



City of Rohnert Park Planning Commission Report

DATE: November 1, 2017

ITEM NO: 8.2

AGENDA TITLE: PLDP117-0003 Study Session for DAP -- Site Plan, Parking and Open Space

REQUEST: Conduct a Study Session to allow for feedback on Site Plan, Parking and Open Space for the University District Affordable Housing Project

LOCATION: Approximately 8.24 Acres located on the corner of Keiser Avenue and Kerry Road, APN 159-550-007

GP / ZONING: University District Specific Plan-High Density Residential

APPLICANT: Pacific West Communities

RECOMMENDATION

Staff recommends that the Planning Commission conduct a study session on the Site Plan, proposed Parking, and proposed Open Space for the University District Affordable Housing Project. The goal is to provide the Commission with an overview of the project and to discuss any potential issues with the proposed Site Plan, as it relates to parking and open space. Consideration of the Development Area Plan application for Site Plan and other components of the project will be brought back to your Planning Commission at a future meeting.

SUMMARY

The project is located on the corner of Keiser Avenue and Kerry Road within the University Specific Plan Area. The applicant proposes a 218-unit affordable rental housing development. A Development Area Plan review is required for development proposals with an adopted Specific Plan Areas and a DAP will be brought back to the Planning Commission at a future date. The applicant is proposing 441 parking spaces, which reflects a reduction of 10% of the required parking. This type of reduction is permissible at the discretion of the Planning Director as long

as alternate transportation methods are implemented. Because the project will eventually be brought to the Commission for consideration of a DAP, the applicant is requesting Planning Commission input on the proposed parking exemption as well as other aspects of the site plan, including site access, building placement, and open space.

BACKGROUND

Surrounding Land Uses

The project site is located within the University District Specific Plan Area, which is currently under construction. The project site will be surrounded by single-family residential uses to the west and to the south and a neighborhood park to the east. To the north of the project site are vacant lots located outside of the City's jurisdiction but zoned for diverse agricultural uses.

Project Details

Location and Access

The project is bound by Keiser Avenue to the north, Kerry Road to the west, O'Ryan Road to the south and a future park site to the east. Access to the site is proposed with one access driveway at Kerry Road and one access driveway at O'Ryan Road. In addition, a fire safety access driveway is proposed at Keiser Avenue, as required by the fire department to insure that emergency vehicles can access the property from the north to provide emergency response to buildings located on along Keiser Avenue.

Parking

The applicant proposes a total of 441 parking spaces, which includes 78 tandem spaces, 94 compact spaces and 269 standard spaces. The parking requirement for multi-family residential is as follows:

- 1 space per studio or 1 bedroom unit;
- 2 spaces per 2 bedroom unit;
- 2.5 spaces per 3 bedroom unit;
- 1 guest parking space for every 4 units.

The parking obligation for the proposed project is 489 spaces as shown in the Table 2 below.

Table 2 – Parking Requirement

Unit Type	Number of Units	Parking required per Unit	Total Required	Total Proposed
1 Bedroom	27	1	27	
2 Bedroom	141	2	282	
3 Bedroom	50	2.5	125	
Guest Spaces	218	1 per 4	55	
			489	441

In addition to the above parking requirement, the project will require the following as part of the mix of parking spaces:

- 24 are proposed - 20 ADA spaces are required
- 22 are proposed – requirement is based on number of parking proposed tiering method.
- 72 bicycle parking spaces are proposed - 55

Parking Exemption

As shown in Table 2, the applicant proposes 441 parking spaces where 489 are required. Section 17.16.040 allows parking exemption to allow a 10% reduction in the overall parking obligation. This type of exemption can be approved at the Planning Director level if the project includes the following:

- Rideshare,
- Transit incentive program, or
- Other transportation system management program

However, the application will involve review of a Development Area Plan, which is subject to review by the City Council, with recommendation by the Planning Commission. For that reason the applicant is seeking confirmation from the Planning Commission that the proposed parking exemption can be supported.

The applicant will continue to firm up the alternative transportation methods and will provide a summary at the Study Session.

Property Boundary Adjustments needed.

The parking configuration proposed above will require either a lot line adjustment or a parking lot easement along the easterly property boundary to accommodate 40 parking spaces. This proposal will require consideration from the Parks and Recreation Commission because the adjustment would result in an overall reduction of the future neighborhood park that is to be located east of the project site. However, the Planning Commission should provide comments regarding the proposed layout including the proposed encroachment into the future park area.

Shared Parking with Neighboring Park

Another option under consideration to reduce the parking requirement for the apartments is a shared parking agreement with the neighboring Oak Grove Park. A small parking area could be constructed and could provide guest parking for the apartment complex and parking for park users. It could be accessed off of a shared driveway. The park does not have any proposed parking at this time, so this could be considered a benefit to future park user and would also reduce the need for on-street parking close to the park.

Parking Lot Landscaping

Pursuant to section 17.16.100 of the Zoning Ordinance, the project is required to include parking lot landscaping that includes the following:

- Perimeter planting areas with a minimum ten (10) feet width adjacent to a residential district and five (5) feet adjacent to other districts.

- A parking lot adjoining a street shall have a frontage planting area reflecting the required yard setbacks from the street. Parking areas shall be screened from adjacent streets with berming and/or landscaping to achieve an average height of three feet above the adjacent grade of the parking area.
- The end of each row of parking stalls shall be separated from driveways by a landscaped planter with a preferred width of five feet.
- Parking lot trees at a minimum ratio of one tree for every four parking spaces.
- No more than six consecutive parking spaces should be allowed in any row of parking without a tree well or tree well finger from a landscape strip.

The applicant is aware of these requirements and will provide a detailed landscape plan as part of a future submittal. However, the applicant will likely provide a brief discussion of the proposed landscaping as part of the Study Session.

Open Space

The project is required to provide a total of 400 square feet of open space per unit for a total of 87,200 square feet of open space required. Open space can be provided as private and public open space, with a total of at least 100 square feet of private open space required for ground level units and a total of at least 60 square feet of private open space required for the upper level units. The proposed site plans demonstrates that the project will provide approximately 100,304 square feet of open space therefore exceeding the minimum required. The required open space will include a recreational building the will serve the linear park. The overall breakdown of open space is as follows:

- Private open space -16,655 square feet
 - Each ground level unit will have at least 100 square feet of private outdoor space
 - Each upper level unit will have at least 60 square feet of private outdoor space
- Public outdoor open space -82,111 square feet
- Public indoor recreational (recreation building) -1,538 square feet

NOTIFICATION

A study session for a SPAR application does not require a public hearing, so newspaper publication and mailing of the notice to surrounding property owners was not provided. The Agenda was posted as required and the meeting materials have been posted to the web site and have been made available to the public.

ANALYSIS

The applicant is requesting that the Planning Commission conduct a study session and provide input on the site plan, proposed parking, and proposed open space for the University District Affordable Housing Project. The Planning Commission should provide the applicant feedback with respect to:

- Placement of the buildings
- The linear park proposal
- The parking lot layout

- Parking Space reduction
- Shared parking with neighboring park

Architectural Design Guidelines

The study session involves a review of site plan, parking layout, and open space. Architectural elevations are provided for reference. A more complete set of plans will be provided as part of a formal submittal that will be brought before the Planning Commission at a future date for DAP consideration.

ENVIRONMENTAL DETERMINATION

Pursuant to the California Environmental Quality Act (CEQA), the City of Rohnert Park, as the lead agency, has conducted an environmental review of the University District Specific Plan Area, which includes the project site. The City prepared an Environmental Impact Report (EIR) to address the potentially significant adverse environmental impacts that may be associated with the planning, construction, or operation of the Project and to identify appropriate and feasible mitigation measures and alternatives that may be adopted to significantly reduce or avoid the impacts identified in the EIR. The City certified the Final EIR on May 23, 2006 and approved an Addendum to the Final EIR on April 8, 2014.

A study session will not involve a decision on the project and therefore no formal CEQA determination is required at this time. However, it is expected that because the project was included in the Specific Plan EIR, no additional environmental review will be necessary.

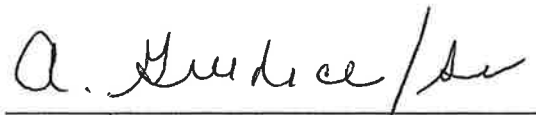
RESPONSE TO COMMENTS

No public comments have been received on this item.

Attachments

- Exhibit A – Neighborhood Context Plan; Sheet C.1
- Exhibit B – Site Layout Plan; Sheet A1.1
- Exhibit C – Architectural Elevations; Sheet A2.2 and A2.3
- Exhibit D – Community Building Elevations; Sheet A2.4

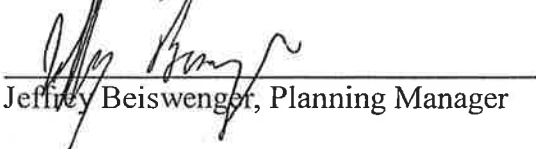
APPROVALS:



Ali Giudice, Contract Planner



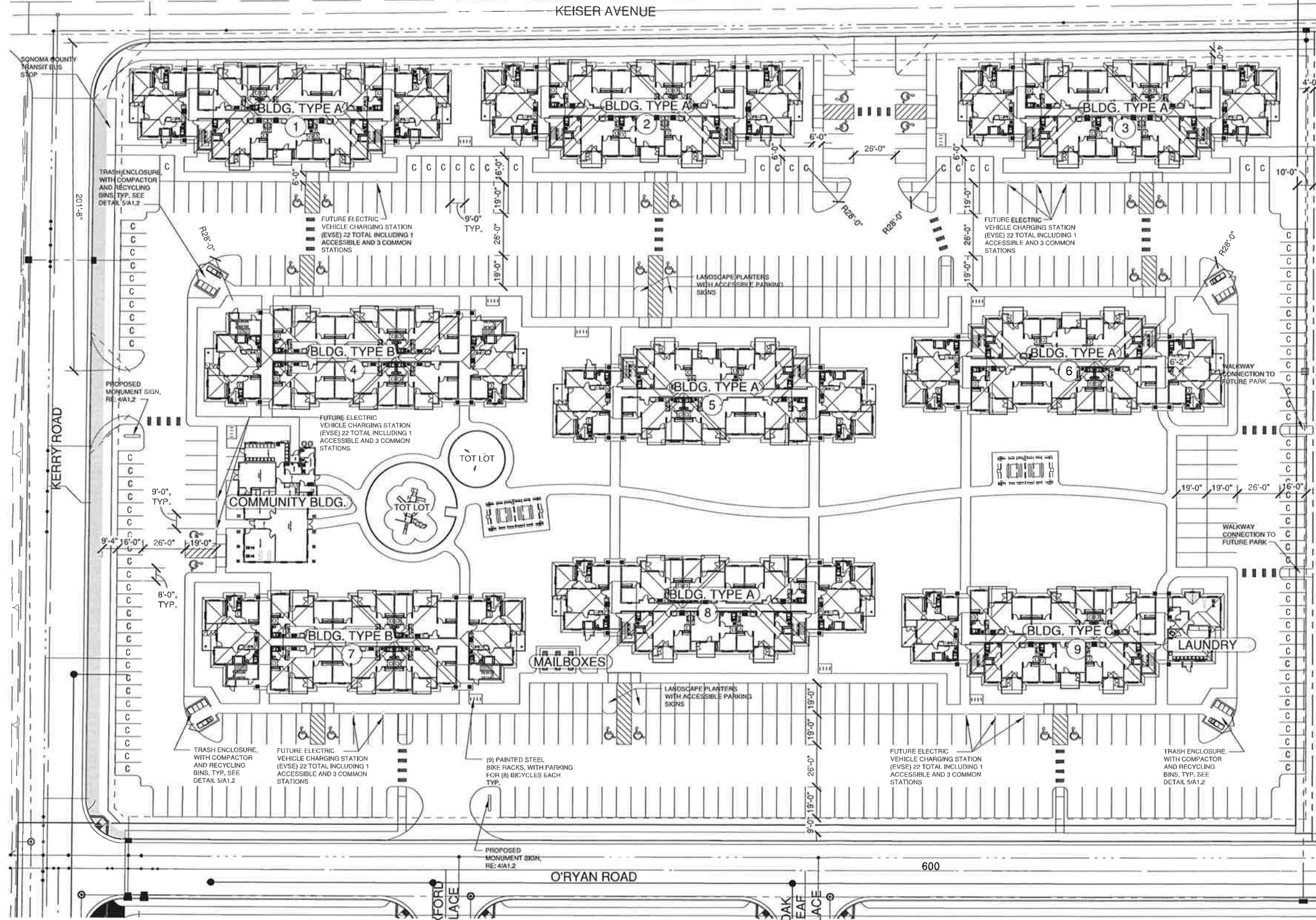
Date



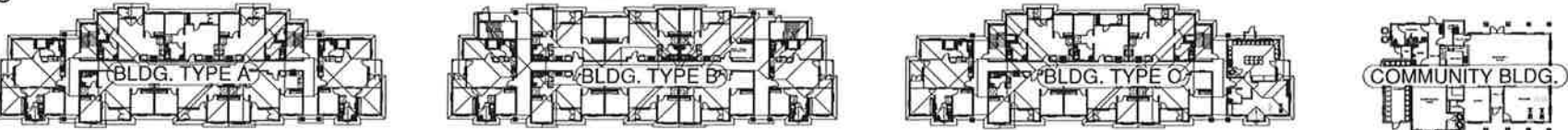
Jeffrey Beiswenger, Planning Manager



Date



SITE PLAN
SCALE: 1" = 30'-0"



(6) BUILDINGS
(3) 1-BEDROOM UNITS, (15) 2-BEDROOM UNITS, & (6) 3-BEDROOM UNITS
MAXIMUM HEIGHT - 41'-3" (3) STORIES
9,544 S.F. FOOTPRINT OCCUPANCY R-2
FULLY SPRINKLERED PER NFPA 13
CONSTRUCTION TYPE: VB

(2) BUILDINGS
(16) 2-BEDROOM UNITS, & (6) 3-BEDROOM UNITS
MAXIMUM HEIGHT - 41'-4" (3) STORIES
10,146 S.F. FOOTPRINT OCCUPANCY R-2
FULLY SPRINKLERED PER NFPA 13
CONSTRUCTION TYPE: VB

(1) BUILDING
(9) 1-BEDROOM UNITS, (15) 2-BEDROOM UNITS, & (2) 3-BEDROOM UNITS
MAXIMUM HEIGHT - 41'-4" (3) STORIES
9,544 S.F. FOOTPRINT OCCUPANCY A-3 [D]
FULLY SPRINKLERED PER NFPA 13
CONSTRUCTION TYPE: VB

(1) BUILDING
MAXIMUM HEIGHT - 28'-5" (1) STORY
3,087 S.F. FOOTPRINT OCCUPANCY A-3 [B]
FULLY SPRINKLERED PER NFPA 13
CONSTRUCTION TYPE: VB

APPLICANT
PACIFIC WEST COMMUNITIES, INC.
CALEB ROOPE
430 E. STATE STREET
EAGLE, IDAHO 83616
(208) 461-0022

ARCHITECT
PACIFIC WEST ARCHITECTURE
DOUGLAS GIBSON, CALIFORNIA ARCHITECT C29792
430 E. STATE STREET, SUITE 100
EAGLE, IDAHO 83616
(208) 461-0022 X3021

ACCESSIBILITY

	# OF UNITS	PERCENTAGE
ADAPTABLE UNITS (ALL GRND FLR UNITS REQ.)	58	
ACCESSIBLE UNITS (10% TOTAL)	22	10.04 %
SENSORY IMPAIRED UNITS (4% TOTAL)	9	4.1 %

UNIT MIX SUMMARY

	CONDITIONED SQ. FOOTAGES
(21) 1-BEDROOM A UNITS	(21) x 568 S.F. = 11,928 S.F.
(3) 1-BEDROOM B UNITS	(3) x 520 S.F. = 1,560 S.F.
(3) 1-BEDROOM C UNITS	(3) x 529 S.F. = 1,587 S.F.
(61) 2-BEDROOM A UNITS	(61) x 799 S.F. = 48,739 S.F.
(50) 2-BEDROOM B UNITS	(50) x 761 S.F. = 38,050 S.F.
(50) 3-BEDROOM UNITS	(50) x 1,077 S.F. = 53,850 S.F.
(218) UNITS TOTAL	11,968 S.F. + 1,560 S.F. + 1,587 S.F. + 48,719 S.F. + 38,050 S.F. + 53,850 S.F. = 179,304 S.F.

COMMUNITY AREA
LAUNDRY AND EXERCISE AREA (AT BLDG C) 3,087 S.F.
TOTAL 1,077 S.F.

FIRE SPRINKLER
AUTOMATIC FULLY SPRINKLERED SYSTEM WITH CENTRAL CALL STATION.
OFF-SITE MONITORING AND FPC'S AT EXTERIOR ACCESSIBLE FIRE SPRINKLER CLOSETS.

SITE SIZE
359,042 S.F. ± (8.24 NET ACRES ±)

SITE COVERAGE

	SQ. FT.
PUBLIC OUTDOOR OPEN SPACE	82,111
PUBLIC INDOOR OPEN SPACE (COMMUNITY BUILDING)	1,538
PRIVATE OPEN SPACE MAIN FLOOR UNITS	7,100
PRIVATE OPEN SPACE UPPER FLOOR UNITS	9,555
TOTAL OPEN SPACE PROVIDED	100,304
TOTAL OPEN SPACE REQUIRED 400 X 216 UNITS	87,200

NOTE: * ALL NUMBERS PROVIDED ARE ESTIMATED FOR SITE COVERAGE AND ARE NET FROM BACK OF STREET SIDEWALK AND EAST PROPERTY LINE

PARKING SUMMARY

TOTAL REQUIRED BY CITY OF ROHNERT PARK:
(27) 1-BDRM UNITS X 1 = 27 SPACES REQUIRED
(141) 2-BDRM UNITS X 2 = 282 SPACES REQUIRED
(50) 3-BDRM UNITS X 2.5 = 125 SPACES REQUIRED

GUEST PARKING 218 / 4 = 55 SPACES REQUIRED
TOTAL SPACES REQUIRED: 489 SPACES

TOTAL SPACES REQUIRED WITH 10% TRANSIT REDUCTION PER 17,15.04(0)(5) OF ROHNERT PARK CITY CODE: 441 SPACES

TOTAL PROVIDED: 441 SPACES
(INCLUDING 24 ACCESSIBLE SPACES AND 22 FUTURE EVSE STATIONS WHICH INCLUDES 3 COMMON EVSE STATIONS AND 1 ACCESSIBLE EVSE STATION PER 2015 CALIFORNIA GREEN BUILDING CODE TIER 1 RESIDENTIAL VOLUNTARY MEASURES)

441 SPACES W/78 TANDEM OR 18% AND 94 COMPACT OR 21.5%

BICYCLE PARKING 218 / 4 = 55 SPACES REQUIRED
72 SPACES PROVIDED

REVISIONS

10/25/17

BP

PACIFIC WEST ARCHITECTURE

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PROJECT: UNIVERSITY DISTRICT AFFORDABLE HOUSING

UNIVERSITY DISTRICT

ROHNERT PARK, CA

SCHEMATIC DESIGN / NOT FOR CONSTRUCTION

A1.1



1
BUILDING A COLOR SCHEME A - FRONT
ELEVATION
3/16" = 1'-0"



2
BUILDING A COLOR SCHEME A - REAR
ELEVATION
3/16" = 1'-0"

- KEY NOTES**
- 30 YEAR TYPE 'A' COMPOSITE SHINGLE, TYP.
 - PAINTED HORIZONTAL CEMENTITIOUS SIDING OR APPROVED EQUAL.
 - PAINTED CEMENTITIOUS SHINGLE/SHAKE STYLE SIDING OR APPROVED EQUAL.
 - PAINTED CEMENTITIOUS BOARD & BATTEN OR APPROVED EQUAL.
 - WHITE VINYL WINDOWS. SEE FLOOR PLANS, WINDOW SCHEDULE, AND SPECIFICATIONS.
 - EXTERIOR DOOR. SEE FLOOR PLANS, DOOR SCHEDULE, AND SPECIFICATIONS. PAINT AS NOTED.
 - DOOR/WINDOW TRIM. PAINT AS NOTED.
 - PRIE FINISHED METAL GUTTER. SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNSPOUT TO MATCH.
 - PAINTED WOOD OUTRIGGER. COLOR AS NOTED.
 - 2x HORIZONTAL TRIM PAINTED. ALIGN TRIM AS SHOWN.
 - 4" VERTICAL TRIM. TYP.
 - 1x FINISH FASCIA. MDP OR EQUAL. SEE DETAILS.
 - METAL RAILING SYSTEM. COLOR AS NOTED. SEE BUILDING CROSS SECTIONS.
 - ARCHITECTURAL GABLE END VENT. PAINT AS NOTED. SEE ROOF PLANS.
 - CULTURED STONE. SET IN MORTAR BED WITH FLASHING AND WEEP SCREED. SEE SPECIFICATIONS.
 - COLUMN, POST, AND BEAM. REFER TO BUILDING CROSS SECTIONS & DETAILS.
 - WOOD TRIM OR ARCHITECTURAL FEATURE. SEE BUILDING SECTIONS.
 - PAINTED METAL HANDRAIL.

MATERIAL FINISHES (SCHEME A):

A	BORAL BUCKS COUNTRY RANDOM ASHLAR LIMESTONE
B	CEMENTITIOUS SHINGLE/SHAKE SIDING AGREEABLE GRAY SW 7029 SHERWIN WILLIAMS
C	CEMENTITIOUS CLAPBOARD SIDING 7" ENDURING BRONZE SW 7055 SHERWIN WILLIAMS
D	CEMENTITIOUS CLAPBOARD SIDING 7" SAGE MOUNTAIN 1468 BENJAMIN MOORE
E	CEMENTITIOUS BOARD & BATTEN SIDING GRAYSTONE 1475 BENJAMIN MOORE
F	CEMENTITIOUS BOARD & BATTEN SIDING COLLECTOR'S ITEM AF-45 BENJAMIN MOORE
G	PABCO 30 YEAR COMPOSITE SHINGLE PEWTER GRAY
H	TRIM PAINTED WHITE



A LIMESTONE
BORAL BUCKS COUNTRY RANDOM ASHLAR



B CEMENTITIOUS SHINGLE/SHAKE SIDING
AGREEABLE GRAY SW 7029



C CEMENTITIOUS 7" CLAPBOARD SIDING
ENDURING BRONZE SW 7055



D CEMENTITIOUS 7" CLAPBOARD SIDING
SAGE MOUNTAIN 1468



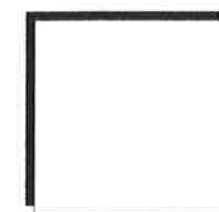
E CEMENTITIOUS BOARD & BATTEN SIDING
GRAYSTONE 1475



F CEMENTITIOUS BOARD & BATTEN SIDING
COLLECTOR'S ITEM AF-45



G 30 YEAR COMPOSITE SHINGLE
PABCO PEWTER GRAY



H TRIM
WHITE

Pacific West Architecture

430 E. STATE STREET, SUITE 100
EAGLE, IDAHO 83615
(208) 461-0002
fax (208) 461-3267

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PROJECT

UNIVERSITY DISTRICT
AFFORDABLE HOUSING

UNIVERSITY DISTRICT ROBERT PARK, CA

SCHEMATIC DESIGN / NOT FOR CONSTRUCTION

A2.2



BUILDING B - FRONT ELEVATION
(BUILDING C AND BUILDING A COLOR
SCHEME B SIMILAR)
1 3/16" = 1'-0"



BUILDING B - REAR ELEVATION
(BUILDING C AND BUILDING A COLOR
SCHEME B SIMILAR)
2 3/16" = 1'-0"



A LIMESTONE
BORAL BUCKS COUNTRY RANDOM ASHLAR



B CEMENTITIOUS SHINGLE
SHAKE SIDING
AGREEABLE GRAY SW 7029



C CEMENTITIOUS 7"
CLAPBOARD SIDING
KNOXVILLE GRAY HC-160



D CEMENTITIOUS 7"
CLAPBOARD SIDING
ASHWOOD MOSS 1484



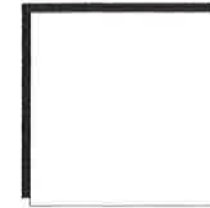
E CEMENTITIOUS BOARD &
BATTEN SIDING
GRAYSTONE 1475



F CEMENTITIOUS BOARD &
BATTEN SIDING
COLLECTOR'S ITEM AF-45



G 30 YEAR COMPOSITE
SHINGLE
PABCO PEWTER GRAY



H TRIM
WHITE

KEY NOTES

- 30 YEAR TYPE 'A' COMPOSITE SHINGLE, TYP.
- PAINTED HORIZONTAL CEMENTITIOUS SIDING OR APPROVED EQUAL.
- PAINTED CEMENTITIOUS SHINGLE/SHAKE STYLE SIDING OR APPROVED EQUAL.
- PAINTED CEMENTITIOUS BOARD & BATTEN OR APPROVED EQUAL.
- WHITE VINYL WINDOWS. SEE FLOOR PLANS, WINDOW SCHEDULE, AND SPECIFICATIONS.
- EXTERIOR DOOR. SEE FLOOR PLANS, DOOR SCHEDULE, AND SPECIFICATIONS. PAINT AS NOTED.
- DOOR/WINDOW TRIM. PAINT AS NOTED.
- PRE-FINISHED METAL GUTTER. SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNPOUT TO MATCH.
- PAINTED WOOD OUTRIGGER. COLOR AS NOTED.
- 2x HORIZONTAL TRIM PAINTED. ALIGN TRIM AS SHOWN.
- 4" VERTICAL TRIM. TYP.
- 1x FINISH FASCIA. MOF OR EQUAL. SEE DETAILS.
- METAL RAILING SYSTEM. COLOR AS NOTED. SEE BUILDING CROSS SECTIONS.
- ARCHITECTURAL GABLE END VENT. PAINT AS NOTED. SEE ROOF PLANS.
- CULTURED STONE. SET IN MORTAR BED WITH FLASHING AND WEEP SOREED. SEE SPECIFICATIONS.
- COLUMN, POST, AND BEAM. REFER TO BUILDING CROSS SECTIONS & DETAILS.
- WOOD TRIM OR ARCHITECTURAL FEATURE. SEE BUILDING SECTIONS.
- PAINTED METAL HANDRAIL.

MATERIAL FINISHES (SCHEME B)

- | | |
|---|---|
| A | BORAL BUCKS COUNTRY RANDOM ASHLAR LIMESTONE |
| B | CEMENTITIOUS SHINGLE SHAKE SIDING AGREEABLE GRAY SW 7029 SHERWIN WILLIAMS |
| C | CEMENTITIOUS CLAPBOARD SIDING 7" KNOXVILLE GRAY HC-160 BENJAMIN MOORE |
| D | CEMENTITIOUS CLAPBOARD SIDING 7" ASHWOOD MOSS 1484 BENJAMIN MOORE |
| E | CEMENTITIOUS BOARD & BATTEN SIDING GRAYSTONE 1475 BENJAMIN MOORE |
| F | CEMENTITIOUS BOARD & BATTEN SIDING COLLECTOR'S ITEM AF-45 BENJAMIN MOORE |
| G | PABCO 30 YEAR COMPOSITE SHINGLE PEWTER GRAY |
| H | TRIM PAINTED WHITE |

NOTE:
SCFFTY (NOT SHOWN) COLOR TO MATCH WHITE TRIM
ALL VENT TERMINATIONS AND OTHER EXTERNAL UTILITY
EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT WALL
SURFACE.

REVISIONS

DATE
10/25/17
BY
BP
PWH-117-2



Pacific West Architecture

430 E. STATE STREET, SUITE 100
EAGLE, IDAHO 83616
(208) 461-0022
fax (208) 461-3267

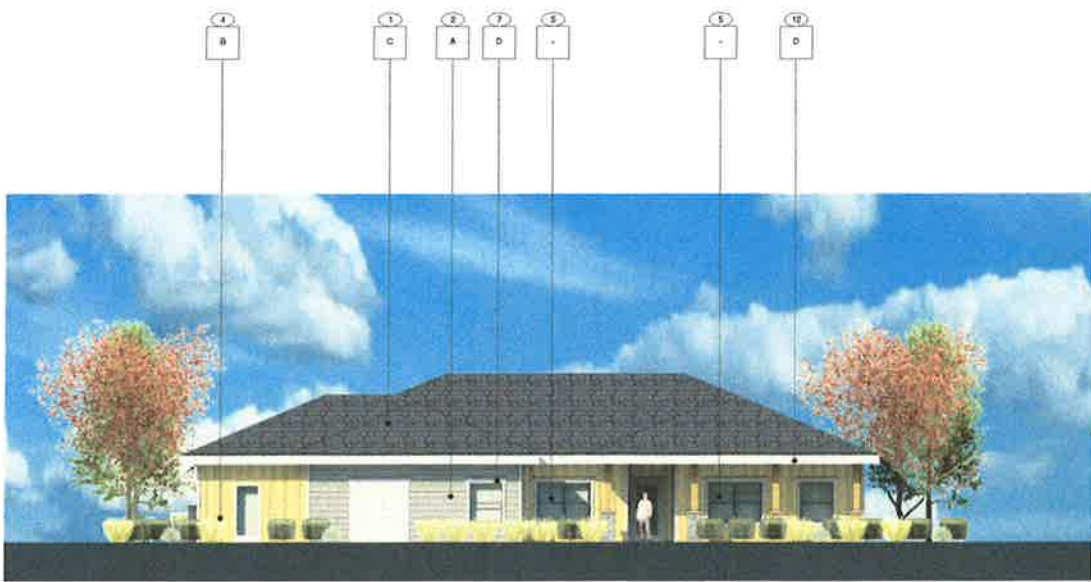
ALASKA - ARIZONA - CALIFORNIA - COLORADO - HAWAII - IDAHO - OREGON -
LOUISIANA - MONTANA - NEW MEXICO - NEVADA - NORTH DAKOTA - WASHINGTON -
SOUTH DAKOTA - U.S.V.I. - UTAH - WASHINGTON - WYOMING

PROJECT
UNIVERSITY DISTRICT
AFFORDABLE HOUSING

ROHNERT PARK, CA
UNIVERSITY DISTRICT

A2.3

SCHEMATIC DESIGN / NOT FOR CONSTRUCTION



1 COMMUNITY BLDG - ELEVATION
3/16" = 1'-0"



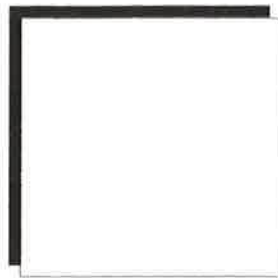
C CEMENTITIOUS
CLAPBOARD SIDING
GRAYSTONE 1475



D CEMENTITIOUS BOARD &
BATTEN SIDING
MARBLEHEAD GOLD HC-11



E 30 YEAR COMPOSITE SHINGLE
PARCO PEWTER GRAY



F TRIM
WHITE

KEY NOTES

- 30 YEAR TYPE A COMPOSITE SHINGLE, TYP.
- PAINTED HORIZONTAL CEMENTITIOUS SIDING OR APPROVED EQUAL.
- PAINTED CEMENTITIOUS SHINGLE/SHAKE STYLE SIDING OR APPROVED EQUAL.
- PAINTED CEMENTITIOUS BOARD & BATTEN OR APPROVED EQUAL.
- WHITE VINYL WINDOWS, SEE FLOOR PLANS, WINDOW SCHEDULE, AND SPECIFICATIONS.
- EXTERIOR DOOR, SEE FLOOR PLANS, DOOR SCHEDULE, AND SPECIFICATIONS, PAINT AS NOTED.
- DOOR/WINDOW TRIM, PAINT AS NOTED.
- PRE-FINISHED METAL GLUTTER, SEE ROOF PLAN FOR EXTENT, COLOR AS NOTED, DOWNSPOUT TO MATCH.
- PAINTED WOOD OUTRIGGER, COLOR AS NOTED.
- 2x HORIZONTAL TRIM PAINTED, ALIGN TRIM AS SHOWN.
- 4" VERTICAL TRIM, TYP.
- 1x FINISH FASCIA, MDF OR EQUAL, SEE DETAILS.
- METAL RAILING SYSTEM, COLOR AS NOTED, SEE BUILDING CROSS SECTIONS.
- ARCHITECTURAL GABLE END VENT, PAINT AS NOTED, SEE ROOF PLANS.
- CULTURED STONE, SET IN MORTAR BED WITH FLASHING AND WEEP SCREED, SEE SPECIFICATIONS.
- COLUMN, POST, AND BEAM, REFER TO BUILDING CROSS SECTIONS & DETAILS.
- WOOD TRIM OR ARCHITECTURAL FEATURE, SEE BUILDING SECTIONS.
- PAINTED METAL HANDRAIL.

MATERIAL FINISHES (SCHEME C):

- | | |
|---|---|
| A | CEMENTITIOUS CLAPBOARD SIDING 7" GRAYSTONE 1475 BENJAMIN MOORE |
| B | CEMENTITIOUS BOARD & BATTEN SIDING MARBLEHEAD GOLD HC-11 BENJAMIN MOORE |
| C | PARCO 30 YEAR COMPOSITE SHINGLE PEWTER GRAY |
| D | TRIM PAINTED WHITE |

NOTE:
ROOFY (NOT SHOWN) COLOR TO MATCH WHITE TRIM
ALL VENT TERMINATIONS AND OTHER EXTERNAL UTILITY
EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT WALL
SURFACE.

REVISIONS

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10/25/17

DRAWN BY

BP

PROJECT #

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430 E. STATE STREET, SUITE 100
EAGLE, IDAHO 85616
(208) 461-0022
18x (208) 461-3267

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PROJECT

UNIVERSITY DISTRICT
AFFORDABLE HOUSING

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A2.4

SCHEMATIC DESIGN / NOT FOR CONSTRUCTION