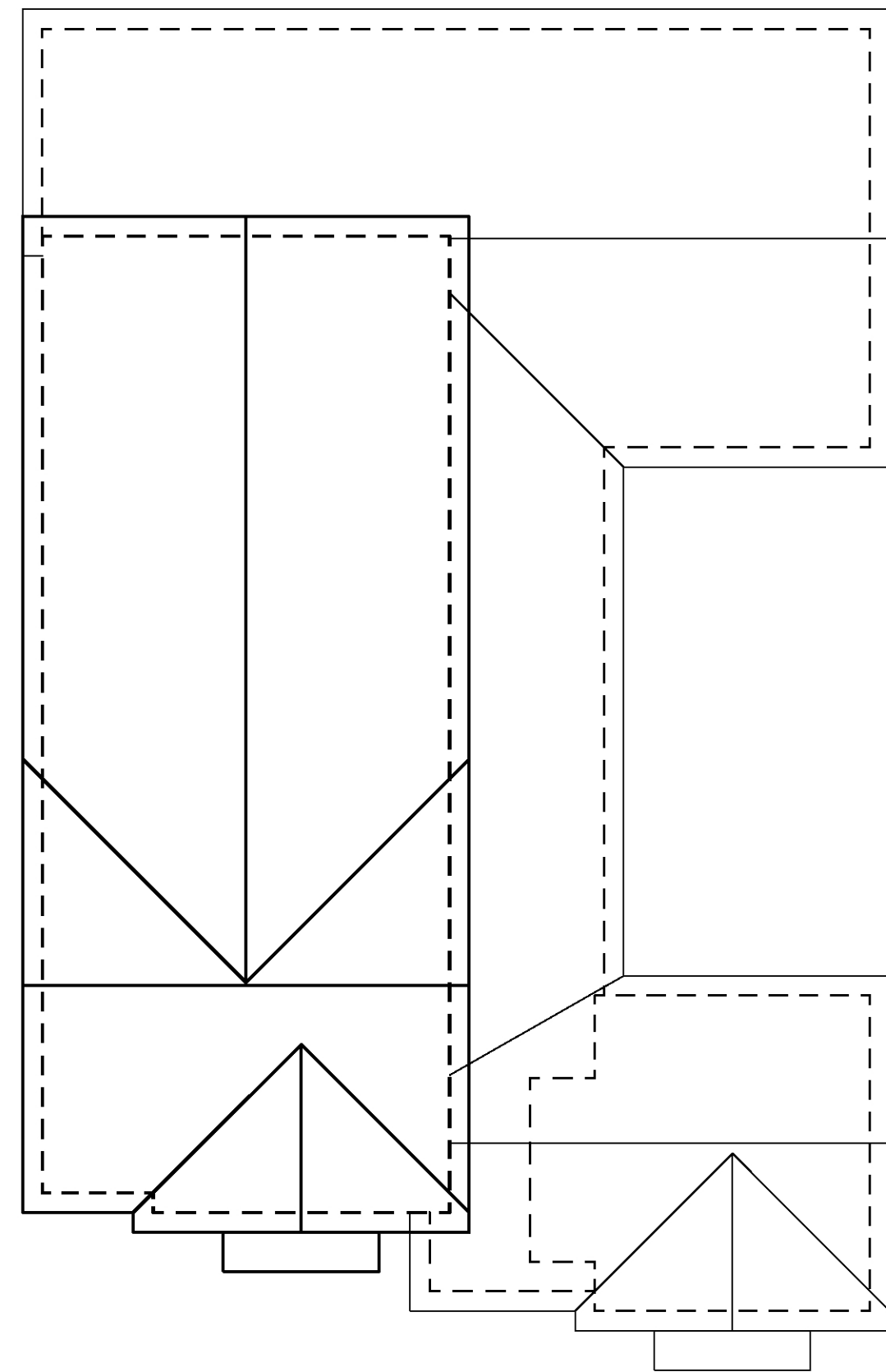
SCALE: 1/4" = 1'-0"

04.16.18

PLAN THREE | ELEVATION B | CRAFTSMAN  
**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**  
 ROHNERT PARK, CALIFORNIA

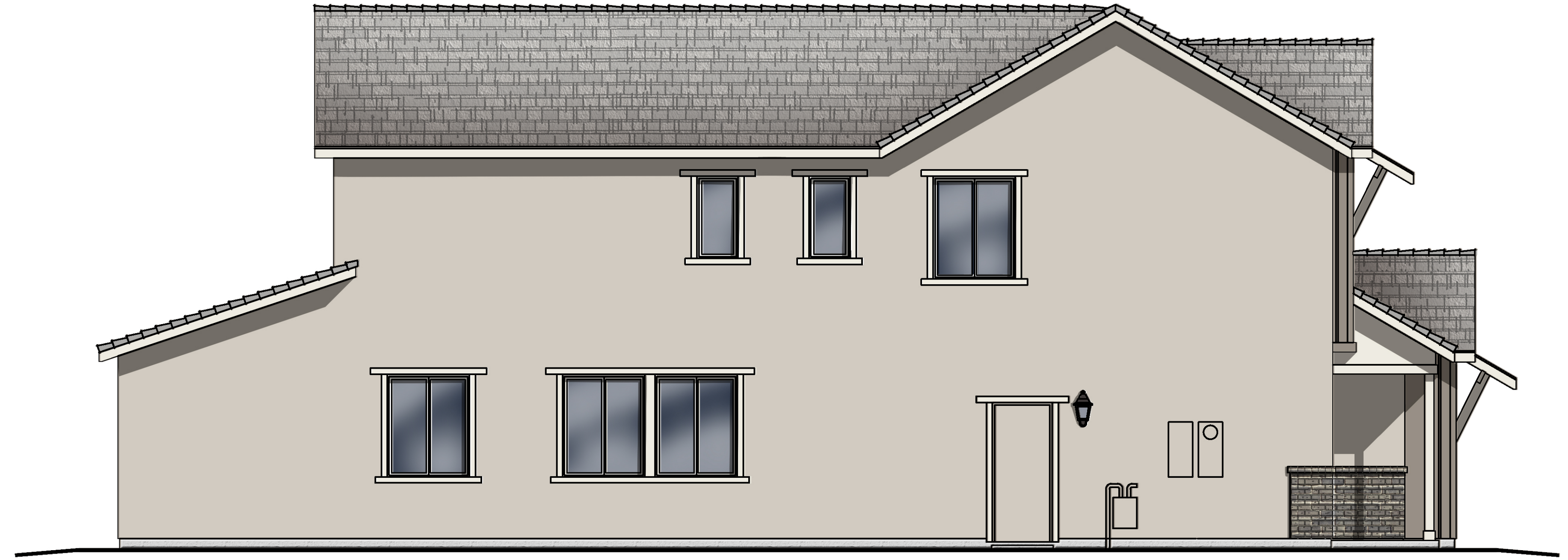
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
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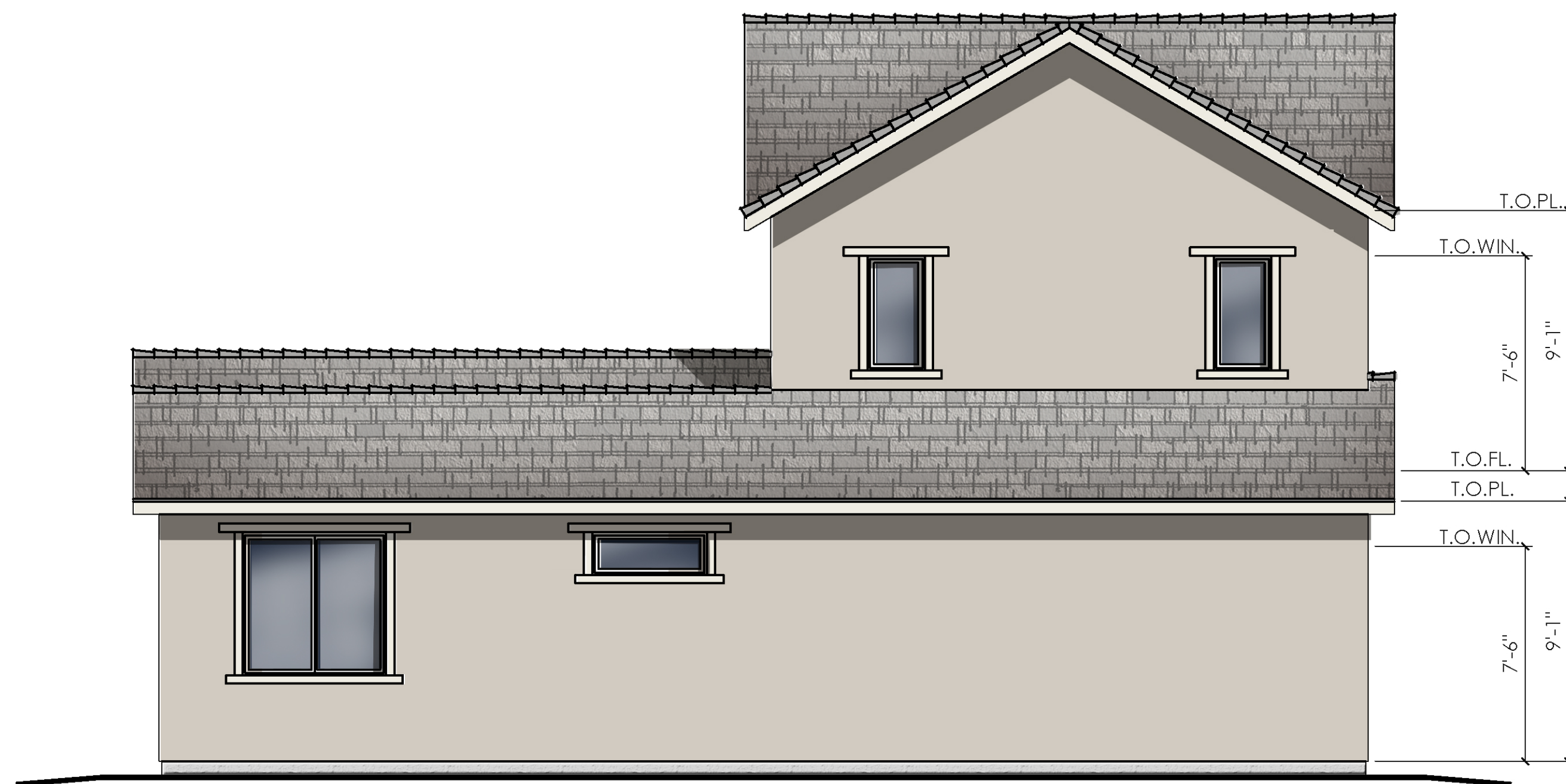
ROOF PLAN

SCALE: 1/8" = 1'-0"



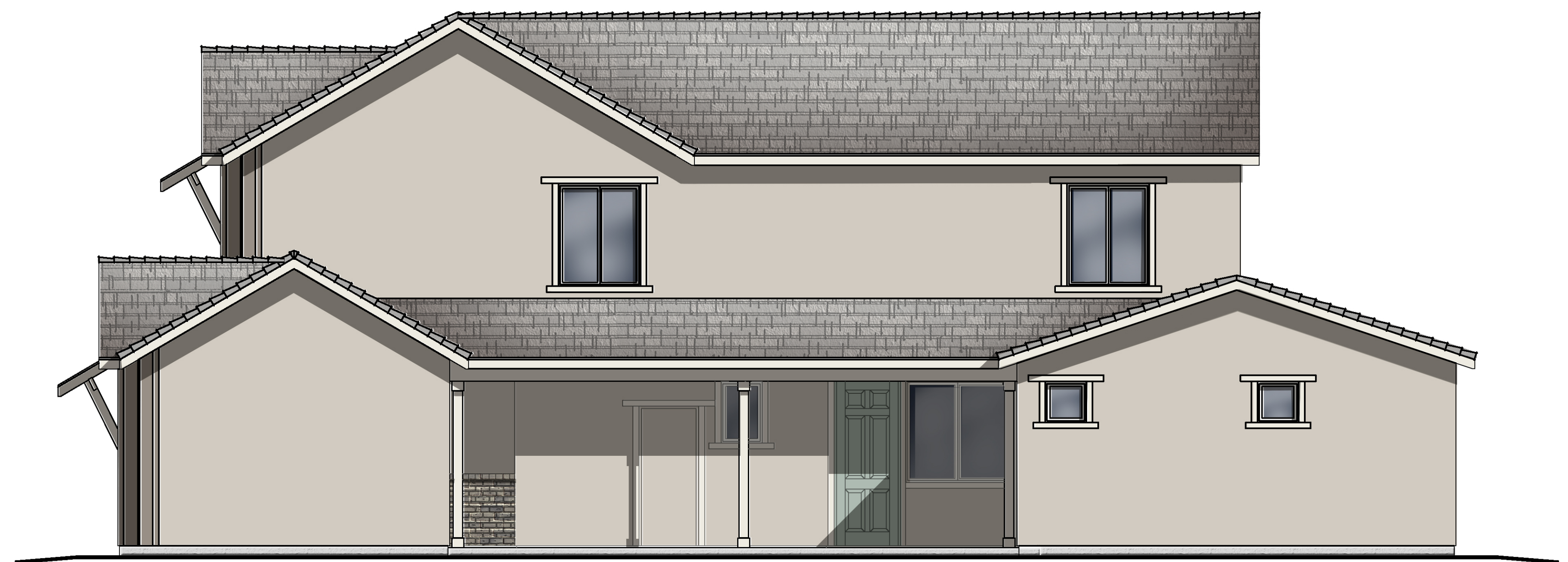
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

04.16.18

PLAN THREE | ELEVATION D | FARMHOUSE

**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**

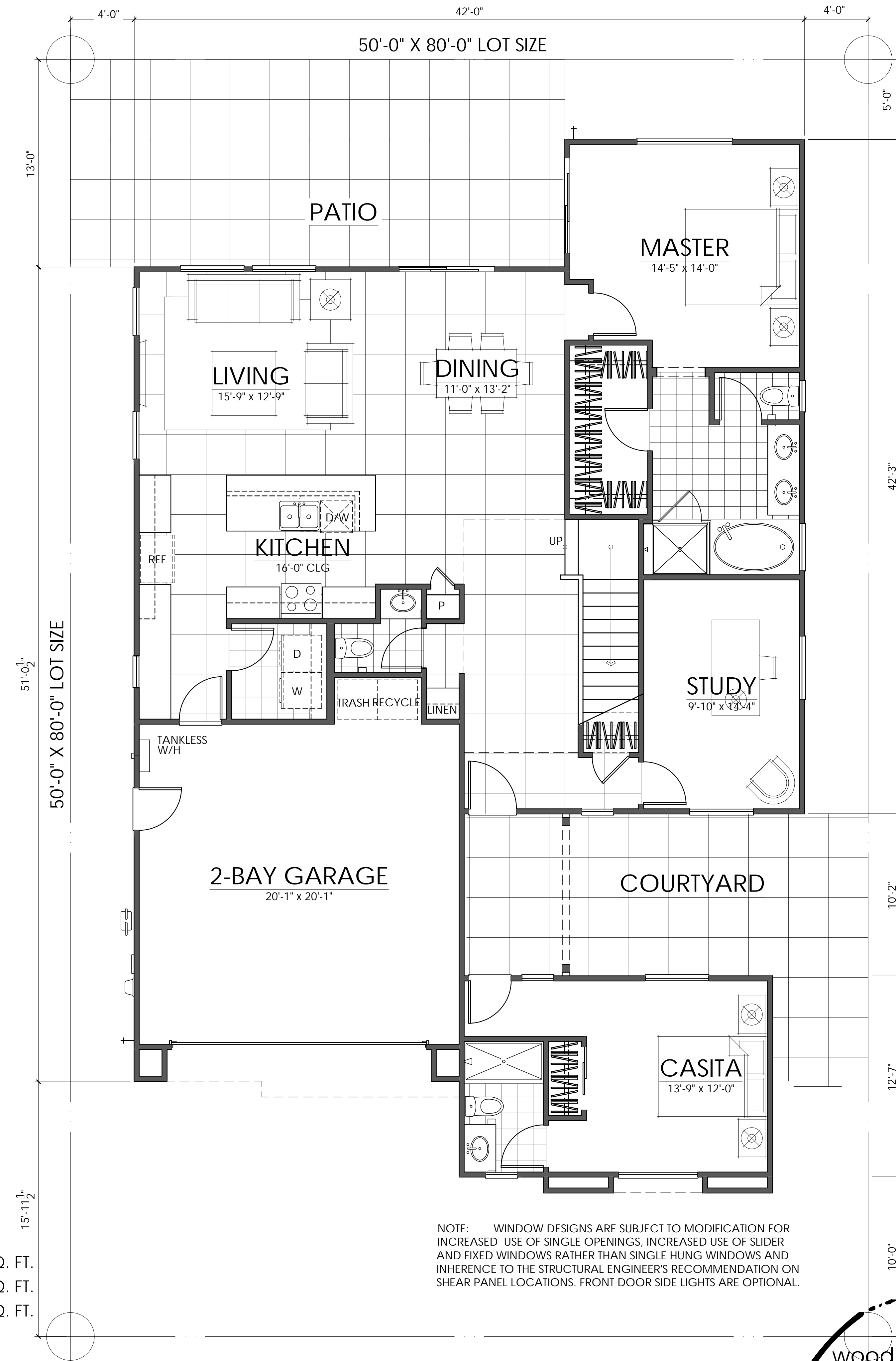
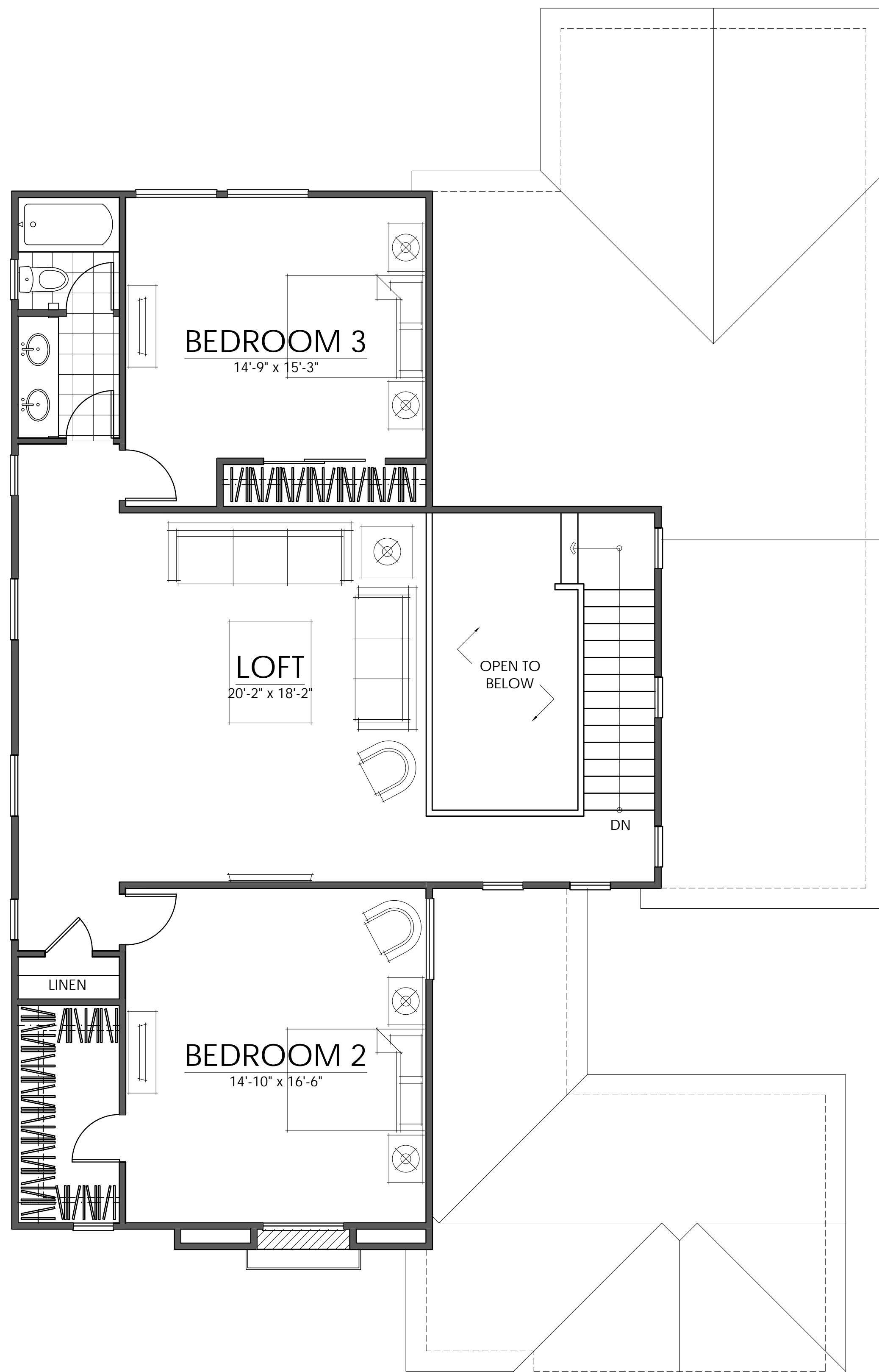
**ROHNERT PARK, CALIFORNIA**

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FIRST FLOOR	1675 SQ. FT.
SECOND FLOOR	1097 SQ. FT.
TOTAL LIVING	2772 SQ. FT.

NOTE: WINDOW DESIGNS ARE SUBJECT TO MODIFICATION FOR INCREASED USE OF SINGLE OPENINGS, INCREASED USE OF SLIDER AND FIXED WINDOWS RATHER THAN SINGLE HUNG WINDOWS AND INHERENCE TO THE STRUCTURAL ENGINEER'S RECOMMENDATION ON SHEAR PANEL LOCATIONS. FRONT DOOR SIDE LIGHTS ARE OPTIONAL.

04.16.18

# PLAN FOUR | 2772 SQ. FT.

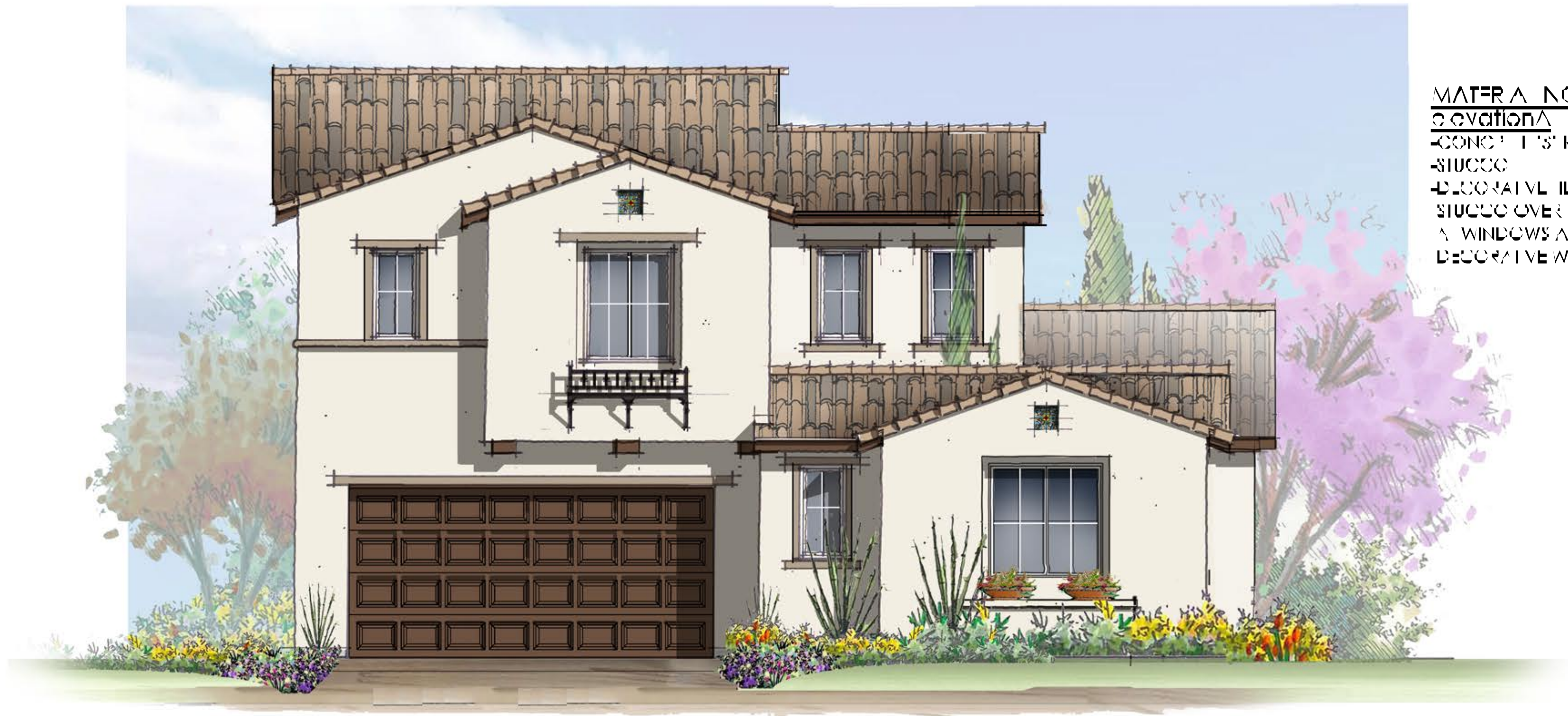
## SYCAMORE AT UNIVERSITY DISTRICT | SIGNATURE HOMES

ROHNERT PARK, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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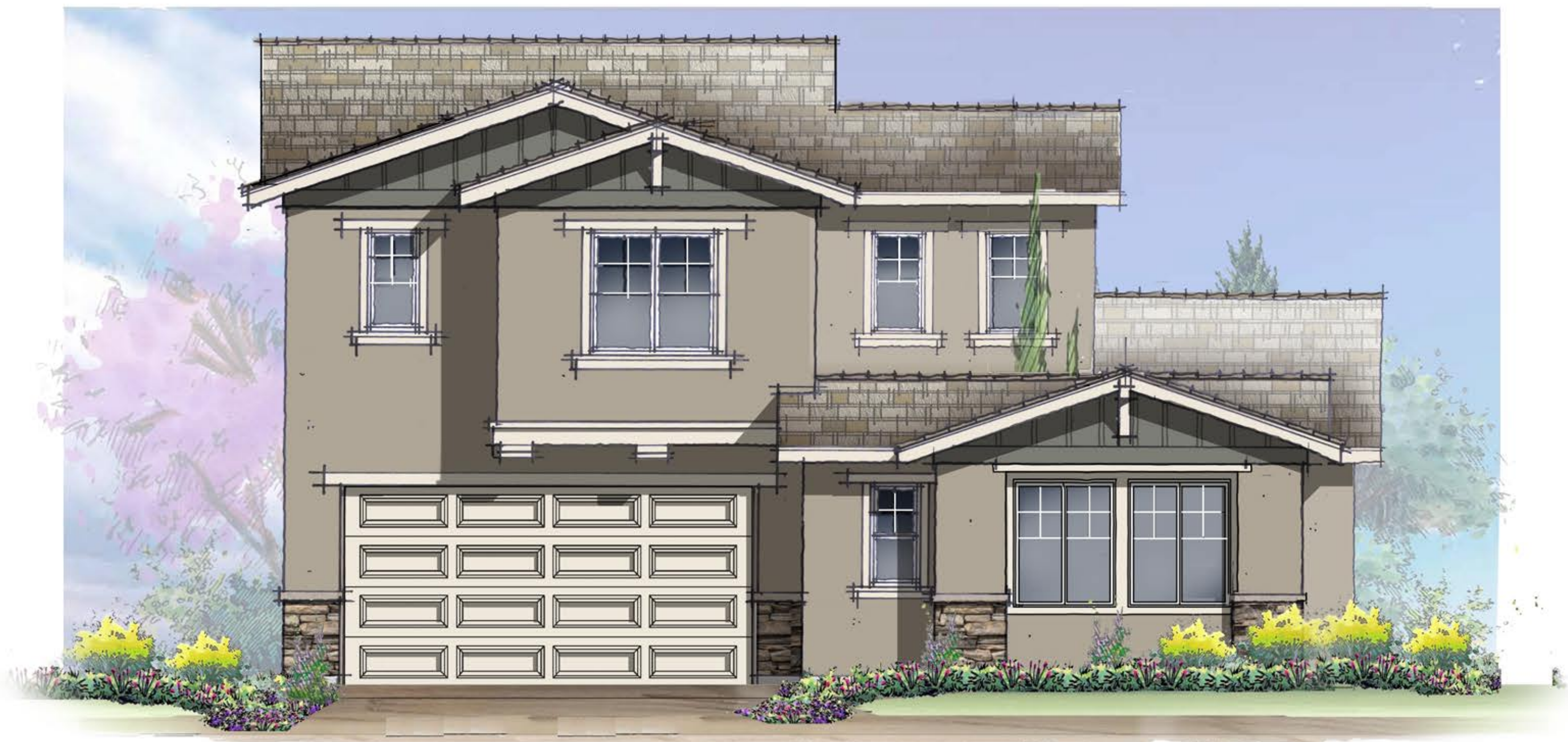




**MATERIAL NOTES**  
**ElevationA**  
-CONCRETE ROOF TILE  
-STUCCO  
-DECORATIVE IRON AT CABLE KIDS  
-STUCCO OVER FOAM TRIM  
-ALL WINDOWS AND DOORS  
-DECORATIVE WOODHIRON

elevationA - SPANISH

SCALE: 1/4" = 1'-0"



**MATERIAL NOTES**  
**ElevationB**  
-CONCRETE ROOF TILE  
-STUCCO  
-CEMENTitious BOARD & 3/4" x 1/2" STUCCO OVER FOAM TRIM  
-ALL WINDOWS AND DOORS  
-CULTURED STONE VENEER

elevationB - CRAFTSMAN

SCALE: 1/4" = 1'-0"

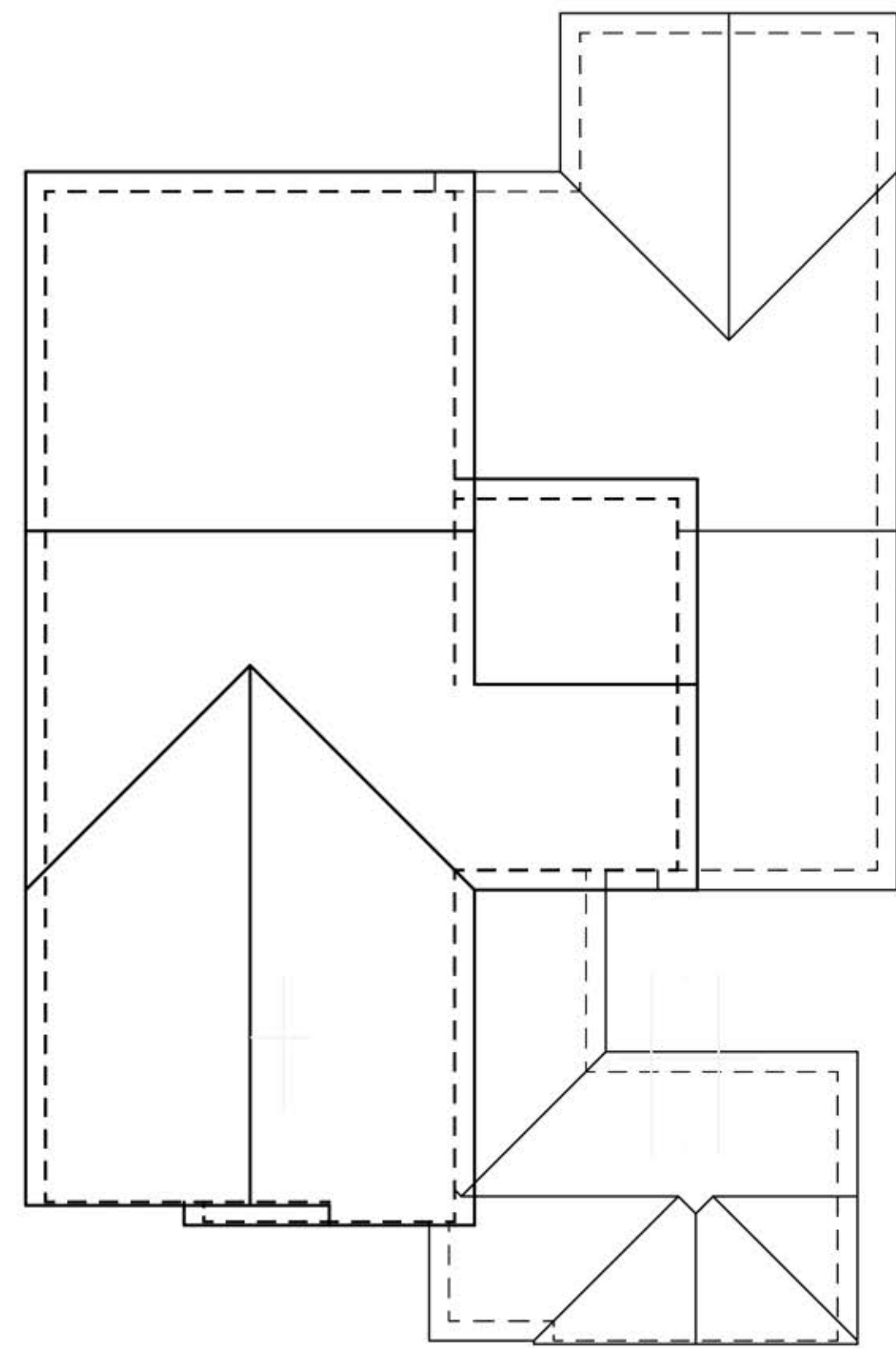


**MATERIAL NOTES**  
**ElevationC**  
-CONCRETE ROOF TILE  
-STUCCO  
-STUCCO OVER FOAM TRIM  
-ALL WINDOWS AND DOORS  
-DECORATIVE SHUTTERS

elevationC - ITALIAN

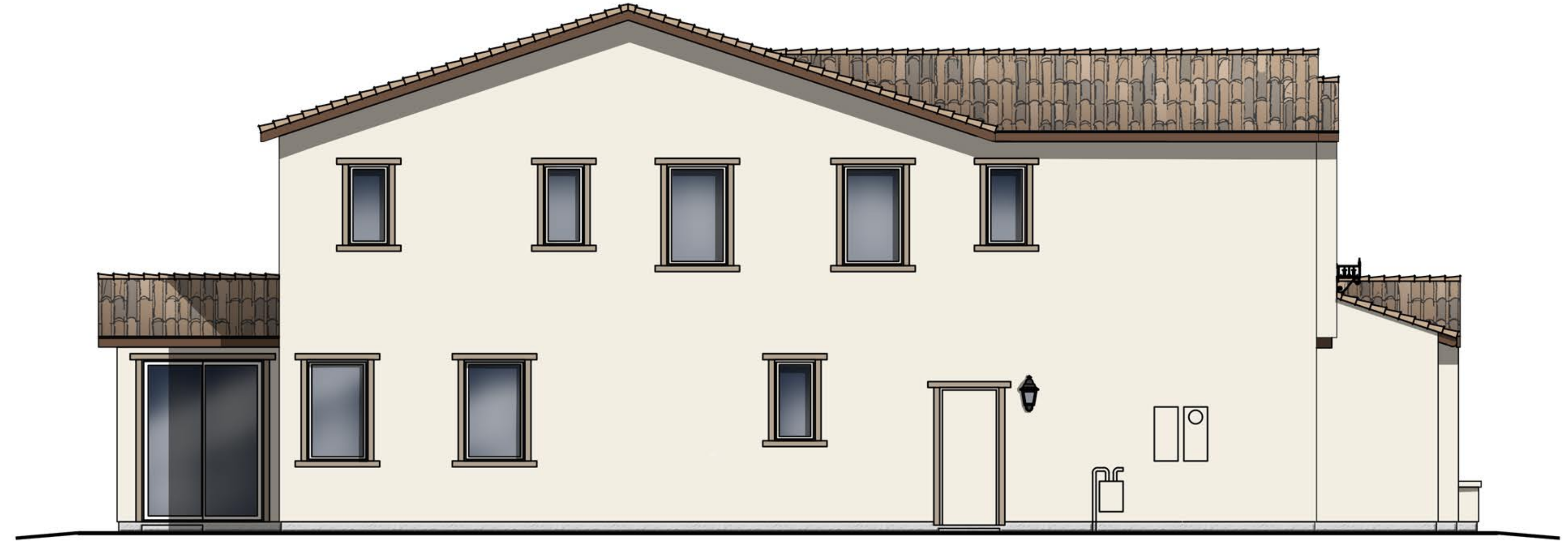
SCALE: 1/4" = 1'-0"





ROOF PLAN

SCALE: 1/8" = 1'-0"



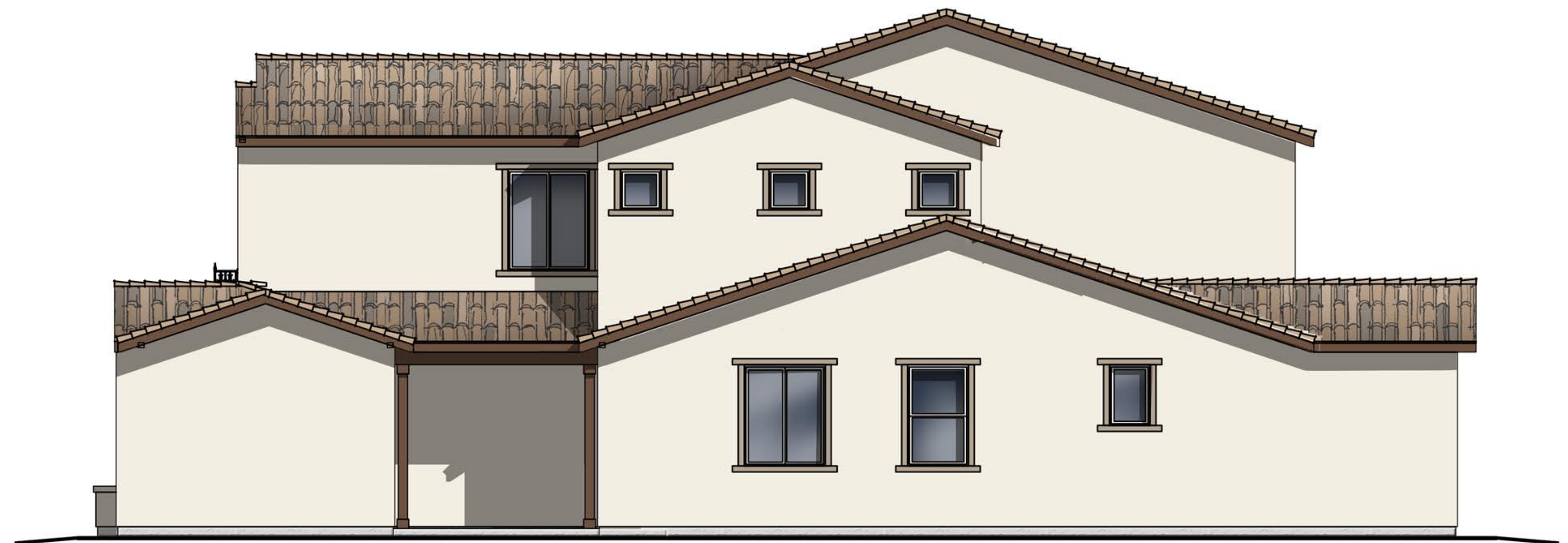
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

04.16.18

PLAN FOUR | ELEVATION A | SPANISH

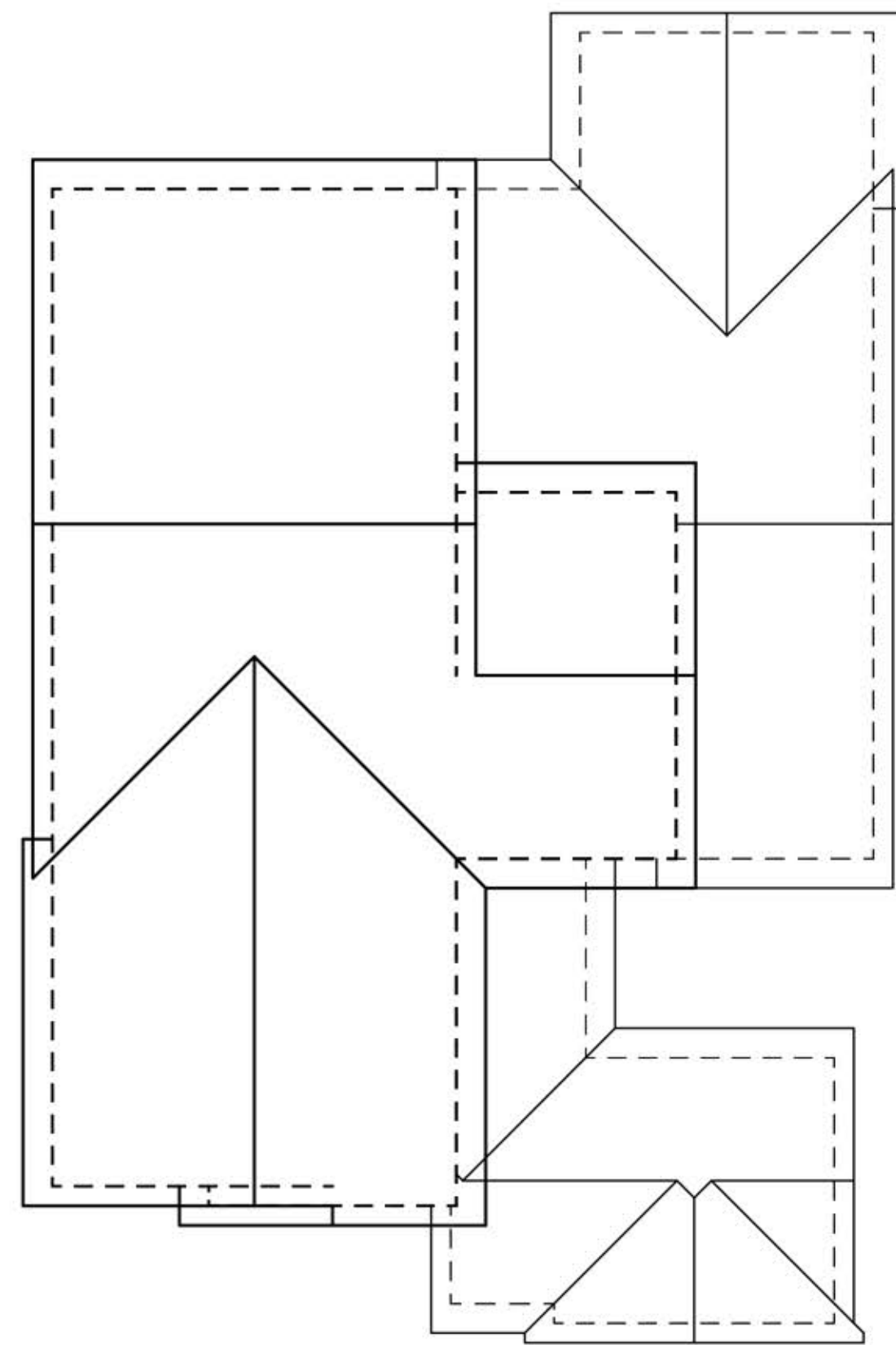
**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**

**ROHNERT PARK, CALIFORNIA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

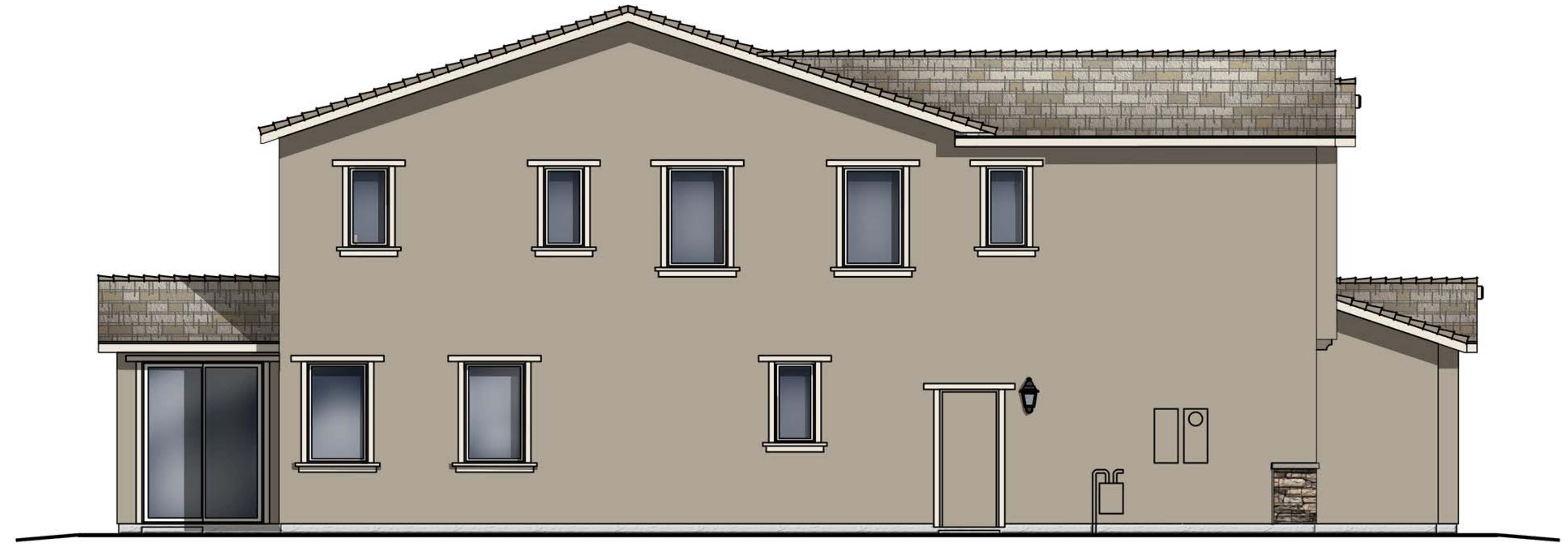
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ROOF PLAN

SCALE: 1/8" = 1'-0"



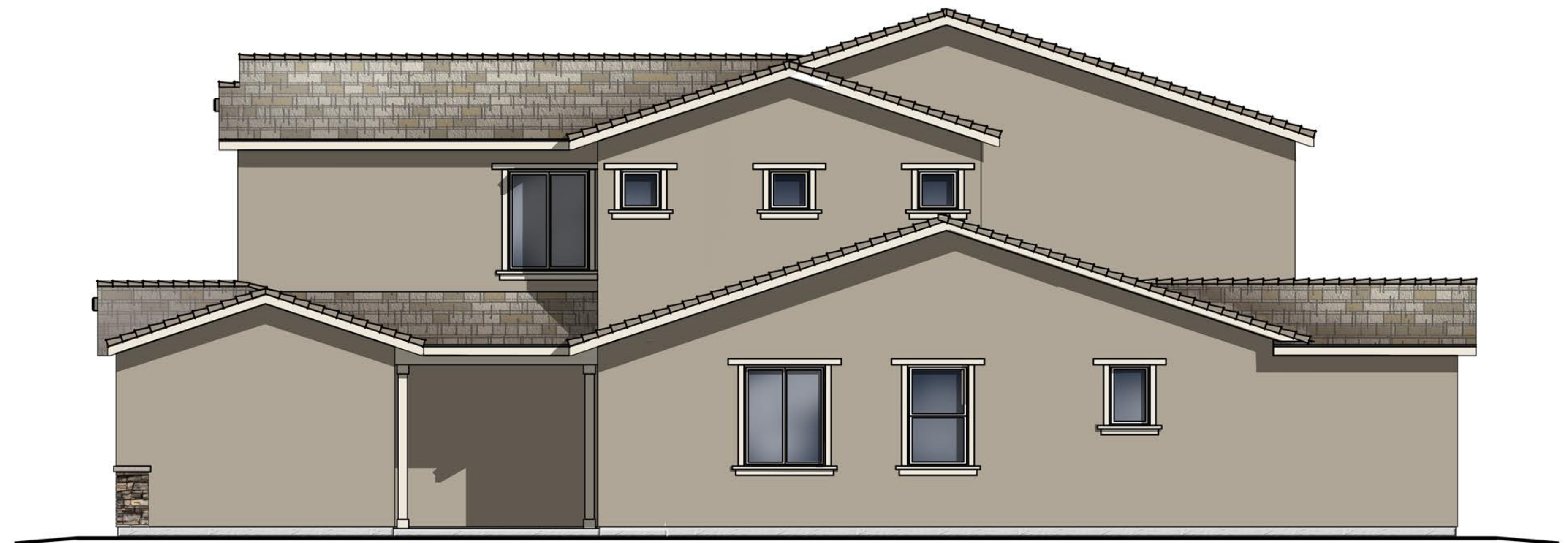
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

04.16.18

PLAN FOUR | ELEVATION B | CRAFTSMAN

**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**

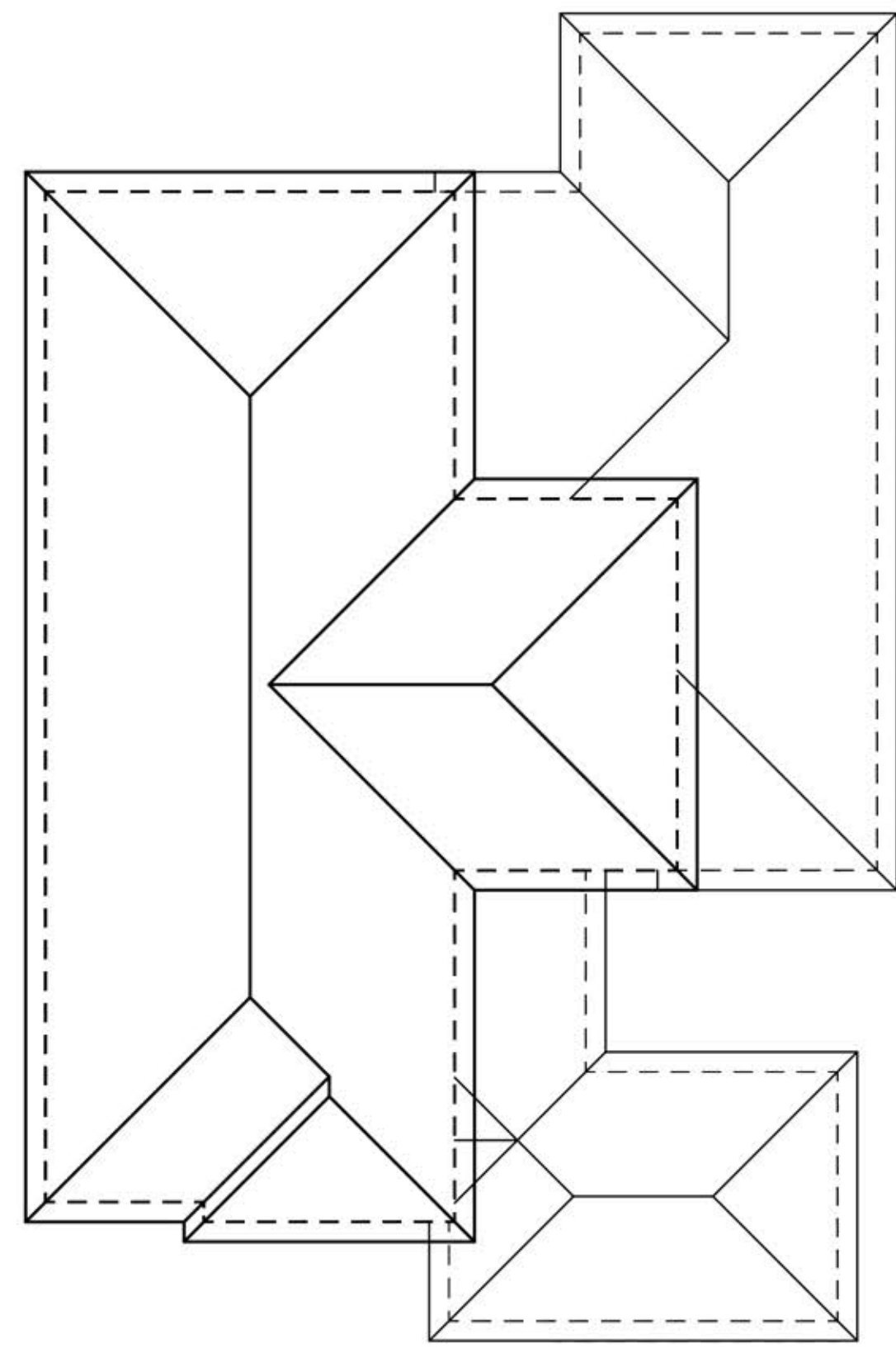
**ROHNERT PARK, CALIFORNIA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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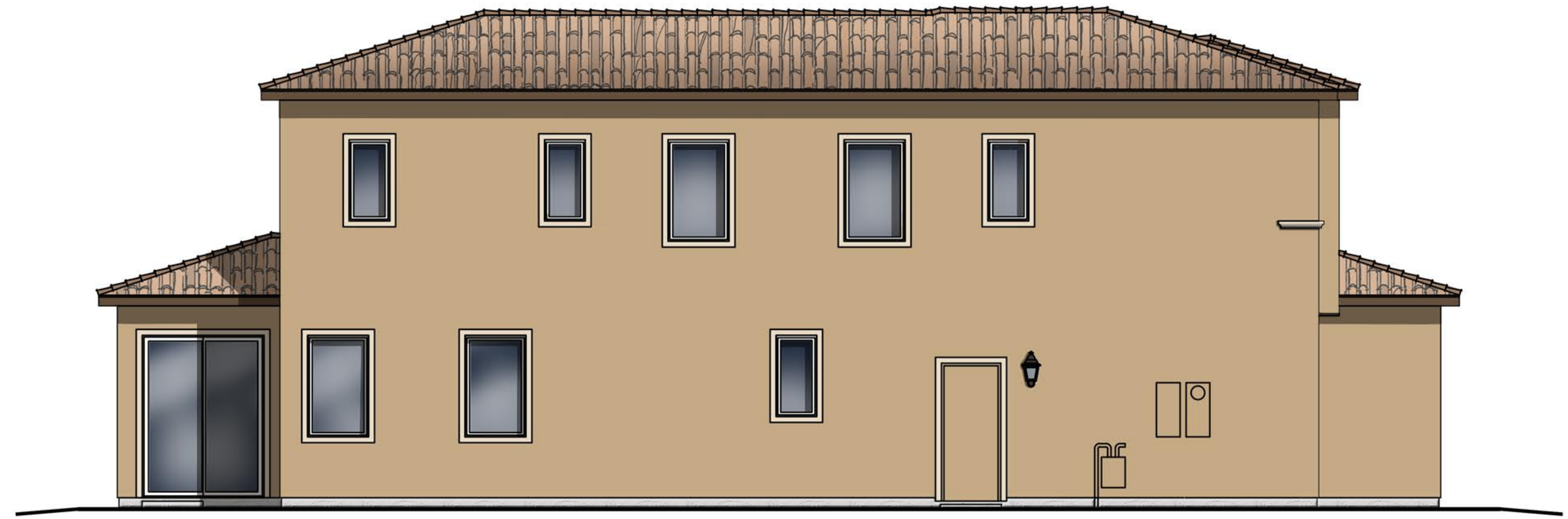






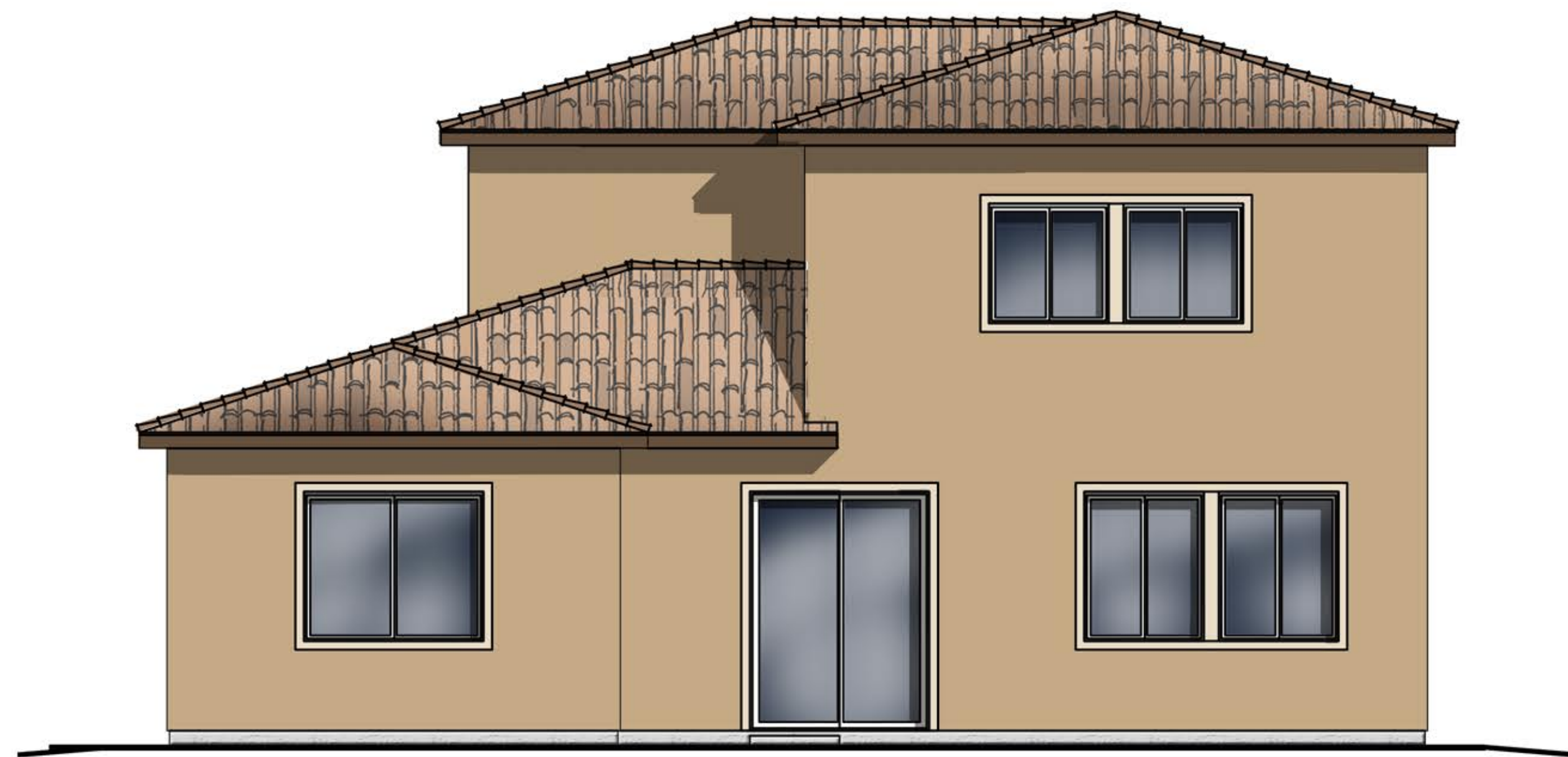
ROOF PLAN

SCALE: 1/8" = 1'-0"



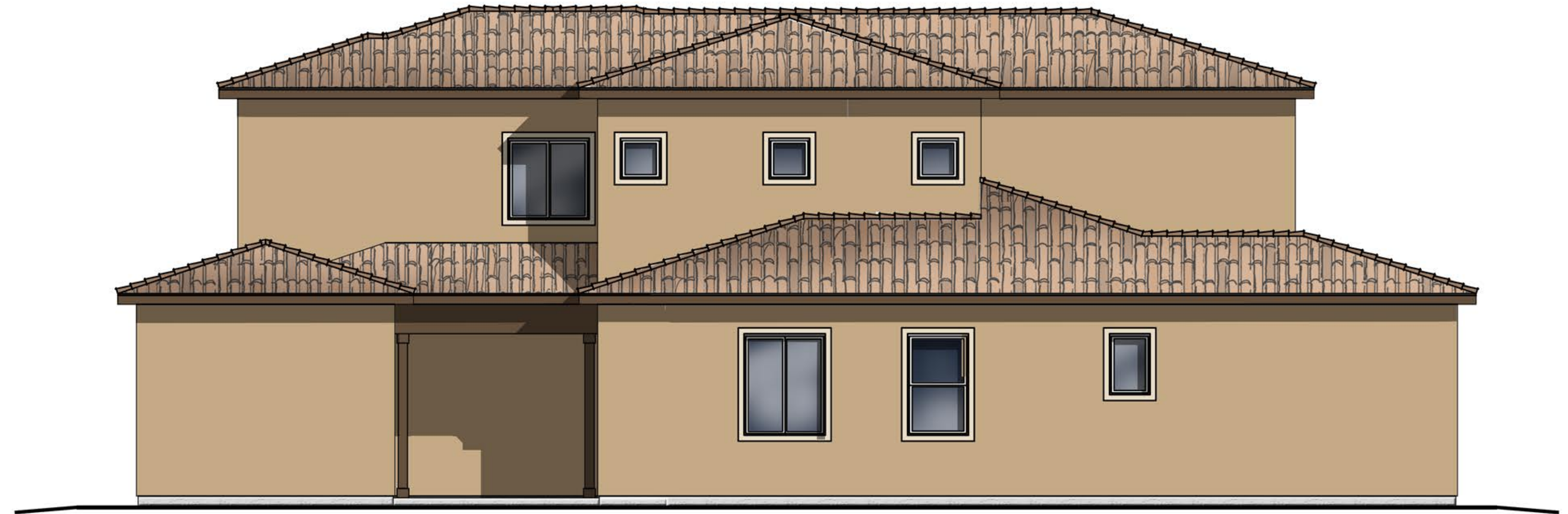
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

04.16.18

PLAN FOUR | ELEVATION C | ITALIAN

**SYCAMORE AT UNIVERSITY PARK | SIGNATURE HOMES**

**ROHNERT PARK, CALIFORNIA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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Signature Homes

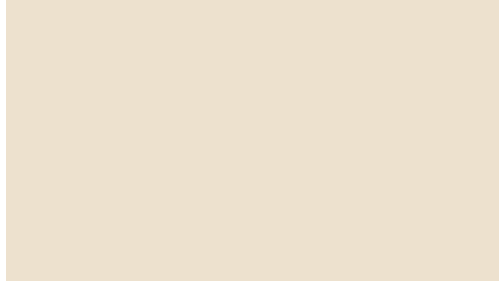
Color Schemes  
04.10.18







Roof Tile



Stucco



Trim



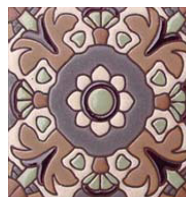
Fascia &  
Garage Door



Entry Door



Wrought Iron

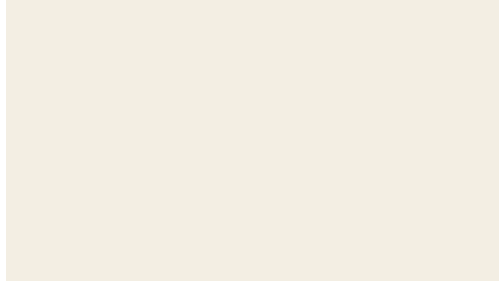


Decorative Tile





Roof Tile



Stucco



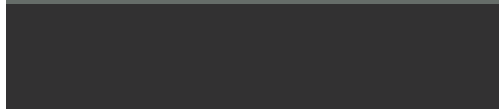
Trim



Fascia &  
Garage Door



Entry Door



Wrought Iron



Decorative Tile





Roof Tile



Stucco



Trim



Fascia &  
Garage Door



Entry Door



Wrought Iron

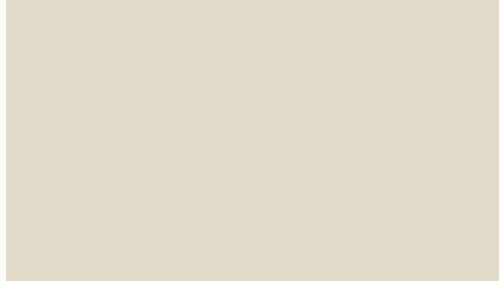


Decorative Tile





Roof Tile



Stucco



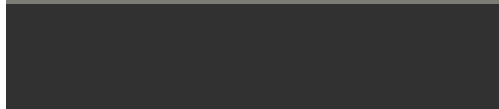
Trim



Fascia &  
Garage Door



Entry Door



Wrought Iron



Decorative Tile





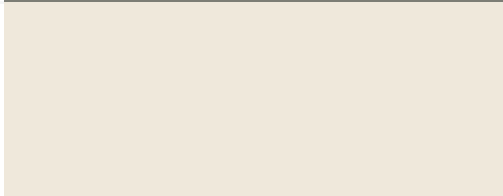
Roof Tile



Stucco



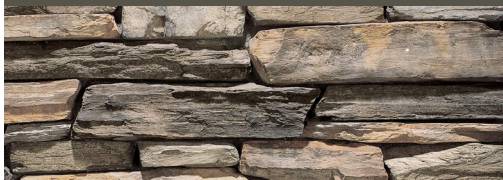
Siding



Trim, Fascia &  
Garage Door



Entry Door



Stone





Roof Tile

Stucco

Siding

Trim

Fascia &  
Garage Door

Entry Door

Stone





Roof Tile

Stucco

Siding

Trim

Fascia &  
Garage Door

Entry Door

Stone





Roof Tile

Stucco

Siding

Trim

Fascia &  
Garage Door

Entry Door

Stone

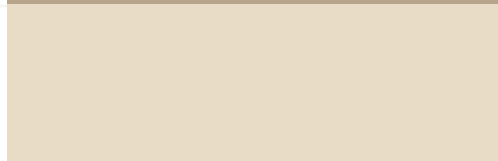




Roof Tile



Stucco & Fascia



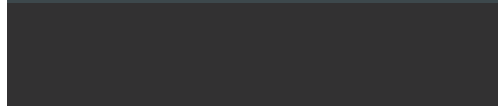
Trim



Garage Door



Entry Door & Shutters



Wrought Iron

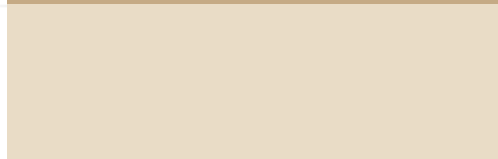




Roof Tile



Stucco & Fascia



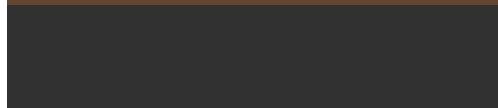
Trim



Garage Door



Entry Door & Shutters



Wrought Iron

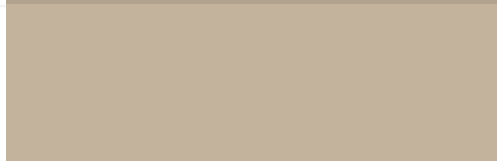




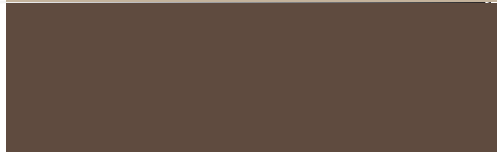
Roof Tile



Stucco & Fascia



Trim



Garage Door



Entry Door & Shutters



Wrought Iron





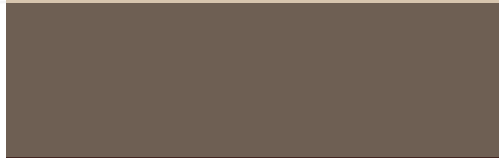
Roof Tile



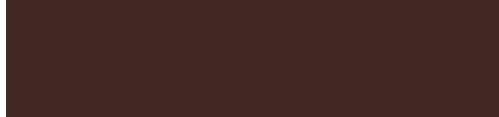
Stucco & Fascia



Trim



Garage Door



Entry Door & Shutters



Wrought Iron





Roof Tile

Stucco

Board & Batt Siding

Trim , Fascia &  
Garage Door

Entry Door

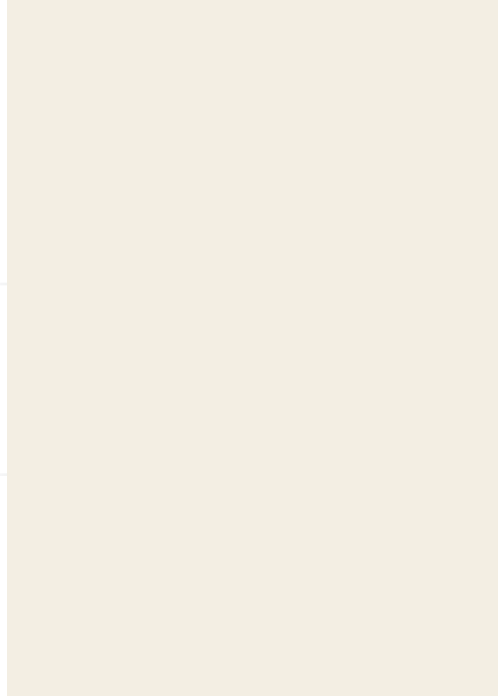
Shutters

Brick





Roof Tile



Stucco

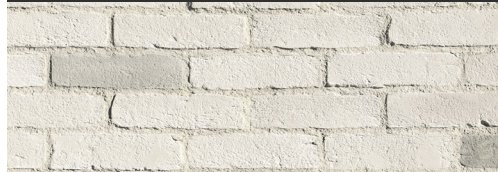


Board & Batt Siding

Trim , Fascia &  
Garage Door

Entry Door

Shutters



Brick

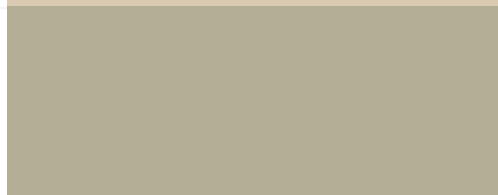




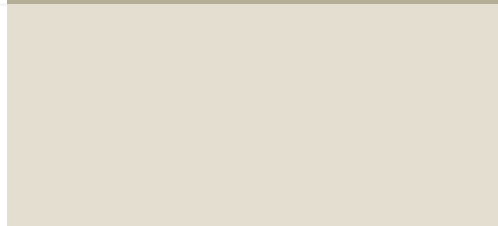
Roof Tile



Stucco



Board & Batt Siding



Trim , Fascia &  
Garage Door



Entry Door

Shutters



Brick





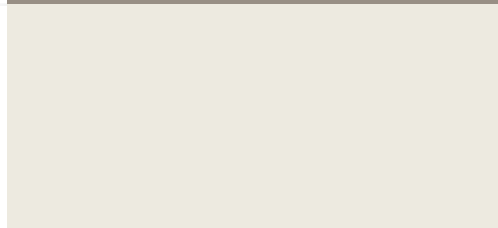
Roof Tile



Stucco



Board & Batt Siding



Trim , Fascia &  
Garage Door



Entry Door



Shutters



Brick



Paint: Sherwin Williams	Grout:Orco	Pre-cast : J Ginger Masonary, LP	04.10.18- Original Date
Roof: Eagle Roof Tile & CertainTeed	Stone & Brick: El Dorado Stone	Deco Tile: Rock Mill Tile & Stone	

Spanish-ELEVATION A	Scheme 1	Scheme 2	Scheme 3	Scheme 4
<b>ROOF</b>	3605	SMC-8403-CRRC	SCC8830	37646
<b>Eagle</b>	San Benito Blend	Santa Barbara	Albuquerque Blend	Desert Clay
<b>STUCCO</b>	SW 7571 Casa Blanca	SW 7566 Westhighland White	SW 7572 Lotus Pod	SW 7568 Neutral Ground
<b>TRIM</b>	SW 7539 Cork Wedge	SW 7507 Stone Lion	SW 7538 Tamarind	SW 7038 Tony Taupe
<b>FASCIA</b>	SW 6095 Toasty	SW 2807 Rockwood Medium Brown	SW 6089 Grounded	SW 7026 Griffin
<b>GARAGE DOOR</b>	SW 6095 Toasty	SW 2807 Rockwood Medium Brown	SW 6089 Grounded	SW 7026 Griffin
<b>ENTRY DOOR</b>	SW 7740 Messenger Bag	SW 7622 Homburg Gray	SW 6062 Rugged Brown	SW 7060 Attitude Gray
<b>WROUGHT IRON</b>	SW 6991 Black Magic	SW 6991 Black Magic	SW 6991 Black Magic	SW 6991 Black Magic
<b>DECORATIVE TILE</b>	FD 204-A 	FD 193B 	FD 130(b) 	SB-202A 



Craftsman-ELEVATION B	Scheme 5	Scheme 6	Scheme 7	Scheme 8
<b>ROOF</b> <b>CertainTeed</b>	Georgetown Gray Landmark	Weathered Wood Landmark	Heather Blend Landmark	Weathered Wood Landmark
<b>STUCCO</b>	SW 7052 Gray Area	SW 6108 Latte	SW 0024 Curio Gray	SW 7512 Pavillion Beige
<b>CEMENTITIOUS WOOD SIDING</b>	SW 7060 Attitude Gray	SW 6110 Steady Brown	SW 7515 Homestead Brown	SW 7025 Backdrop
<b>TRIM</b>	SW 7012 Creamy	SW 7531 Canvas Tan	SW 7572 Lotus Pod	SW 7011 Natural Choice
<b>FASCIA</b>	SW 7012 Creamy	SW 6082 Cobble Brown	SW 7027 Well Bred Brown	SW 7026 Griffin
<b>GARAGE DOOR</b>	SW 7012 Creamy	SW 6082 Cobble Brown	SW 7027 Well Bred Brown	SW 7026 Griffin
<b>ENTRY DOOR</b>	SW 2846 Roycroft Bronze Green	SW 7067 Cityscape	SW 2803 Rockwood Terra Cotta	SW 6223 Still Water
<b>STONE</b> <b>STONE GROUT</b>	Saratoga Rustic Ledge Drystack	Sierra Mountain Ledge Drystack	Cascade Rustic Ledge Drystack	Bitterroot Mountain Ledge Drystack



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Exterior color schedule





Italian -ELEVATION C	Scheme 9	Scheme 10	Scheme 11	Scheme 12
<b>ROOF</b>	3581	3645	3687	3702
<b>Eagle</b>	Canyon Brown	Sunrise Blend	Brown Gray Range	Calabar Blend
<b>STUCCO</b>	SW 7534 Outerbanks	SW 6122 Camelback	SW 7546 Prairie Grass	SW 9093 Nearly Brown
<b>TRIM</b>	SW 6119 Antique White	SW 6126 NavajoWhite	SW 7530 Barcelona Beige	SW 6106 Kilm Beige
<b>FASCIA ( BUILT UP STUCCO)</b>	SW 7534 Outerbanks	SW 6122 Camelback	SW 7546 Prairie Grass	SW 9093 Nearly Brown
<b>GARAGE DOOR</b>	SW 7515 Homestead Brown	SW 6104 Kaffee	SW 6083 Sable	SW 7515 Heastead Brown
<b>ENTRY DOOR &amp; SHUTTERS</b>	SW 7625 Mount Etna	SW 6090 Java	SW 6152 Superior Bronze	SW 2838 Polished Mahogany
<b>WROUGHT IRON</b>	SW 6991 Black Magic	SW 6991 Black Magic	SW 6991 Black Magic	SW 6991 Black Magic
<b>Pre-Cast</b>	Silverstone	Linen	Silverstone	Silverstone
<b>Pre-Cast Texture</b>	TBD	TBD	TBD	TBD



Sycamore at University Park | Signature Homes  
Woodleyarchitecturalgroup, Inc.  
Exterior color schedule





Farmhouse-ELEVATION D	Scheme 13	Scheme 14	Scheme 15	Scheme 16
<b>ROOF</b> CertainTeed	Heather Blend Landmark	Moire Black Landmark	Weathered Wood Landmark	Georgetown Gray Landmark
<b>STUCCO</b>	SW 7513 Sanderling	SW 7566 Westhighland White	SW6141 Softer Tan	SW 7029 Agreeable Gray
<b>BOARD &amp; BATT SIDING</b>	SW 6054 Canyon Clay	SW 7566 Westhighland White	SW2860 Sage	SW 9168 Elephant Ear
<b>TRIM</b>	SW 7035 Aesthetic White	SW 7566 Westhighland White	SW7011 Natural Choice	SW 7008 Alabaster
<b>FASCIA</b>	SW 7035 Aesthetic White	SW 7566 Westhighland White	SW7011 Natural Choice	SW 7008 Alabaster
<b>GARAGE DOOR</b>	SW 7035 Aesthetic White	SW 7566 Westhighland White	SW7011 Natural Choice	SW 7008 Alabaster
<b>ENTRY DOOR</b>	SW 2808 Rookwood Dark Brown	SW 6335 Fire Brick	SW2856 Fairfax Brown	SW 6212 Quietude
<b>SHUTTERS</b>	SW 2808 Rookwood Dark Brown	SW 6990 Caviar	SW2856 Fairfax Brown	SW 7020 Black Fox
<b>BRICK</b>	Bracciano Roma Brick	Chalk Dust Tundra Brick	Latigo Tundra Brick	Ashland Tundra Brick
<b>BRICK GROUT COLOR</b>	Light Khaki	OBP Soft White	Mac Soft Tan	OBP Grey

**Notes:**

\*Stone & Brick to be El Dorado Stone. Please Contact Melissa Zepeda: 949.275.4533 or melissa.zepeda@boral.com

\*Roof to be Eagle Roofing: Please Contact Michele Morse 714.981.3605 or michelem@eagleroofting.com

\*Decorative Tile to be Rock Mill Tile & Stone: Please Contact Veronica Abbot 949.233.9133 or VeronicaA@rockmillstone.com

Paint breaks to be turned and finished at inside corner unless noted otherwise. All non-decroative items such as meter doors & non-decorative vents are to be painted the same color as the surrounding color. All metal roof vents to be painted to match the darkest color from the roofing blend.



Sycamore at University Park | Signature Homes  
Woodleyarchitecturalgroup, Inc.  
Exterior color schedule

