



City of Rohnert Park Planning Commission Report

DATE: December 14, 2017

ITEM NO: 8.2

AGENDA TITLE: PLUP17-0004

REQUEST: Conditional Use Permit to allow an increase in the Floor Area Ratio (FAR) factor

LOCATION: 1516 Gary Court, APN 160-400-014

GP / ZONING: Low Density Residential/R-L: Low Density Residential

APPLICANT: Jerrod Marshall

RECOMMENDATION

Staff recommends that the Planning Commission adopt Resolution 2017-29 for a Conditional Use Permit to allow an increase in the Floor Area Ratio factor for a residential property located within the R-L Low Density district.

SUMMARY

The project site is located in the "G" residential section of Rohnert Park, east of Snyder Lane, and is surrounded by single family residences to the north, south, east and west. The site measures approximately 46 feet by 112+ for a total of approximately 5175 square feet. The existing residence, including the garage, totals 1942 square feet.

Section 17.10.020 of the Rohnert Park Municipal Code provides for basic development standards for all zoning districts in Rohnert Park. Currently, the Maximum Floor Area Ratio (FAR) factor in a Low Density Residential district is 0.4. The applicant proposes to construct a 781 square foot second floor addition that would bring the home's total size to 2723 square feet resulting in a floor area ratio (FAR) of approximately 0.53.

Figure 1 – Project Location



BACKGROUND

The Planning Commission may approve an increase of the F.A.R factor up to 0.55 by Conditional Use Permit. The Municipal Code defines an F.A.R. as the “gross floor area of all buildings on a lot divided by the building site area.” Section 17.10.070 A of the Municipal Code determines the maximum size of a home for a given single family residential lot using the following equation:

$$600 \text{ sq. ft.} + \text{F.A.R. Factor (0.40)} \times \text{Net lot Area}$$

In applying this equation to the applicant’s 5175 square foot lot, the maximum size of a home that could be constructed on this lot is 2670 square feet, 53 square feet under the applicant’s proposed build out of 2723 square feet.

The following table illustrates the maximum F.A.R. that is allowed “by right” and maximum F.A.R. that is allowed upon approval of a “Conditional Use Permit”:

Sq. Ft.	1 st Floor	Garage	2 nd Floor	Total	Max FAR =.4(Lot) + 600	Max FAR = .55	Under/Over
Existing	1537	405		1942	2670		728 Under
Proposed	1537	405	781	2723		2846	123 Under

ANALYSIS

The Planning Commission may approve the Conditional Use Permit upon making the following findings:

1. **The maximum lot coverage for the site would not exceed that which is permitted for the zoning district.**

Criteria Satisfied: The maximum lot coverage in the “R-L” zoning district is 50 percent. The lot coverage for this property will remain at/around 30 percent.

2. **The required setbacks and height limitations of the zoning district can be met for all structures.**

Criteria Satisfied: The maximum building height currently allowed for the primary residence by Section 17.10.020 of the zoning ordinance is 35’. The proposed second story addition is well within this standard at 23’-5”.

Figure 2 – Existing height listed at 16’-4”

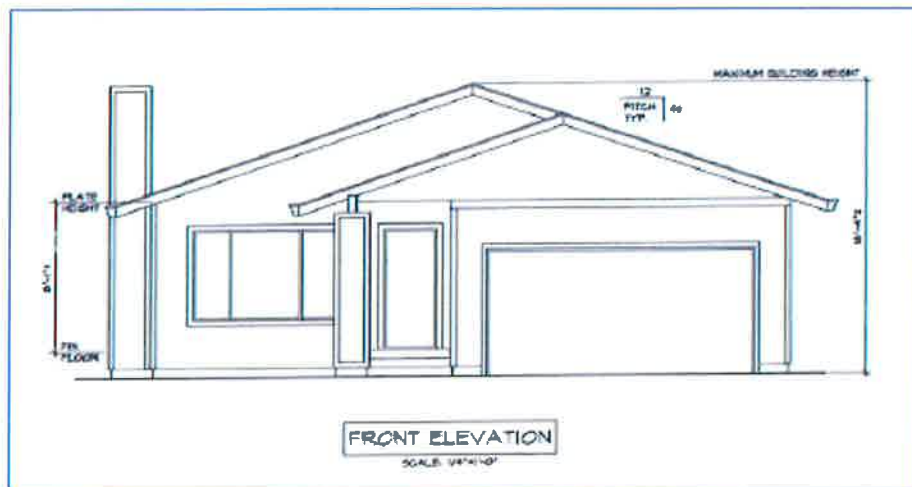


Figure 3 – Proposed height listed at 23’-5”



ENVIRONMENTAL DETERMINATION

This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA), under the CEQA guidelines as both a Class 1, Section 15301 modification of an existing facility

FINDINGS

Pursuant to Zoning Ordinance Section 17.25.015, the Planning Commission may grant an application for the requested Conditional Use Permit if the required findings can be made. The findings and the basis for making each in the affirmative are found in the attached resolution of approval.

PUBLIC NOTIFICATION

A public hearing notice denoting the time, date and location of the proposal's hearing was published in the Press Democrat. Property owners within 300 feet of the project site were mailed notices, and the notice was posted pursuant to State Planning Law.

RESPONSE TO COMMENTS

No public comments have been received on this item.

RECOMMENDATION

Based on the findings of this report, staff recommends that the Planning Commission, by motion adopt Planning Commission resolution No. 2017-29 approving File No. PLUP17-0004, as conditioned.

Attachments

Planning Commission Resolution 2017-29
Exhibit A – Complete plan set submitted November 16, 2017

APPROVALS:

J. Beiswenger / sa
Jeff Beiswenger, Planning Manager

12.8.17
Date

PC RESOLUTION NO. 2017-

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROHNERT PARK, CALIFORNIA,
CONDITIONALLY APPROVING FILE NO. PLUP17-0004:
USE PERMIT TO ALLOW AN INCREASE IN THE FLOOR AREA RATIO FACTOR
(FAR) FOR A RESIDENTIAL PROPERTY AT 1516 GARY CT.
(Jerrod Marshall, Owner)**

WHEREAS, the applicant, Jerrod Marshall (Owner) filed Planning Application No. PLUP17-0004 for approval of a Conditional Use Permit to allow an increase in the floor area ratio factor (FAR) for a residential property at 1516 Gary Ct. (APN 160-400-014) in accordance with the City of Rohnert Park Municipal Code;

WHEREAS, Planning Application No. PLUP17-0004 was processed in the time and manner prescribed by State and local law;

WHEREAS, public hearing notices were mailed to all property owners within a 300 foot radius of the subject property and to all agencies and interested parties as required by California State Planning Law, and a public hearing was published for a minimum of 10 days prior to the first public hearing in the Community Voice;

WHEREAS, on December 14, 2017, the Planning Commission reviewed Planning Application No. PLIP17-0004 during a scheduled public meeting at which time interested persons had an opportunity to testify either in support or opposition to the project; and,

WHEREAS, at the December 14, 2017 Planning Commission meeting, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, the Commission considered all the facts relating to Planning Application No. PLUP17-0004;

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ROHNERT PARK DOES RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1. That the above recitations are true and correct.

Section 2. Findings. The Planning Commission, in approving Planning Application No. PLUP17-0004 makes the following findings, to wit;

- A. The maximum lot coverage for the site would not exceed that which is permitted for the zoning district. Criteria Satisfied:** The maximum lot coverage in the "R-L" zoning district is 50 percent or 2590 square feet for the 1516 Gary Ct. residence. The proposed home expansion would not change the existing lot coverage which is approximately 37 percent.
- B. The required setbacks and height limitations of the zoning district can be met for all structures. Criteria Satisfied:** The maximum building height currently allowed for the

primary residence pursuant to Section 17.10.020 of the Rohnert Park Municipal Code is 35'-0". The proposed second story addition is well within this standard at 23'-5". Zoning Code, section 17.25.082(A)(2) states that additions shall conform to all regulations of the district in which the structure is located. The addition meets all of the applicable dimensional and setback requirements of the district.

- C. **A usable outdoor area (at least one minimum dimension of fifteen feet) for residents would be maintained on the lot.** Criteria Satisfied: The rear yard open space dimension of 32 feet would be maintained, allowing for a usable outdoor area.
- D. **The issuance of the use permit would not infringe on the privacy or light and air easements of adjacent properties.** Criteria Satisfied: The addition would not negatively impact the neighboring properties as it would not add second-story windows that would look upon either neighbor's outdoor living area.
- E. **The total FAR for the lot (after conditions of approval are added) would not exceed .55.** Criteria Satisfied: The maximum FAR for the home will remain below the threshold.

Section 3. Environmental Clearance. The project is categorically exempt from the California Environmental Quality Act, pursuant to California Code of Regulations, Title 14, Chapter 3, Section 15301 (Class 1 – Existing Facilities).

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does hereby approve Planning Application No. PLUP17-0004, subject to the following conditions:

1. The use permit approval shall expire one year from the Planning Commission approval date, unless prior to the expiration a building permit is issued for any tenant improvements, if applicable, and construction is commenced and diligently pursued toward completion and the use is initiated, or an extension is requested and approved.
2. The applicant shall comply with all applicable sections of the City of Rohnert Park Municipal Code and any other applicable relevant plans of affected agencies.
3. The materials and colors used for the addition shall match those that of the existing home.

BE IT FURTHER RESOLVED that said action shall not be deemed final until the appeal period has expired and that the appeal period shall be 10 working days from the date of said action. No building permits shall be issued until the appeal period has expired, providing there are no appeals.

DULY AND REGULARLY ADOPTED on this 14th day of December, 2017, by the City of Rohnert Park Planning Commission by the following vote:

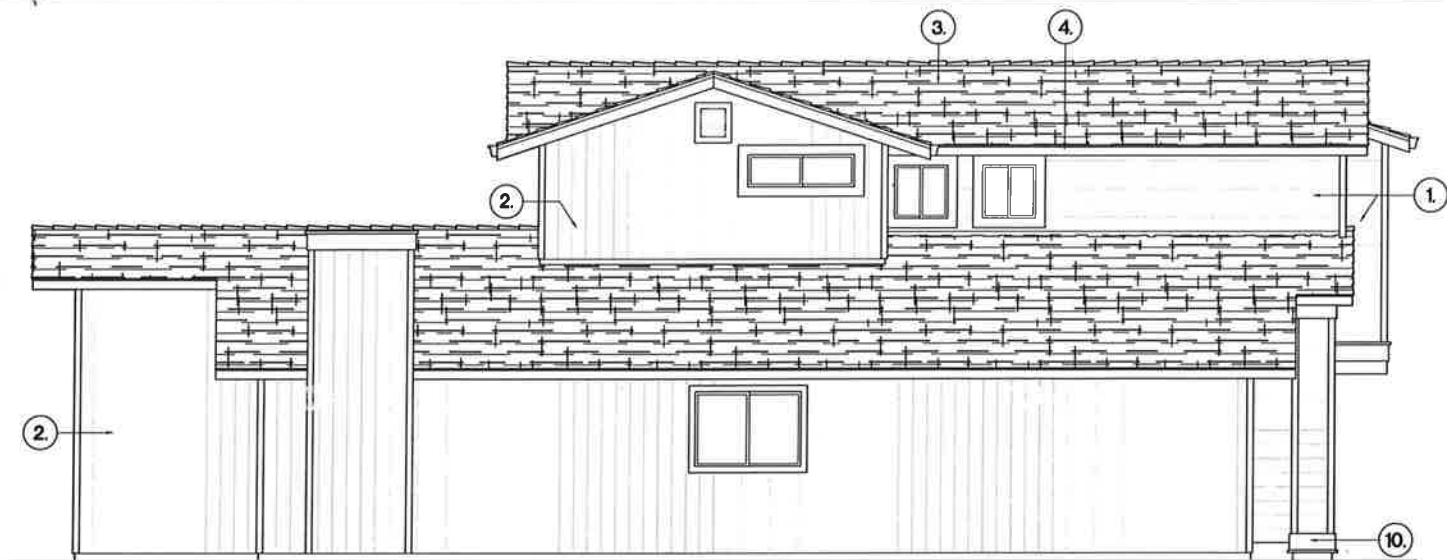
AYES: _____ NOES: _____ ABSENT: _____ ABSTAIN: _____

ADAMS _____ BLANQUIE _____ BORBA _____ GIUDICE _____ HAYDON _____

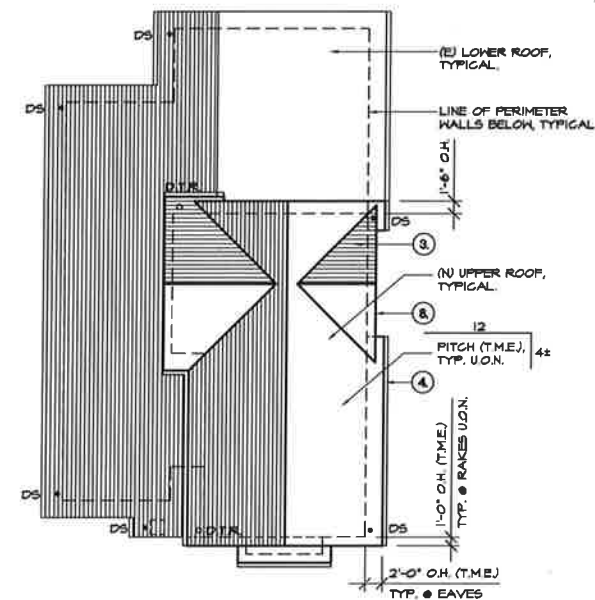
Susan Haydon, Chairperson, Rohnert Park Planning Commission

Attest: _____
Susan Azevedo, Recording Secretary

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LEFT ELEVATION
SCALE: 1/4"=1'-0"



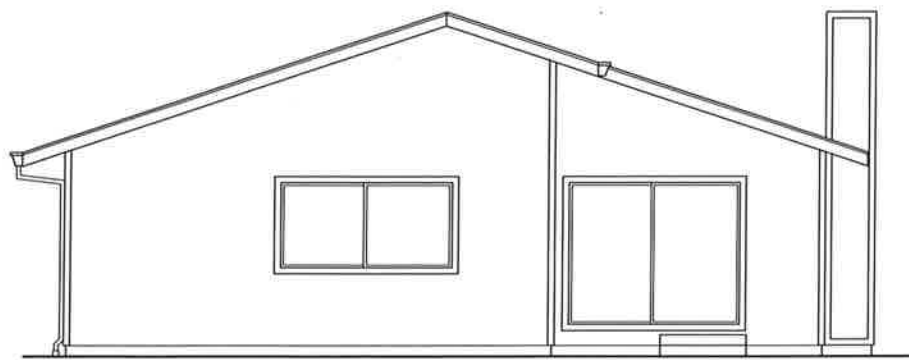
ROOF PLAN
SCALE: 1"=10'-0"



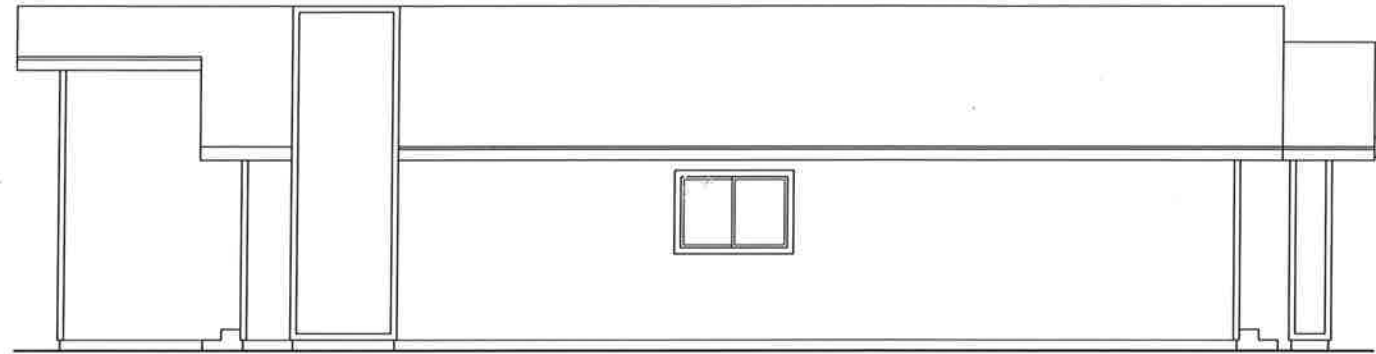
REAR ELEVATION
SCALE: 1/4"=1'-0"



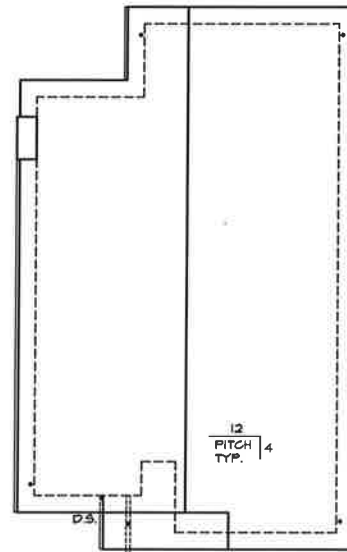
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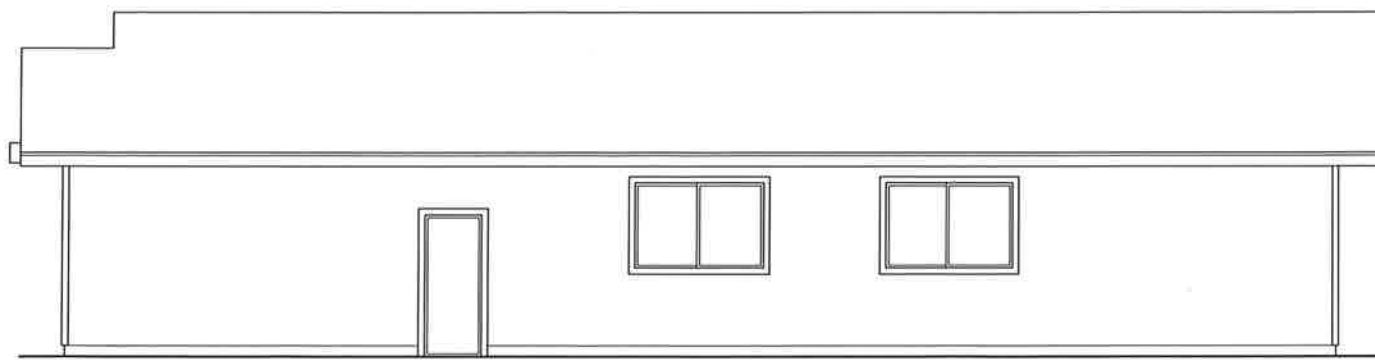
REAR ELEVATION
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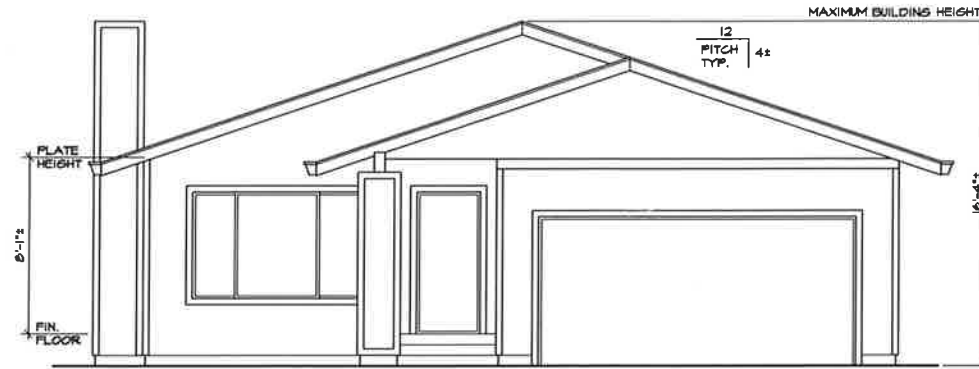
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ROOF PLAN



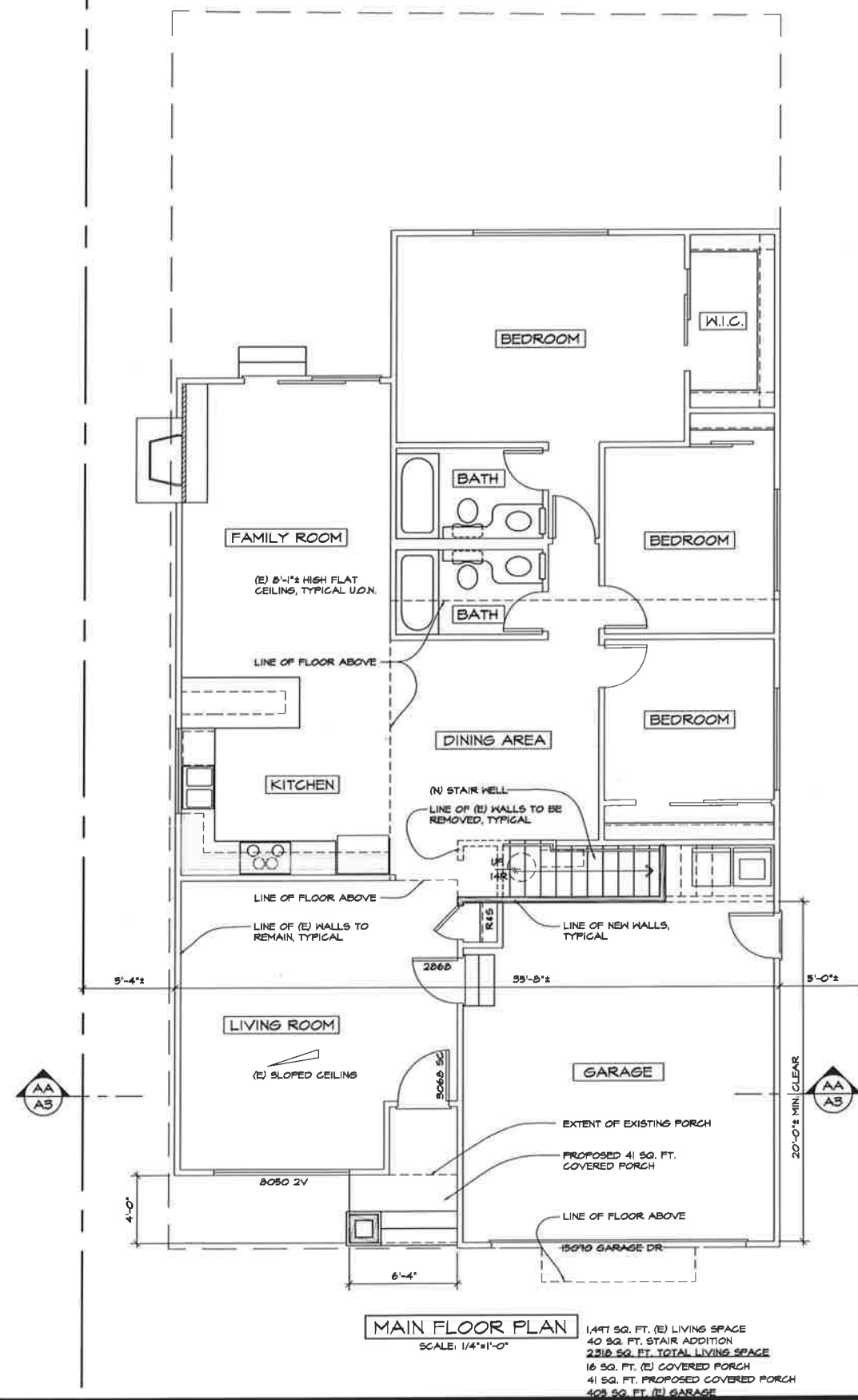
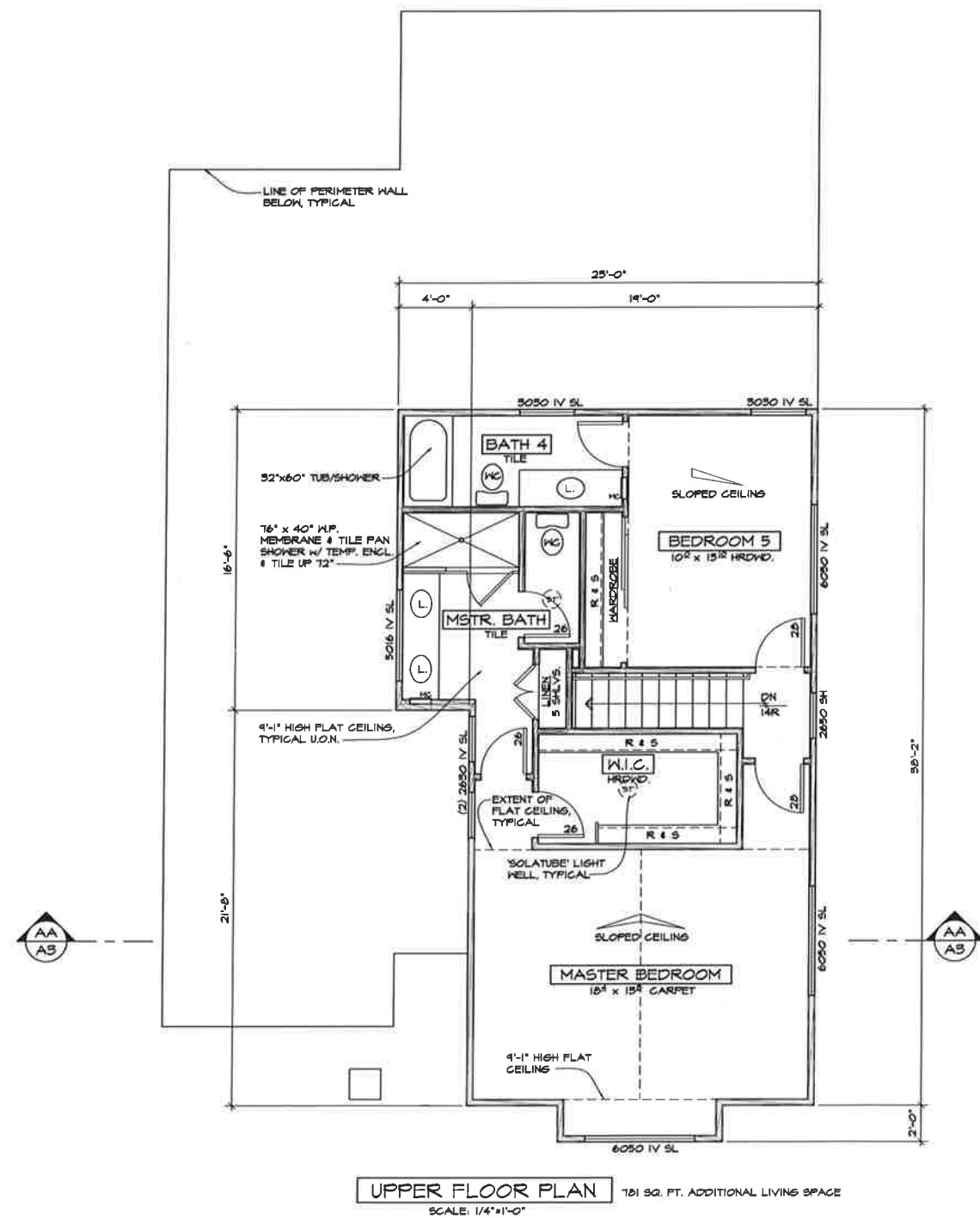
RIGHT ELEVATION
SCALE: 1/4"=1'-0"

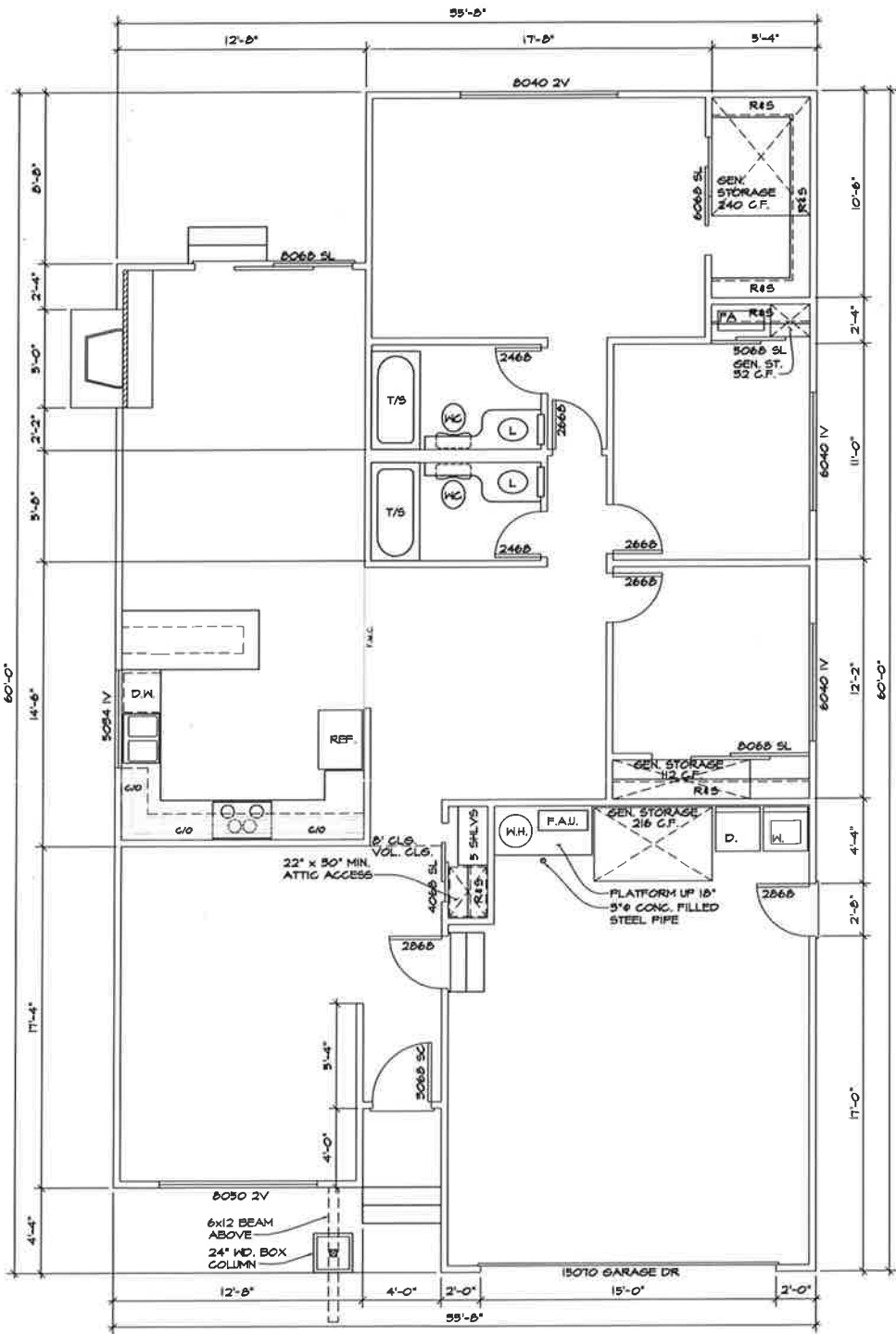


FRONT ELEVATION
SCALE: 1/4"=1'-0"

EXISTING ELEVATIONS

SHEET NO:	JOB NO:	DESIGN FOR:	CONTRACTOR	DATE PRINTED	NOTES	DATE
A1.1	17055	MARSHALL ADDITION/REMODEL				11.17
516 GARY COURT, ROHNERT PARK, CALIFORNIA			Merle Avila - architect Russell W. Bunch - architect			
avila-bunch architects, inc.			5850 Commerce Boulevard, Rohnert Park, California 94928			

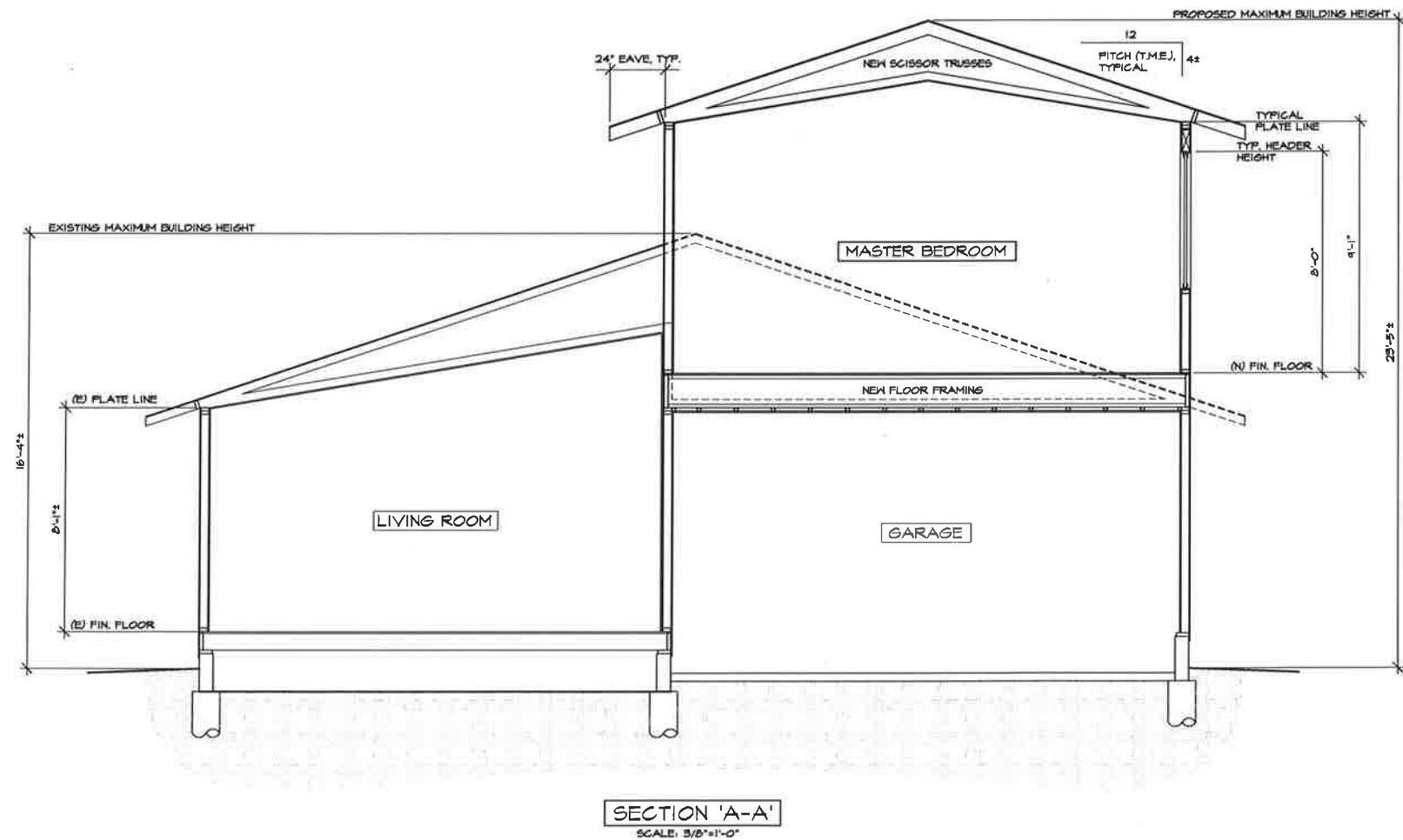




AS-BUILT FLOOR PLAN

1,491 SQ. FT. (E) LIVING SPACE
16 SQ. FT. (E) COVERED PORCH
409 SQ. FT. (E) GARAGE

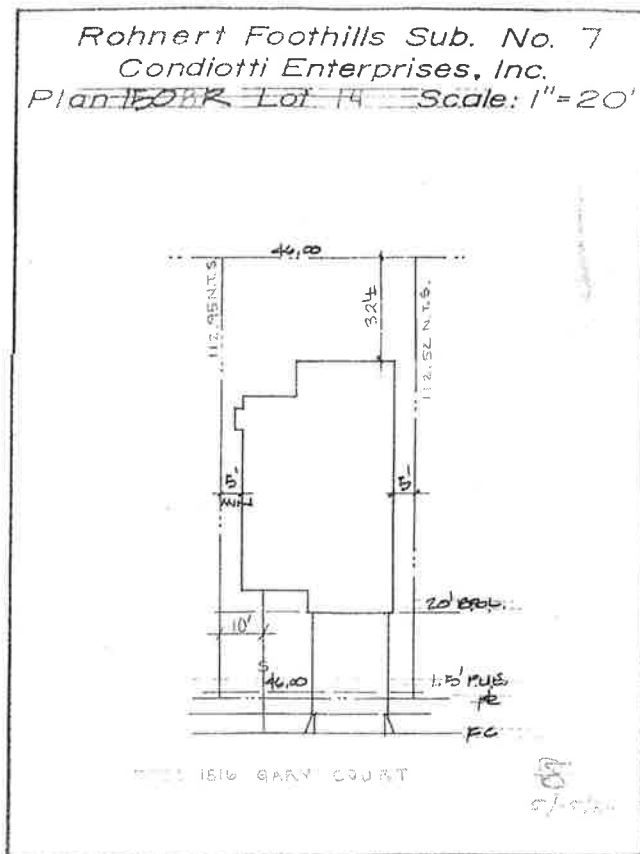
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SECTION NOTES

1. SEE GENERAL NOTES SHEET A0.1 FOR INSULATION VALUES.
2. SEE ELEVATIONS FOR SIDING AND ROOFING MATERIALS.
3. SEE FRAMING PLANS FOR FLOOR JOIST AND RAFTER INFORMATION.
4. SEE FRAMING PLANS FOR ALL SHEATHING INFORMATION.
5. ALL STUDS TO BE 2x4 @ 16" o.c., TYPICAL, UNLESS OTHERWISE NOTED.
6. SEE DETAIL 1/SD1 FOR FRAMING @ HEADERS. SEE HDR. SCHED. SHT. 501 FOR TYPICAL HEADER SIZE, UNLESS OTHERWISE NOTED.
7. SILL PLATES SHALL BE 2x TYPICAL, UNLESS OTHERWISE NOTED.
8. SOLE PLATES SHALL BE 2x TYPICAL, UNLESS OTHERWISE NOTED.
9. TOP PLATES SHALL BE DOUBLE TOP PLATES W/40" MIN. LAP AT SPLICES, TYPICAL, OTHERWISE NOTED.
10. PROVIDE 2x SOLID EAVE BLOCKING WITH 3-2" DIAMETER SCREENED BIRDHOLE VENTS PER ATTIC VENTILATION SCHEDULE, PROVIDE 1" INSULATION BAFFLE, TYPICAL, UNLESS OTHERWISE NOTED.
11. PROVIDE 2x CEILING JOISTS PER CEILING JOIST SPAN TABLE SHEET SD1.
12. PROVIDE 1/2" GYP. BOARD AT ALL WALLS AND CEILING. TAPE ALL JOINTS AND TEXTURE.
13. PROVIDE 1/2" GYP. BOARD AT WALLS AND CEILING OF GARAGE TO PROVIDE A ONE HOUR FIRE PROTECTION. TAPE JOINTS ONLY.
14. PROVIDE 6.1 FLASHING AT ALL WALLS ABOVE ROOF, TYPICAL.
15. ROOF IS TO BE FRAMED WITH TRUSSES @ 24" o.c. U.O.N.

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Refer to
Staff report

