



## City of Rohnert Park Planning Commission Report

**DATE:** January 11, 2018  
**ITEM NO:** 9.3  
**AGENDA TITLE:** PLSR17-0016 Site Plan and Architectural Review for Senior Center  
**ENTITLEMENTS:** Site Plan and Architectural Review  
**LOCATION:** 6800 Hunter Drive, APN 143-051-061  
**GP / ZONING:** Public Institutional / P-I: Public Institutional  
**APPLICANT:** Terrie Zwilling, City of Rohnert Park

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### RECOMMENDATION

Staff recommends approval of the Site Plan and Architectural Review of the Senior Center Roof and Siding Replacement. This proposal is in accordance with the City Design Guidelines.

### SUMMARY

The applicant has proposed replacing the roofing and siding materials for the Rohnert Park Senior Center. The proposal is to replace the roof with similar materials and replace the existing cedar shingle fascia with board and batten siding. The exterior walls will also be repainted with earth tone colors. The subject site is designated in the General Plan as Regional Commercial, and is accordingly zoned C-R: Regional Commercial.

Figure 1 – Project Location



## **BACKGROUND**

### **Surrounding Land Uses**

The subject site is located on the northeast corner of Hunter Drive and Enterprise Drive in the Central Rohnert Park area. The property is south of both the Safeway and Raley's shopping centers. To the east of the site are the Altamont Senior Apartments and several apartment complexes are located to the south of Enterprise Drive. Commercial uses are located to west of the site along Enterprise Drive and Hunter Drive.

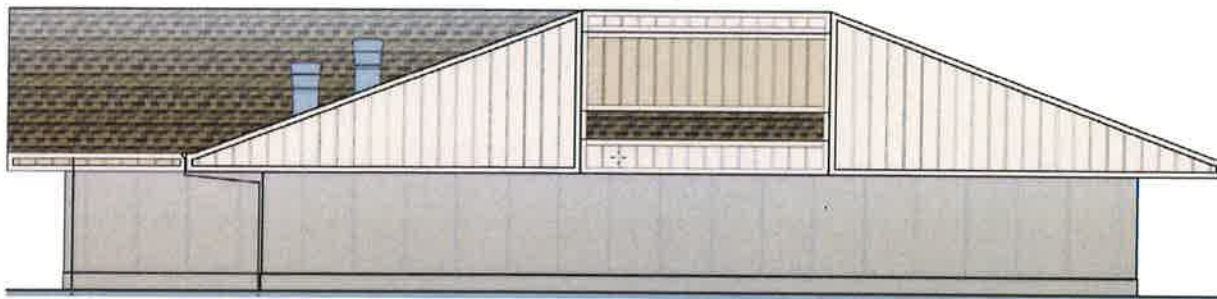
Table 1 - Surrounding Land Uses

	<b>Existing Land Use</b>	<b>GP Designation</b>
<b>Subject Site</b>	Senior Center	Public / Institutional
<b>North</b>	Shopping Center	Regional Commercial
<b>East</b>	Multi-family Residential	High Density Residential
<b>South</b>	Multi-family residential	High Density Residential
<b>West</b>	Commercial uses (retail, services, office)	Regional Commercial

Figure 2 – Existing Photo



Figure 3 – Project Rendering



## **ANALYSIS**

### **General Plan**

This project implements the following General Plan Goals and Policies, as follows:

- Goal LU-L. Establish Central Rohnert Park as a complete community with distinctive mixed use areas.

*Staff Analysis: The senior center provide a center of activity for the Central Rohnert Park area. Many seniors live in the immediate area, include the neighboring Altamont and the nearby Copeland Creek Senior Apartment Homes south of Enterprise Drive.*

- Policy LU-57. Encourage existing property owners in Central Rohnert Park to upgrade their properties to support public places and improve the character along the street and retail frontages.

*Staff Analysis: The City will be setting a positive example for other development in the immediate vicinity by improving the appearance of the senior center. This could spur other property investment in the area.*

### **Zoning Regulations**

The Senior Center is located within the *P-I: Public Institutional* zoning district. It is an existing building and complies with all current development standards. The public/institutional district is intended to provide sites for public uses, such as government centers and educational facilities. This district also allows for public and private facilities that are necessary to the functioning of the city. The Senior Center is a permitted use in the district

### **Design Guidelines**

This project is consistent with Design Guidelines established for the Central Rohnert Park, Priority Development Area Plan, as follows:

- Materials, Colors, and Finishes
  - High-quality materials should be used on the ground floor, to enhance the pedestrian experience.
  - Durable exterior material should be used on all sides of buildings.
  - A complementary color palette using neutral shades or otherwise, in colors compatible with adjacent and nearby buildings, should be used as the predominant color on a building.

*Staff Analysis: The replacement of the existing siding will enhance the exterior of the building. The existing cedar shingles are deteriorating will be replace with board and batten siding composed of a durable hardy board materials. The new colors for the exterior walls will be lighter than the existing and more consistent with surrounding buildings. The new siding is expected to be more durable and resilient to the local climate.*

- Service Areas and Mechanical Equipment
  - Mechanical equipment should be incorporated in the design of the buildings or screened with a solid enclosure and landscaping.

*Staff Analysis: HVAC equipment is located on the roof of the senior center and the roof is designed to screen the equipment from view. The new construction will continue to screen this equipment.*

### **ENVIRONMENTAL DETERMINATION**

This proposal is categorically exempt from the requirements of the California Environmental Quality Act CEQA Class 1 Section 15301 Existing Facilities. No further action is required pertaining to environmental review.

### **NOTIFICATION**

Agenda was posted as required. No additional notice is required for a SPAR application.

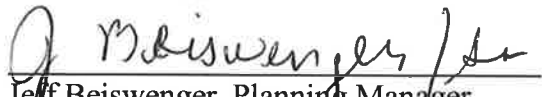
### **Attachments**

1. Resolution 2018-03 Approving the Site Plan and Architectural Review of the Senior Center Roof and Siding Replacement. (APN 143-051-061) File No. PLSR17-0016

Exhibit A – Architectural Submittal

Exhibit B – Materials and Color Scheme

### **APPROVALS:**

  
Jeff Beiswenger, Planning Manager

1.5.18  
Date

**PLANNING COMMISSION RESOLUTION NO. 2018-03**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF ROHNERT PARK, CALIFORNIA, APPROVING SITE PLAN AND  
ARCHITECTURAL REVIEW FOR THE ROHNERT PARK SENIOR CENTER  
LOCATED AT 6800 HUNTER DRIVE (APN 143-051-061) FILE NO. PLSR17-0016**

**WHEREAS**, the applicant, the City of Rohnert Park has submitted a Site Plan and Architectural Review to complete roofing and façade improvements for the City's Senior Center at 6800 Hunter Drive (APN 143-051-061); and

**WHEREAS**, Planning Application No. PLSR17-0016 was processed in the time and manner prescribed by State and local law; and

**WHEREAS**, the project is located in the Public Institutional Zoning District, and so designated in the Rohnert Park Zoning Map;

**WHEREAS**, on January 11, 2018, the Planning Commission reviewed Planning Application No. PLSR17-0016 at which time interested persons had an opportunity to testify either in support of or opposition to the project; and,

**WHEREAS**, at the January 11, 2018, Planning Commission meeting, upon considering all testimony and arguments, if any, of all persons desiring to be heard, the Commission considered all the facts relating to Planning Application No. PLSR17-0016.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ROHNERT PARK DOES RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

**Section 1.** That the above recitations are true and correct.

**Section 2. Factors Considered.** The Planning Commission, in approving Planning Application No. PLSR17-0016, makes the following findings, to wit:

- A. *That the developments general appearance is compatible with existing development and enhances the surrounding neighborhood.*

Criteria Satisfied The building design will be consistent with other structures in the immediate area. The earth tone colors and building materials are consistent with other buildings in the area.

- B. *That the development incorporates a variation from adjacent on-site and off-site structures in height, bulk, and area; arrangement on the parcel; openings or breaks in the façade facing the street; and/or the line and pitch of the roof.*

Criteria Satisfied. The building design utilizes a variety of materials including wood and stucco in various tones, and compatible asphalt shingles. The existing building has articulations in the building walls including setback and variations in the roof height..

- C. *That the development will be located and oriented in such a manner so as to provide pedestrian, bicycle and vehicular connections with adjacent properties, as appropriate, and avoids indiscriminate location and orientation.*

Criteria Satisfied. This is an existing building and is well positioned in the area to be accessible to seniors living in the immediate area. The building is also centrally located within the community and accessible to senior community wide with ample parking. A frequently used bus stop / transit hub is located immediately adjacent to this site on Hunter Drive.

**Section 3. Environmental Clearance.** This proposal is categorically exempt from the requirements of the California Environmental Quality Act CEQA Class 1 Section 15301 Existing Facilities.

**NOW THEREFORE BE IT RESOLVED,** that the Planning Commission does hereby approve Planning Application No. PLSR17-0016 subject to the following conditions:.

1. The Site Plan and Architectural Review approval shall expire one year from the Planning Commission approval date, unless prior to the expiration construction is commenced and diligently pursued toward completion.
2. The Project is approved as shown in Exhibits A and B except as conditioned or modified below.
3. This facility shall comply with any and all applicable provisions of the Rohnert Park Municipal Code and any state or federal agency regarding community centers.
4. The building and all outdoor areas available to the public shall be ADA compliant.

**BE IT FURTHER RESOLVED** that said action shall not be deemed final until the appeal period has expired and that the appeal period shall be ten (10) working days from the date of said action. No building permits shall be issued until the appeal period has expired, providing there are no appeals.

**DULY AND REGULARLY ADOPTED** on this 11th day of January, 2018 by the City of Rohnert Park Planning Commission by the following vote:

AYES: \_\_\_\_\_ NOES: \_\_\_\_\_ ABSENT: \_\_\_\_\_ ABSTAIN: \_\_\_\_\_

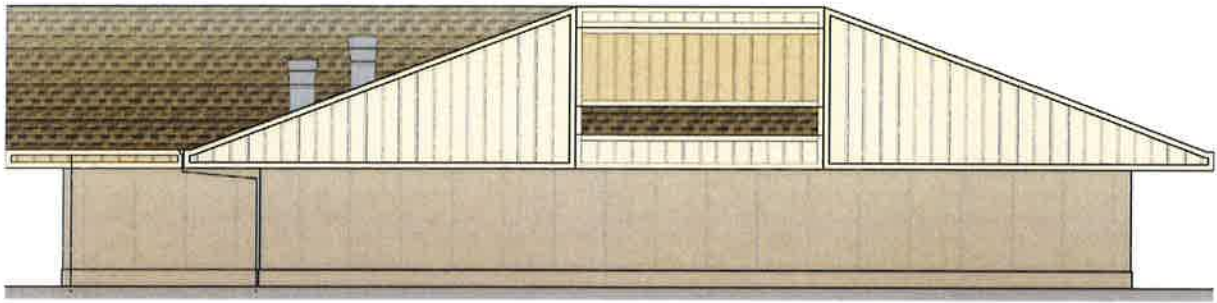
ADAMS \_\_\_\_\_ BLANQUIE \_\_\_\_\_ BORBA \_\_\_\_\_ GIUDICE \_\_\_\_\_ HAYDON \_\_\_\_\_

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Chairperson, Rohnert Park Planning Commission

Attest: \_\_\_\_\_  
Susan Azevedo, Recording Secretary

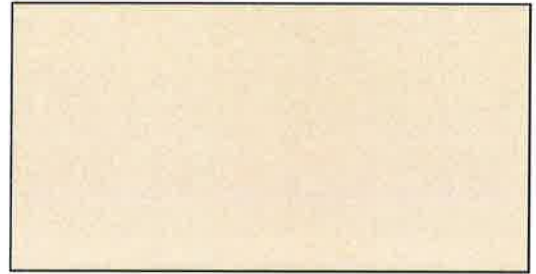




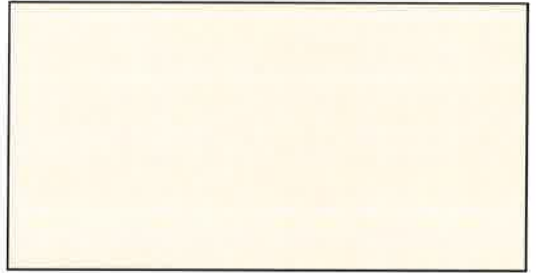
## COLOR SCHEME



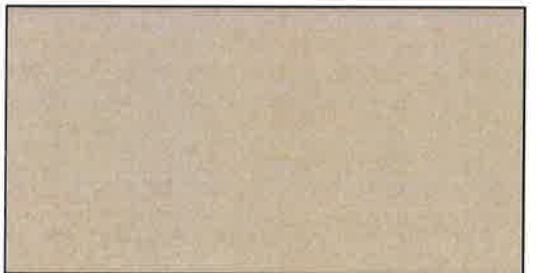
Roof  
TIMBERLINE  
Weathered Wood



Top Color  
KELLY MOORE  
KM4571-1 Cobblestone Street



Middle Color  
KELLY MOORE  
KM4562-1 Oyster Haze



Bottom Paint Color  
KELLY MOORE  
KM4586-2 Abbey Road

DEC 4, 2017

CITY OF ROHNERT PARK  
SENIOR CENTER - ROOFING PROJECTS  
100 ENTERPRISE DRIVE  
ROHNERT PARK, CALIFORNIA 94928

**STRATA** aip  
STRATEGIC DESIGN SOLUTIONS

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## ABBREVIATIONS

A	AND	AD	ADDITIONAL	AD	ADDITIONAL	AD	ADDITIONAL
B	BUILDING	BE	BEST	BE	BEST	BE	BEST
C	CANISTER	CE	CLEAR	CE	CLEAR	CE	CLEAR
D	DOOR	DE	DECK	DE	DECK	DE	DECK
E	ELEVATION	EL	ELECTRIC	EL	ELECTRIC	EL	ELECTRIC
F	FINISH	FI	FINISH	FI	FINISH	FI	FINISH
G	GRADE	GR	GRADE	GR	GRADE	GR	GRADE
H	HATCH	HA	HATCH	HA	HATCH	HA	HATCH
I	INTERIOR	IN	INTERIOR	IN	INTERIOR	IN	INTERIOR
J	JUNCTION	JO	JUNCTION	JO	JUNCTION	JO	JUNCTION
K	KITCHEN	KA	KITCHEN	KA	KITCHEN	KA	KITCHEN
L	LIVING	LA	LIVING	LA	LIVING	LA	LIVING
M	MATERIAL	MA	MATERIAL	MA	MATERIAL	MA	MATERIAL
N	NORTH	NO	NORTH	NO	NORTH	NO	NORTH
O	OFFICE	OA	OFFICE	OA	OFFICE	OA	OFFICE
P	PROPERTY	PA	PROPERTY	PA	PROPERTY	PA	PROPERTY
Q	QUANTITY	QA	QUANTITY	QA	QUANTITY	QA	QUANTITY
R	REPAIR	RA	REPAIR	RA	REPAIR	RA	REPAIR
S	SECTION	SA	SECTION	SA	SECTION	SA	SECTION
T	TILE	TA	TILE	TA	TILE	TA	TILE
U	UNIT	UA	UNIT	UA	UNIT	UA	UNIT
V	VENT	VA	VENT	VA	VENT	VA	VENT
W	WALL	WA	WALL	WA	WALL	WA	WALL
X	EXTERIOR	XA	EXTERIOR	XA	EXTERIOR	XA	EXTERIOR
Y	YARD	YA	YARD	YA	YARD	YA	YARD
Z	ZONE	ZA	ZONE	ZA	ZONE	ZA	ZONE

## GENERAL NOTES

- Definitions:
  - "Typical" means identical for all conditions, unless otherwise noted.
  - "Similar" means comparable characteristics for the condition noted. Verify dimensions and orientations.
  - "Provide" means to furnish and install.
  - "Furnish" means to furnish, and others will install.
- Dimensioning Rules:
  - Horizontal dimensions are shown to face of finish unless otherwise noted.
  - Dimensions noted "Hold", "Clear" or "C/I" must be precisely maintained.
  - Dimensions are not adjustable without approval of the Architect or unless noted ( ).
  - Vertical dimensions are from the top of structural floor unless otherwise noted. Vertical dimensions for casework, toilet accessories, handrails and guardrails are from the finish floor, unless otherwise noted.
  - Do not scale drawings. If Contractor is unable to locate dimensions for any item of work, consult with the Architect prior to proceeding with construction.
  - Dimensions marked V.I.F. shall be "verified" by the Contractor with the Architect prior to the start of construction.
- The original of these drawings measure 24" x 36". If the sheets in use are smaller than the original the sheets have been reduced in size and the scale must be reduced accordingly.
- Repetitive items noted in one condition are to be provided complete in all similar conditions.
- Details are keyed to representative locations only and apply to all similar conditions.
- During bidding and construction phase, Contractor shall verify all existing and new dimensions in the field. Any conflict or discrepancy between the drawings and actual conditions shall be brought to the attention of the Architect, in writing, before proceeding with any work or presentation of the bid. Only written dimensions on drawings shall be used. Do not scale the drawings.
- All work shall conform to the applicable edition of Uniform Building Code, Uniform Fire Code, Uniform Plumbing Code, Uniform Mechanical Code, National Electrical Code, (latest editions), California Title 24, ADA and all governing codes, amendments, rules, regulations, ordinances, laws, orders, approvals, etc., that are required by public authorities with jurisdiction over this project. In the event of conflict, the most stringent requirement shall apply.
- Questions regarding documents, discrepancies, doubts as to meaning, omissions or conflicts in the various parts of the contract documents shall be referred immediately to the Architect, in writing, before proceeding with the work.
- Contractor shall verify that no conflicts exist between the location of any new and existing mechanical, telephone, electrical, lighting, plumbing (including all piping, ductwork and conduit), and ensure that all required clearances for installation and maintenance of above equipment are provided. Any conflict must be resolved in writing before installation of work in the area of conflict.
- Provide structural backing for all new cabinets, grab bars, toilet room, equipment, kitchen equipment, shelves, hardware, lighting fixtures, wall trellises, wall canopies and other building elements requiring secure anchorage.
- Contractor shall maintain strict control of cleanliness and prevent dust from leaving construction areas. Construction vehicles and equipment shall be deployed in a manner which causes as little disruption as possible.
- Seam, caulking and flashing locations shown on drawings are not intended to be inclusive. Follow manufacturers' installation recommendations and standards industry practices.
- Safety Measures: At all times the Contractor shall be solely and completely responsible for the conditions of the job site including safety of the persons and property, and for all necessary independent engineering reviews of these conditions. The Architect's or Engineer's job site visits are not intended to include review of the adequacy of the Contractor's safety measures.
- The Contractor shall ensure free flow of air for vented attics, interstitial spaces, and roof decking. This shall include drilling of framing members, provision of additional blocking, and/or provision of insulation baffle and other means. Drilling or notching framing members shall be done with prior approval of the Architect.
- The design adequacy and safety of the erection bracing, shoring and temporary supports is the sole responsibility of the Contractor. Observation visits to the job site by personnel from the Architect shall not include inspection or approval of the above items.
- These plans are the property of STRATAap and are not to be used in whole or in part for any work other than the locations shown herein.

# CITY OF ROHNERT PARK SENIOR CENTER - ROOFING PROJECT 100 Enterprise Drive Rohnert Park, CA 94928



LOCATION MAP

## SCOPE OF WORK

ROOF HVAC AND SOFFIT REPAIR / REPLACE. THE BUILDING WILL ALSO BE PAINTED.

## APPLICABLE CODES

2015 CALIFORNIA BUILDING CODES (CBC), 2012 INTERNATIONAL BUILDING CODE (IBC),  
2016 CALIFORNIA MECHANICAL CODE (CMC), 2012 UNIFORM MECHANICAL CODE (UMC),  
2015 CALIFORNIA PLUMBING CODE (CPC), 2012 UNIFORM MECHANICAL CODE (UMC),  
2016 CALIFORNIA ELECTRICAL CODE (CEC), 2011 UNIFORM ELECTRICAL CODE (UEC),  
2016 CALIFORNIA ENERGY CODE (TITL 24)  
CITY OF ROHNERT PARK CODES AND ORDINANCES

## PROJECT DATA

OCCUPANCY GROUP:	TENANT IMPROVEMENT
AREA (EXISTING):	B
AREA (NEW):	14,000 S.F.
AREA (REMODEL):	NA
CONSTRUCTION TYPE:	TYPE V-A
FIRE SPRINKLERS:	YES
ALLOWABLE AREA INCREASE:	NA
NUMBER STORIES:	ONE
SMOKE DETECTORS:	YES

## INDEX OF DRAWINGS

GENERAL	TITLE SHEET
A0.01	
ARCHITECTURAL	
A1.01	SITE PLAN
A1.02	DEMOLITION ROOF PLAN
A1.03	DEMOLITION ELEVATIONS
A1.04	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A2.02	SECTION
A5.01	DETAILS
A5.02	DETAILS
A5.03	DETAILS
A5.04	DETAILS
A5.05	DETAILS
MECHANICAL	
M1.1	GENERAL NOTES
M2.1	HVAC ROOF TOP DEMOLITION PLAN
M2.2	HVAC ROOF TOP REMODEL PLAN
M2.3	GAS AND CONDENSATION PIPING LAYOUT
M3.1	DETAILS

## PROJECT DIRECTORY

### OWNER/CLIENT

City of Rohnert Park  
Department of Public Works  
100 Enterprise Drive  
Rohnert Park, CA 94928  
T 707.588.3331  
Project Coordinator:  
Terrie Zwilling

### ARCHITECT

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294 West Napa Street  
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Bennett Martin, AIA  
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Jay Takacs, LEED AP  
jay@15000inc.com

## ARCHITECTURE



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## CONSULTANTS:

## PROJECT



City of Rohnert Park  
Senior Center - Roofing Project

100 Enterprise Dr.,  
Rohnert Park, CA 94928

## REVISIONS

## SHEET TITLE

TITLE SHEET

CHECKED BY: BM

DRAWN BY: WN

SCALE: N.T.S.

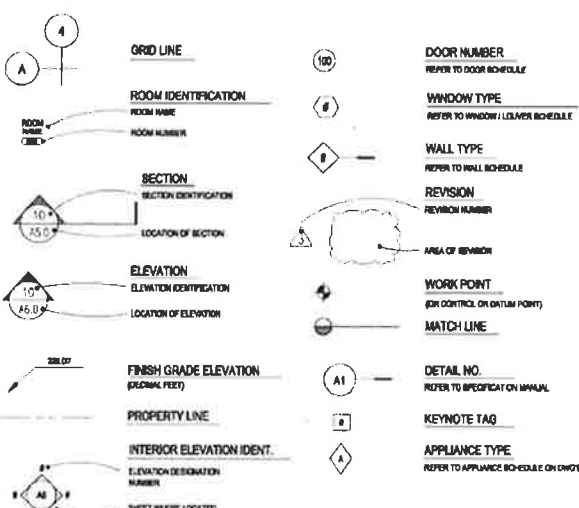
DATE: 6.7.2017

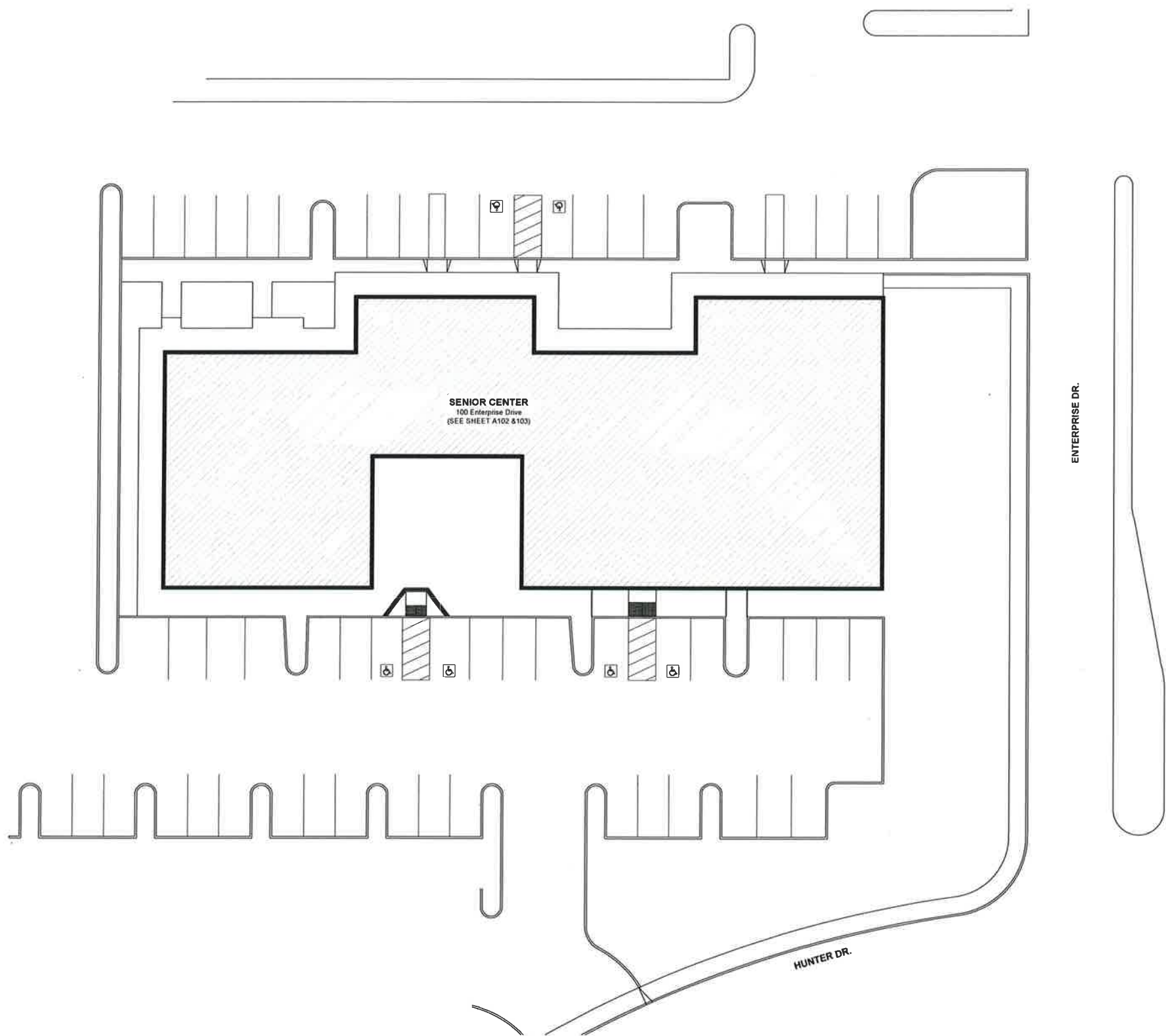
PROJECT NO. 215-16

# A0.01

DRAWING NO.

## SYMBOLS





1 SENIOR CENTER - SITE PLAN  
1/16" = 1'-0"

STRATA<sup>®</sup>  
STRATEGIC DESIGN STUDIO

ARCHITECTURE



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PROJECT



City of Rohnert Park  
Senior Center - Roofing Project

100 Enterprise Dr.,  
Rohnert Park, CA 94928

REVISIONS

SHEET TITLE  
SITE PLAN

CHECKED BY: BM  
DRAWN BY: WN  
SCALE: N.T.S.  
DATE: 6/7/2017

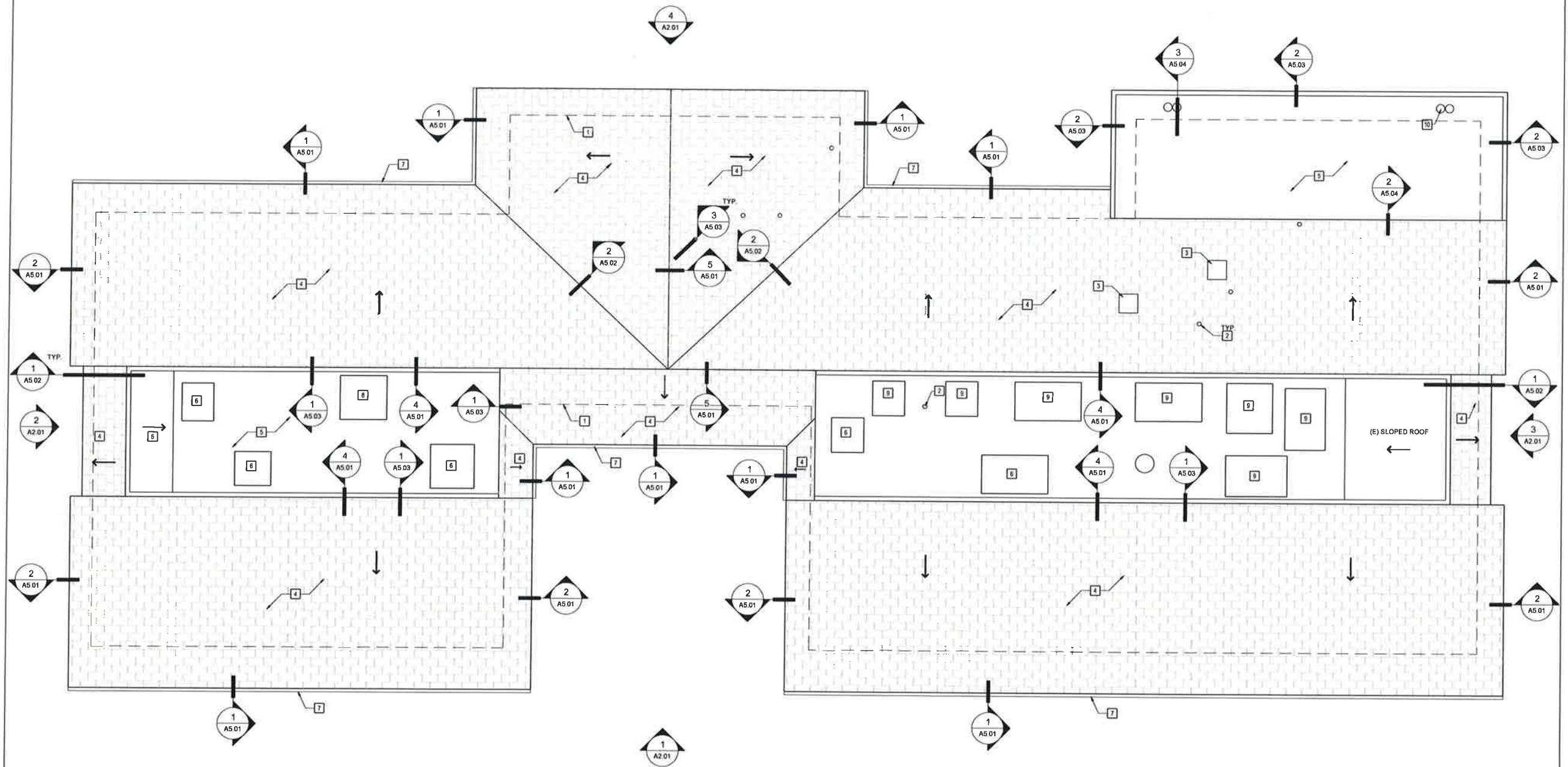
PROJECT NO. 215-16

A1.01

DRAWING NO.



KEY PLAN NOTES	GENERAL NOTES
1 LINE OF (E) WALL BELOW 2 (E) VENTS PROVIDE (N) FLASHING & SLEEVE, TYP. PER 6/A5.03 3 (E) EXHAUST FAN PROVIDE (N) FLASHING @ CURB, TYP. PER 4/A5.03 4 (N) ASPHALT SHINGLE ROOF & ASSOCIATED UNDERLAYMENT 5 (N) SINGLE PLY ROOFING, SLOPED ROOF 6 (N) UNITS PROVIDE (N) CURB PER 4/A5.03 SEE MECHANICAL DRAWINGS 7 (N) 6" GUTTER TO MATCH MTL. ROOF 8 ROOF DECK 9 (E) HVAC UNITS TO BE RE-SET. SEE MECHANICAL DRAWINGS. PATCH ROOF AS REQUIRED 10 (E) ROOF DRAIN TO BE REPLACED	1 CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REQUIRED CLEARANCES W/ EQUIPMENT & COORDINATE W/ ARCHITECTURAL DETAILS PRIOR TO ORDERING & INSTALLATION 2 NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE FIELD



1 SENIOR CENTER - ROOF PLAN  
1/8" = 1'-0"

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Rohnert Park, CA 94928

REVISIONS

SHEET TITLE  
ROOF PLAN

CHECKED BY: BM  
DRAWN BY: WN  
SCALE: N.T.S.  
DATE: 6.7.2017  
PROJECT NO: 215-16

A1.04  
DRAWING NO

KEY PLAN NOTES

- 1 (E) DOORS RETAIN & PROTECT TYP.  
2 (E) WINDOWS RETAIN & PROTECT TYP.  
3 (E) SIDING CLEAN, PRIME, & PAINT  
4 (E) EXHAUST FANS TO REMAIN, PROVIDE NEW FLASHING @ BASE  
5 (N) ASPHALT SHINGLE ROOF & ASSOCIATED UNDERLAYMENT.  
6 (N) CONT. 6" GUTTER TO MATCH MTL. ROOF COLOR  
7 (N) 3" Ø DOWNSPOUT TO MATCH ROOF COLOR CONNECT TO (E) DRAIN OUTLETS IN SIDE WALK  
8 (E) WOOD BASE  
9 (N) PRE-PRIMED CEMENT BOARD + BATTEN PAINT, TYP

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REQUIRED CLEARANCES W/ EQUIPMENT & COORDINATE W/ ARCHITECTURAL DETAILS PRIOR TO ORDERING & INSTALLATION.  
2. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE FIELD

ARCHITECTURE



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PROJECT



City of Rohnert Park  
Senior Center - Roofing Project

100 Enterprise Dr.,  
Rohnert Park, CA 94928

REVISIONS

SHEET TITLE  
EXTERIOR ELEVATIONS

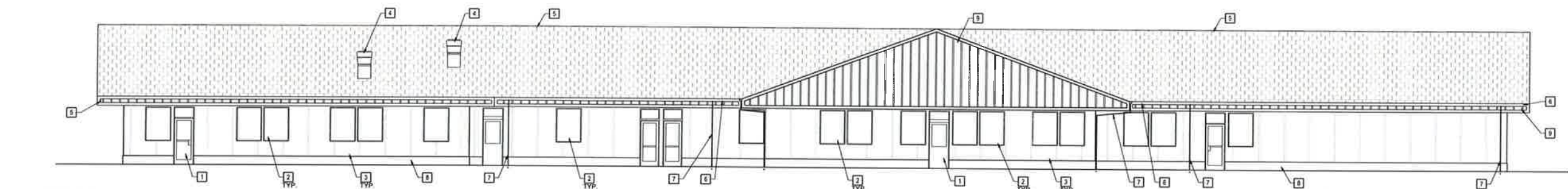
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DRAWN BY: WN  
SCALE: N.T.S.  
DATE: 6.7.2017

PROJECT NO. 215-16

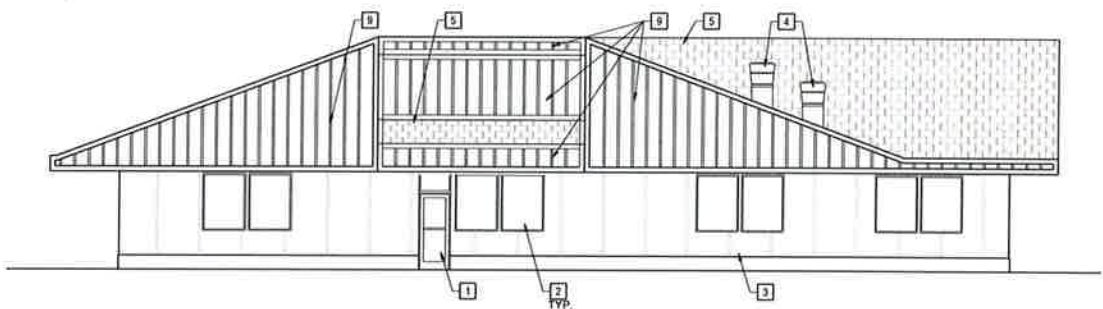
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DRAWING NO.

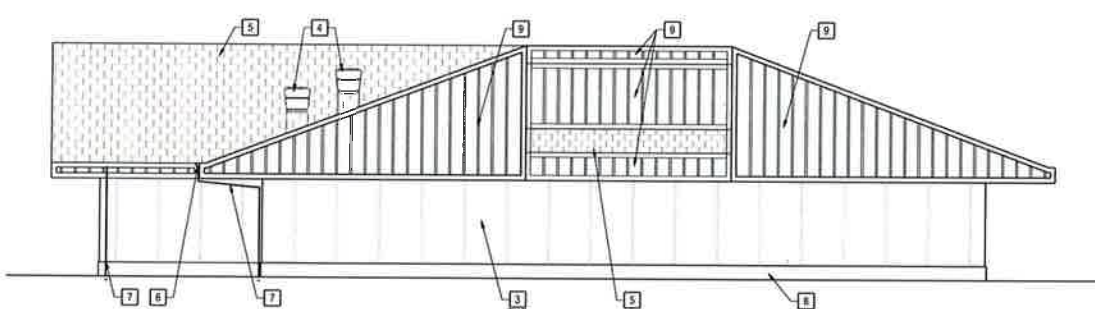
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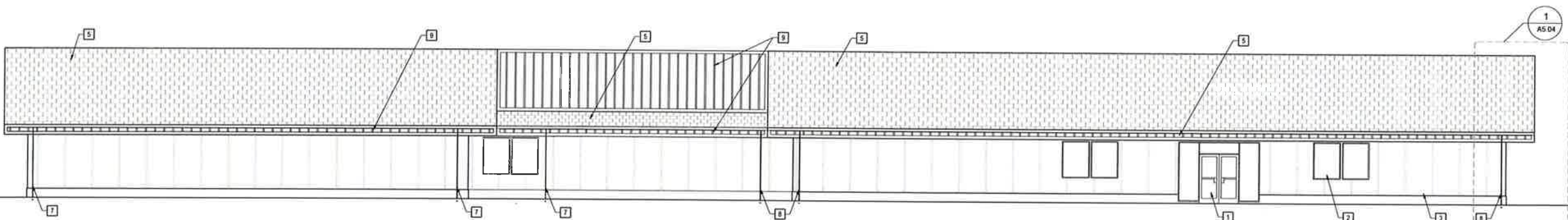
4 SENIOR CENTER - ELEVATION  
1/8" = 1'-0"



3 SENIOR CENTER - ELEVATION  
1/8" = 1'-0"

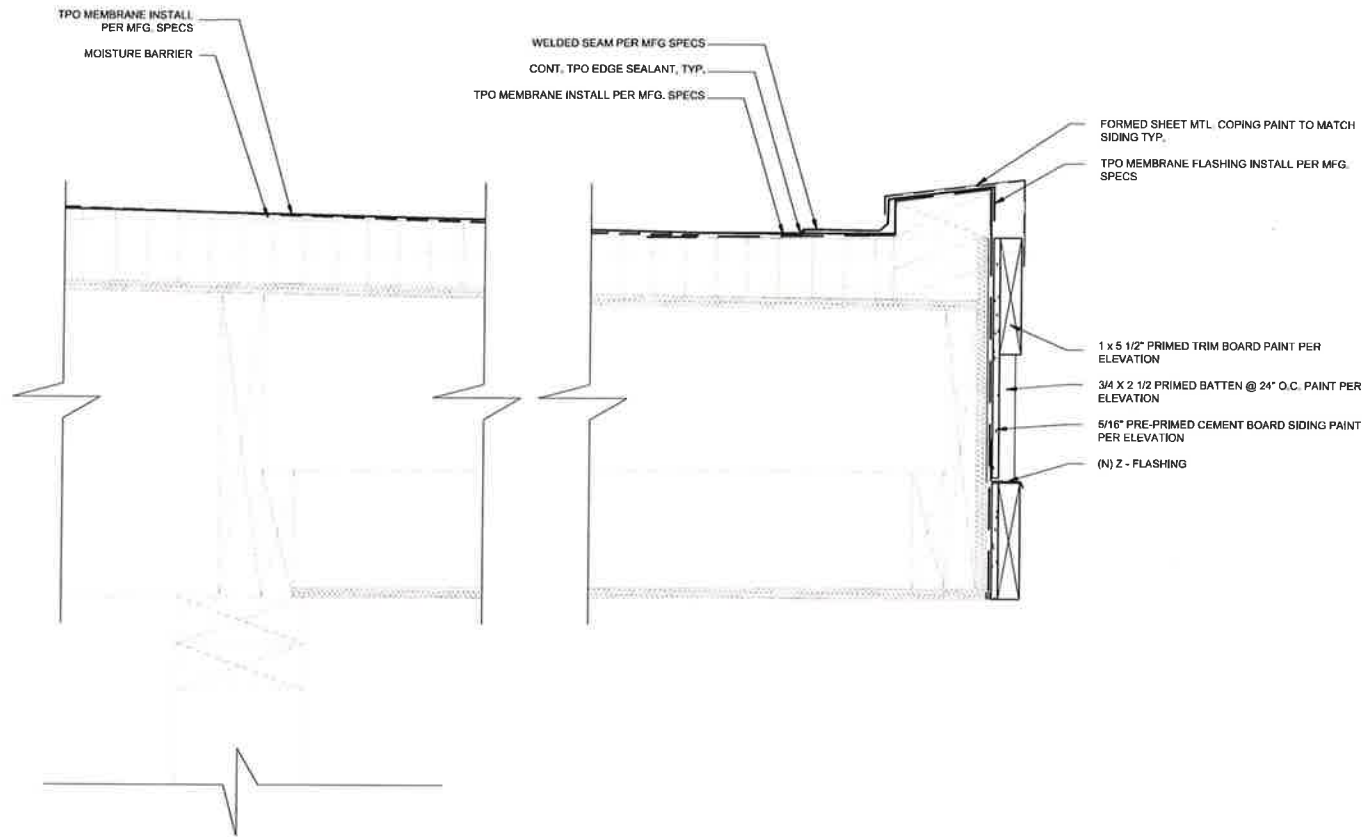


2 SENIOR CENTER - ELEVATION  
1/8" = 1'-0"

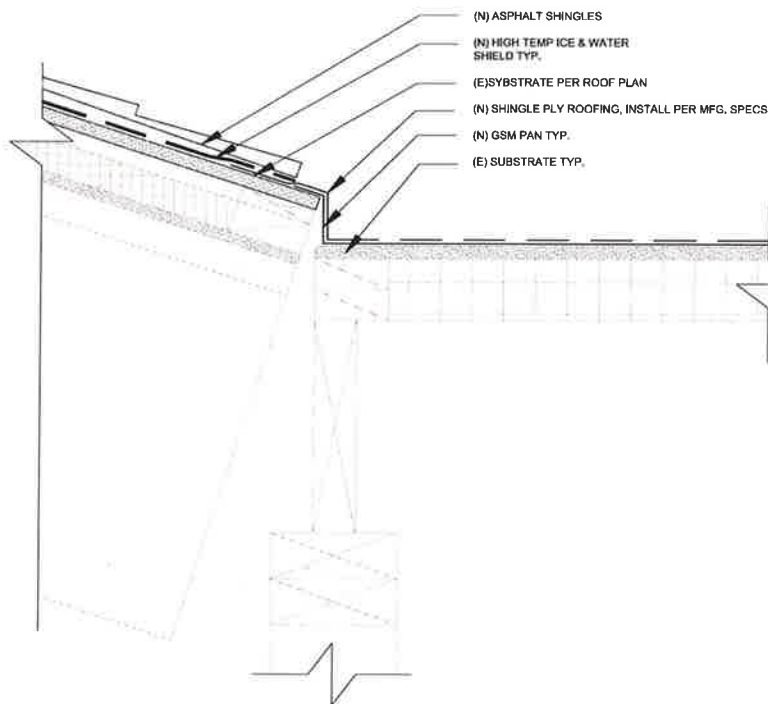


1 SENIOR CENTER - ELEVATION  
1/8" = 1'-0"

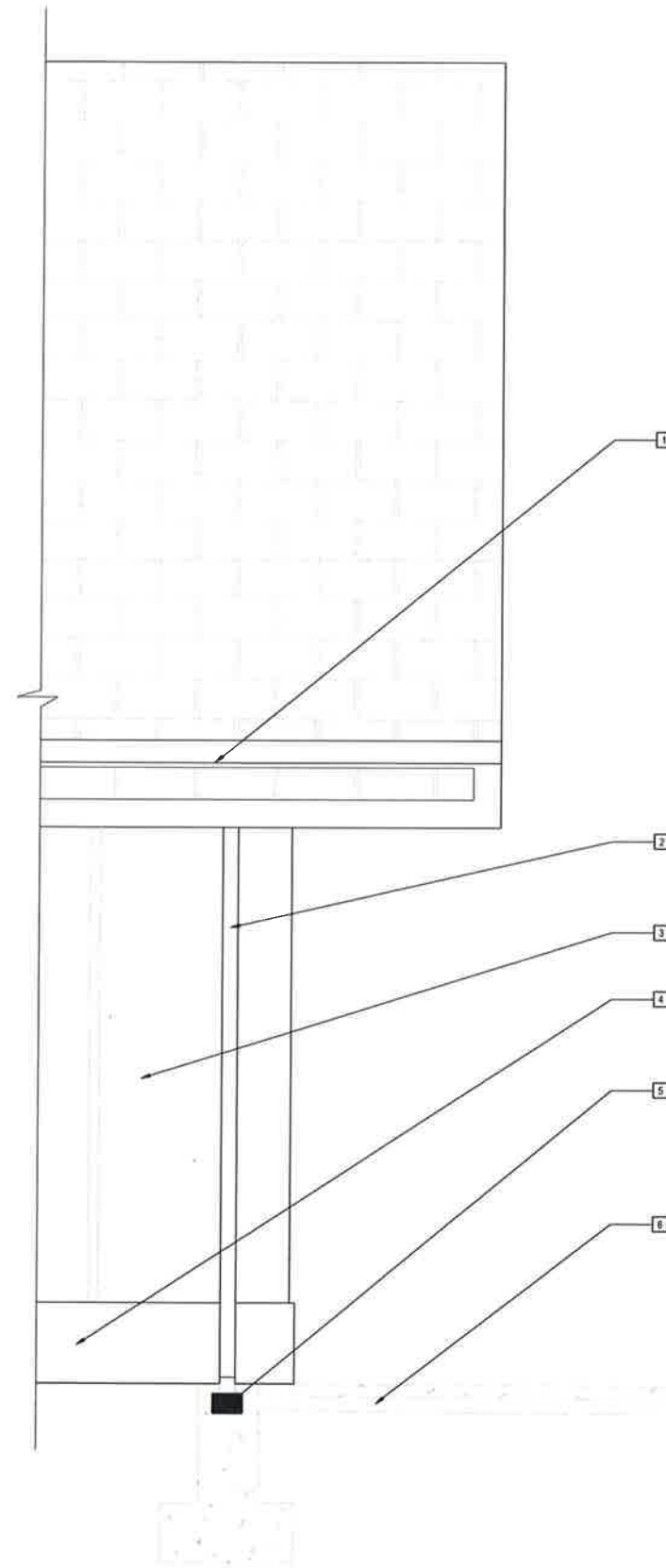




3 TYP. WATER DRAIN @ WALL  
3\"/>



2 TYP. TPO ROOF @ WALL  
3\"/>



1 TYP. TPO ROOF @ WALL  
3/4\"/>

## KEY PLAN NOTES

- 1 (N) CONT. 6" GUTTER TO MATCH ASPHALT SHINGLE ROOF
- 2 (N) 3" Ø DOWNSPOUT TO MATCH ROOF COLOR CONNECT TO (E) DRAIN OUTLETS IN SIDE WALK
- 3 (E) SIDING CLEAN, PRIME, & PAINT
- 4 (E) WOOD BASE RETAIN & PROTECT TYP. PAINT TYP.
- 5 (E) 3" DRAIN RECEIVER ATTACH D.S. TO (E) DRAIN TYP.
- 6 GUTTER FLOWLINE

## ARCHITECTURE



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CONSULTANTS:

PROJECT



City of Rohnert Park  
Senior Center - Roofing Project

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Rohnert Park, CA 94928

REVISIONS

SHEET TITLE

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DRAWN BY: WN

SCALE:

DATE: 6.7.2017

PROJECT NO. 215-16

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