

**RESOLUTION NO. 2017-122**

**A RESOLUTION OF THE CITY COUNCIL OF THE  
CITY OF ROHNERT PARK, CALIFORNIA, UPHOLDING AN APPEAL AND  
APPROVING A CONDITIONAL USE PERMIT AND SITE PLAN AND  
ARCHITECTURAL REVIEW FOR MIXED-USE MULTI-FAMILY AND RETAIL  
COMMERCIAL PROJECT LOCATED AT THE NORTHEAST CORNER OF EAST  
COTATI AVENUE AND CAMINO COLEGIO AVENUE (143-340-061 AND 158-270-065)**

**WHEREAS**, the applicant, Steven Scarpa, filed Planning Application No. PLSU17-0002 for a Conditional Use Permit and Site Plan and Architectural Review to allow a mixed-use multi-family and retail commercial project at the northwest corner of East Cotati Avenue and Camino Colegio Avenue (APN 143-340-061 and 158-270-065), in accordance with the City of Rohnert Park Municipal Code;

**WHEREAS**, Planning Application No. PLSU17-0002 was processed in the time and manner prescribed by State and local law;

**WHEREAS**, on June 22, 2017 the Planning Commission opened the public hearing and received testimony at which time the applicant requested the hearing be continued to the July 13, 2017 meeting to allow the owner the opportunity to attend;

**WHEREAS**, on July 13, 2017 the Planning Commission reviewed Planning Application No. PLSU17-0002 during a scheduled public meeting at which time interested persons again had an opportunity to testify either in support of or opposition to the project (Planning Commission Staff Report and Attachments, Exhibit B); and,

**WHEREAS**, at the July 13, 2017, Planning Commission meeting, upon hearing and considering all testimony and arguments of all persons desiring to be heard, the Commission considered all the facts relating to Planning Application No. PLSU17-0002 and did not approve the Conditional Use Permit and Site Plan and Architectural Review that would allow for a mixed-use multi-family and retail commercial project at the northwest corner of East Cotati Avenue and Camino Colegio Avenue; and

**WHEREAS**, on July 21, 2017, the applicant, Steven Scarpa, filed an appeal (Exhibit C) requesting the City Council reconsider Planning Application No. PLSU17-0002 and on August 16, requested that the hearing be held on October 10, 2017; and

**WHEREAS**, on October 10, 2017, the City Council considered the appeal and reviewed Planning Application No. PLSU17-0002 during a scheduled public meeting at which time interested persons had an opportunity to testify either in support of or opposition to the project.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ROHNERT  
PARK DOES RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

**Section 1.** That the above recitations are true and correct.

**Section 2. Findings.** The City Council in considering the appeal has reviewed Planning Application No. PLSU17-0002 makes the following findings to support the approval of the Conditional Use Permit:

- A. That the proposed location of the conditional use is consistent with the objectives of the zoning ordinance and the purposes of the district in which the site is located.*

Criteria Satisfied. The C-N Neighborhood Commercial zoning district is an appropriate zone for this type of mixed use project. The City Council has determined that the site meets the parking requirements contained with the zoning ordinance and that the proposed project does not result in undue impacts on the surrounding neighborhood beyond impact anticipated by the General Plan. The project would provide a net increase in parking over anticipated demand, and nine additional spaces along Camino Colegio to help alleviate parking issues in the neighborhood. The project is consistent with the neighborhood commercial zoning designation and the proposed development would be harmonious with surrounding residential and commercial development. The development would provide for needed housing opportunities in a central location.

- B. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity, and that the operation and maintenance of the conditional use will be compatible with surrounding uses.*

Criteria Satisfied. As part of the project review the impact of this project on the neighborhood was carefully considered. Particular attention was paid to neighborhood traffic and parking issues due to concerns expressed by neighborhood residents and the Planning Commission. The concerns are related to a perceived increase in traffic, a perceived deficiency in neighborhood parking, perceived hazards introduced by new driveways accessing the project site and potential noise impacts from refuse enclosures along the rear property line. Staff reviewed these issues and concluded that any project on this site would not result in such impacts. The proposal is not expected to exacerbate the on-street parking issues in the neighborhood. A study completed for the project reveals that the site will have adequate parking. The addition of nine on-street parking space provided, above and beyond the zoning ordinance requirement, would increase the on-street parking supply in the neighborhood. The project site has been designed consistent with the General Plan designation for the site and is consistent with the zoning ordinance.

Any development of the subject site would require a minimum of two entries to access off-street parking and result in a slight increase in localized traffic. It would not be reasonable to prohibit all development on this site in order to prevent additional neighborhood traffic.

As a mixed use project including multi-family and commercial uses, the project will be compatible with surrounding commercial and residential uses. The developer has designed the project to protect adjacent single-family homes from adverse impacts from the development as much as possible by locating the buildings along Camino Colegio - providing separation from the neighboring single family homes. A masonry wall would be constructed to provide additional separation. The project's commercial uses are oriented towards East Cotati and relate well to the commercial orientation of the East Cotati corridor.

- C. *The proposed conditional use will comply with each of the applicable provisions of this title.*

Criteria Satisfied. This development would conform to all requirements of the Municipal Code, including the requirements of the C-N Neighborhood Zoning District including building setbacks, parking, open space and building design.

**Section 3.** Factors Considered. The City Council in considering the appeal has reviewed Planning Application No. PLSU17-0002 and considered the following factors to support approval of the Site Plan and Architectural Review (SPAR):

- A. *That the developments general appearance is compatible with existing development and enhances the surrounding neighborhood.*

Criteria Satisfied. The proposed development is compatible with surrounding commercial and multi-family development. The design of the project will provide a contemporary design that will complement and enhance existing architecture in the area. The height and scale is consistent with the C-N Neighborhood Commercial District. The building height is consistent with multi-family structures in the area. The majority of the buildings have been placed along Camino Colegio to shift the building masses away from the single family homes on adjacent properties.

- B. *That the development incorporates a variation from adjacent on-site and off-site structures in height, bulk, and area; arrangement on the parcel; openings or breaks in the façade facing the street; and/or the line and pitch of the roof.*

Criteria Satisfied. The building elevations depict deep recesses and major articulation in the building walls and the roof line that would reduce the bulk of the structures. The apartment units would have individual patios enclosed by attractive planter containers. Extensive tree planting would be included in the landscaped areas. An attractive outdoor patio is located between the commercial structures on East Cotati Avenue. The development will include attractive improvements on the street frontages.

- C. *That the development will be located and oriented in such a manner so as to provide pedestrian, bicycle and vehicular connections with adjacent properties, as appropriate, and avoids indiscriminate location and orientation.*

Criteria Satisfied. The project site is within walking distance of the SMART station, Sonoma State University and a wide variety of shopping options. Bike lanes are currently provided on East Cotati Avenue and on Camino Colegio Avenue. There is also a bike and pedestrian path along the SMART tracks leading to other designations in the city. The project site would provide require bicycle parking. Project sidewalks would connect to the public sidewalk system and new sidewalks would be adding along the project frontages which would enhancing the pedestrian system for the neighborhood.

**Section 4.** Environmental Determination. This proposal is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the CEQA Guidelines because the project is a Class 32 In-Fill Development Project as set forth in the criteria of subdivisions (a), (b), (c), (d) and (e). No further action is required pertaining to environmental review.


**Section 5.** Approval. The City Council does hereby uphold the appeal and approve Planning Application No. PLSU17-0002 subject to the conditions of approval provided in Exhibit A.

**DULY AND REGULARLY ADOPTED** this 10th day of October, 2017.

**CITY OF ROHNERT PARK**

  
\_\_\_\_\_  
Jake Mackenzie, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Caitlin Saldanha, Deputy City Clerk

Attachments: Exhibits A, B, and C

AHANOTU: Aye BELFORTE: Aye CALLINAN: Aye STAFFORD: Aye MACKENZIE: Aye  
AYES: ( 5 ) NOES: ( 0 ) ABSENT: ( 0 ) ABSTAIN: ( 0 )

**Exhibit A**  
**ADOPTED PER CC RESOLUTION NO. 2017-122**

**Conditions of Approval**

**Conditional Use Permit and Site Plan and Architectural Review:**

**Vintage Pointe III Project**

The conditions below shall apply to the Vintage Pointe III Project located at the Northeast Corner of East Cotati Avenue and Camino Colegio Avenue.

**General Conditions**

1. All applicable provisions of the City of Rohnert Park Municipal Code (RPMC) are made a part of these conditions of approval in their entirety, as if fully contained herein.
2. The violation of any condition listed herein shall constitute a nuisance and a violation of the RPMC. In conformity with Chapter 1.16 of the RPMC, a violation of the RPMC may be an infraction or a misdemeanor and shall be punishable as provided by law. In addition to criminal penalties, the City may seek injunctive relief. The Applicant agrees to pay for all attorney's fees and costs, including, but not limited to, staff time incurred by the City in obtaining injunctive relief against the Applicant as a result of a failure of the Applicant to fully perform and adhere to all of the Conditions of Approval.
3. The Applicant agrees to defend, indemnify, hold harmless and release the City of Rohnert Park, its agents, officers, attorneys and employees from any claim, action or proceedings brought against any of the above, the purpose of which is to attack, set aside, void, or annul the approval of this application or certification of the environmental document which accompanies it. This indemnification obligation shall include but not be limited to, damages, costs, expenses, attorneys', or expert witness fees that may be asserted by any person or entity, including the Applicant, whether or not there is concurrent passive or active negligence on the part of the City, its agents, officers, attorneys or employees.

**General Project Conditions**

4. By accepting the benefits conferred under the Vintage Pointe III project, the Applicant acknowledges all the conditions imposed and accepts the development subject to those conditions. The use of the property by the Applicant for any activity authorized by the project approvals shall constitute acceptance of all of the conditions and obligations imposed by the City. The Applicant by said acceptance waives any challenges as to the validity of these conditions.
5. The Vintage Pointe III Project shall be designed, approved and installed to be consistent with the RPMC and the City of Rohnert Park General Plan.
6. The Site Plan and Architectural Review approval shall expire one year from the Planning Commission approval date, unless prior to expiration a building permit is issued and construction is commenced and diligently pursued toward completion and the use is initiated, or an extension is requested and approved.

## Project Design Conditions

7. All improvements shall conform to the approved site plan, exterior elevations, landscape plan, and materials board. Any minor changes shall be reviewed and approved by staff.
8. Bicycle racks shall be provided adjacent to the access for the commercial tenants and for the residential tenants for both short term and long term bike storage, details subject to Development Services staff approval.
9. All roof and ground mounted mechanical equipment shall be screened from public view, details subject to Planning and Building review.
10. Project lighting shall be reviewed and approved by planning and engineering staff and conform to the approved plan. All exterior lighting shall be LED and designed to avoid spillover onto adjacent properties and the public right-of-way. All lighting, reflective surfaces, and other sources of illumination shall be utilized in a manner that minimized glare on public streets or any other parcel. The lights shall be of a minimum illumination necessary to perform operations and provide for safety and security. (See also Condition #27).
11. Frontage improvements along Cala Way shall be constructed all the way to the intersection of Cala Way and Caridad Court. This includes the landscaping strip proposed between the sidewalk and the street (if approved as part of the street design analysis). All public signage, striping, and markings along the frontage shall be placed on the site improvement plans. Replacement of existing markings will be required with the new street alignment.
12. A street design analysis will be required for Cala Way and Camino Colegio. The sidewalk, landscaping strip, and parallel parking improvements proposed within the public ROW will need to be designed in a way that does not impact traffic flow on the public roads. If the design cannot meet City Standards, some, if not all of the improvements need to be shifted onto the property. Any improvements placed on the property will require a public easement.
13. Landscaping along the project frontage shall be irrigated and maintained by the property owner. Include these in the proposed irrigation plans.
14. Landscaping shall be constructed in accordance with the State's Model Water Efficient Landscaping Ordinance (MWELo), or in accordance with water conservation standards which meet or exceed the requirements of the MWELo. The Applicant shall submit a landscaping and irrigation plan that identifies landscape material types and locations, irrigation, water usage calculations, and other information as required. The plan shall be submitted to and reviewed and approved by the Development Services Department prior to construction. All costs for review of the requirements of the MWELo shall be borne by the Applicant. All landscaping and irrigation subject to the MWELo shall be substantially complete prior to the issuance of a Certificate of Occupancy.
15. Project shall install purple pipe to accommodate recycled water for landscape uses when available in the future. The installation shall be designed in accordance with the City of Santa Rosa's Recycled Water Users Guide for future connection.
16. The project shall meet the following: Regulations governing construction standards and specifications including California Building Code Standards as amended and adopted by the City, and all other applicable State and local regulations applicable in the City at the time of permit application.

17. The landscaping shall be maintained in an attractive, weed and litter-free condition at all times.
18. There shall be no banners, flags, sandwich boards, or other temporary signs or attraction getting devices displayed on the property without the appropriate permit.
19. Any new trees within five (5) feet of the public right-of-way or within five (5) feet of any paved areas within the project shall have root barriers that are approved by the City Engineer.

## **Public Safety Conditions**

20. The project will require deferred permits for the Fire Sprinkler System, Fire Alarm System and hood a duct fixed extinguishing system. The permit applications and fees shall be submitted to the City of Rohnert Park Fire division prior to any construction is started on any of these systems.
21. Key access shall be provided to the interior of businesses, including utility shut-off placed in Fire Department lock box. Provide a new lock box as required (during site inspection).
22. Fire extinguishers shall be installed per the Fire Code.
23. Fire lanes/markings shall be reviewed during Fire Division construction inspections.
24. Illuminated exit signs shall be provided at all exits.
25. Illuminated address signs shall be provided details subject to approval of the Fire Division.
26. The adequacy of the existing fire hydrants will be verified as the project develops.
27. Operation permits: Place of Assembly may be required prior to occupancy.
28. All electrical panels and roof access ladders shall be located in a mechanical room or enclosure.

## **Prior to Improvement Plan Issuance**

26. All improvements shall be designed in conformance with: the City of Rohnert Park, Manual of Standards, Details and Specifications in effect at the time of development
27. The grading plan shall be prepared by a Registered Civil Engineer, licensed in the State of California and shall be submitted for review and approval by the City Engineer.
29. The Project benchmark shall be based on a City approved USGS benchmark.
30. An easement for public sidewalk along Camino Colegio, East Cotati, and Cala Way shall be provided and approved for all portions along the frontage that is not in the City's ROW.
31. All existing portions of sidewalk not up to current accessibility standards, and not up to the City's current standard shall be replaced.
32. The applicant shall submit a geotechnical study conducted by an engineer licensed in the State of California and qualified to perform soils work, or a California Certified Geologist and acceptable to the City. Recommendations shall be provided, as necessary, to prevent damage to Project facilities and compliance with these recommendations shall be required as a condition of development at the Project site. The grading and improvement plans shall incorporate the recommendations of the approved geotechnical study. This geotechnical study shall at a minimum evaluate the following:



- a. The liquefaction potential at the Project site.
  - b. The location and extent of expansive soils at the Project site, including recommendations regarding the treatment and/or remedy of on-site soils, and the structural design of foundations and underground utilities.
  - c. Seismic safety including recommendations regarding the structural design of foundations and underground utilities.
28. The improvement plans shall be prepared by a Registered Civil Engineer, licensed in the State of California, shall be submitted for the review and approval of the City Engineer prior to issuance of a grading permit.
38. Improvements plans shall include an erosion control (winterization) plan. The plan must include an order of work and staging/scheduling component indicating when facilities must be installed and when they may be removed. A separate Rain Event Action Plan (REAP) shall be required and prepared as part of the Storm Water Pollution Prevention Plan (SWPPP). A copy of the REAP shall be kept on-site throughout the duration of construction activities.
33. The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved.
34. The improvement plans shall illustrate public street frontage improvements, grading, paving, utilities, and drainage structures to be built, lighting and trash collection. The improvements plans shall include parking lots, street and utility information including all concrete curb and gutter, sidewalk, street lights, striping and signing, paving, water lines, storm drain lines and sewer lines as necessary, erosion control and any necessary transitions.
35. Sidewalk warps shall be provided to allow a clear five foot walkway at all locations, including areas where mailboxes, streetlights, street signs and fire hydrants are to be installed.
36. Driveway entrances shall be designed to meet the requirements of the City Standards and the City Engineer. All driveways shall be per City standards for commercial developments.
37. Street lighting shall be designed in accordance with City of Rohnert Park and PG&E requirements. Provide a photometric lighting plan with existing lighting and proposed lighting on all project frontage. Street light design, spacing, and locations shall be approved by the City Engineer. Electrical service points shall be shown on the plans based on PG&E provided locations.
38. The applicant shall submit to the City of Rohnert Park for review and approval, drainage plans, hydrologic, and hydraulic calculations pipe sizing and storm drain plans prepared by a Registered Civil Engineer licensed in the State of California. The drainage plans and calculations shall indicate the following conditions before and after development:
- a. A site-specific hydrology and drainage study acceptable to the City showing the increase in storm water runoff that would result from development of the Project site.
  - b. Quantities of water, water flow rates, drainage areas and patterns and drainage courses.
  - c. Hydrology shall be per current Sonoma County Water Agency Standards.



39. Discharge of runoff onto pavement should be avoided.
40. No lot to lot drainage is allowed. No concentrated drainage may discharge across sidewalks. All site drains must be connected to the public storm drain system, or discharged through the face of curb or to an established waterway. A minimum of two curb drains will be required to drain residential lots.
41. Plans and certifications shall demonstrate compliance of all improvements, including building pads and finished floor elevations, with the City's Flood plain Ordinance, to the satisfaction of the Building Official and City Engineer. Pad elevations shall be constructed at a minimum of 1 foot above the 100-year Floodplain as determined by the City and certified by the project engineer.
42. The improvement plans shall show backflow prevention devices in accordance with the requirements of the City of Rohnert Park's Backflow Prevention Ordinance.
43. Each individual multifamily and/or commercial unit shall be sub-metered off a master City water meter.
44. The improvement plans shall include a note that states "All hydrants shall be covered with bags indicating that the hydrant is not active until flow tests are completed by the City and the hydrants are approved."
45. A sanitary sewer application shall be submitted to the Development Services for review and approval. Application shall indicate the type of discharge proposed.
46. Utility plans within existing or proposed public right-of-way for electric, gas, telephone, cable and fiber optic (joint trench) shall be submitted to the City Engineer for review. All proposed on-site utilities shall be placed underground. This does not include surface mounted transformers, pedestal mounted terminal boxes and meter cabinets.
47. The applicant shall secure an encroachment permit from the City prior to performing any work within the City right of way or constructing a City facility within a City easement.
48. If the site will require import or export of dirt, the applicant shall submit in writing the proposed haul routes for the trucks and equipment. The haul routes must be approved by the City prior to import/export work commencing.
49. For a grading permit, the applicant shall secure an approval of a grading plan prepared by a Registered Civil Engineer licensed in the State of California, pay all required fees and post sufficient surety guaranteeing completion.

### **During Construction**

50. Hours of work shall be limited to between 8 a.m. to 6 p.m. Monday through Friday. Work on Saturday or Sunday will only be permitted with written permission from the City. Requests for extended hours must be submitted 72 hours in advance.
51. The applicant shall be responsible to provide erosion and pollution control in accordance with the approved plans and permits.
52. If grading is to take place between October 15 and April 15, both temporary and permanent erosion control measures, conforming to the project erosion control plans shall be in place

before October 1st. Erosion control measures shall be monitored and maintained continuously throughout the storm season.

53. The following minimum Best Management Practices (BMPs) shall be required during construction:
- a. Construction crews shall be instructed in preventing and minimizing pollution on the job.
  - b. Construction entrances/exits shall be stabilized to prevent tracking onto roadway.
  - c. Exposed slopes shall be protected from erosion through preventative measures.
  - d. Use brooms and shovels when possible to maintain a clean site
  - e. Designate a concrete washout area. Maintain washout area and dispose of concrete waste on a regular basis.
  - f. Establish a vehicle storage, maintenance, and refueling area.
  - g. Protect drain inlets from receiving polluted storm water through the use of filters such as fabrics, gravel bags or straw wattles.
  - h. Have necessary materials onsite before the rainy season.
  - i. Inspect all BMPs before and after each storm event. Maintain BMPs on a regular basis and replace as necessary, through the entire course of construction.

### **Prior to Building Permit Issuance**

54. Prior to the issuance of any sign permits, a Master Sign Program approval shall be required by the Planning Commission. Only one monuments sign shall be permitted per property frontage.
55. Plans submitted for a building permit shall indicate accessible units.
56. Electrical Vehicle parking shall be provided as required by the Building Code.
57. Prior to issuance of a building permit the two parcels shall be merged into a single parcel.
58. The applicant shall provide pad certifications for the site on which the building permit is requested.
59. The applicant shall retain the existing trees along the east property line located on the adjacent residential properties.

### **Prior to Occupancy**

60. Plans shall be submitted for the retaining wall along the Cala Way frontage. The wall shall be the same color as the apartment building.
61. The masonry wall shall be installed along the east property line shall be six (6) feet in height unless a shorter wall is requested by the adjacent property owners. The color of the wall shall match the building color.

62. The applicant shall have entered into the City's standard Master Maintenance Agreement with the City to address long term maintenance of, among other things, the stormwater BMPs.

### **Prior to Site Improvement Acceptance**

63. All improvements shown on the Improvement Plans shall be completed.
64. A complete set of As-Built or Record, improvement plans on the standard size sheets shall be certified by the Civil Engineer licensed in the State of California and returned to the City Engineer's office prior to final acceptance of the public improvement. These shall show all constructive changes from the original plans including substantial changes in the size, alignment, grades, etc. during construction.
65. Approved Record Drawings shall be provided to the City geo-referenced in Autocad DWG and & PDF File formats.
66. All existing curb, gutter and sidewalk to remain shall be inspected by the City. Any curb, gutter and sidewalk which is not in accord with City standards or is damaged before or during construction, shall be replaced.
67. The applicant shall provide a written statement signed by his or her engineer verifying that the grading and/or drainage improvements are completed in accordance with the plans approved by the Sonoma County Water Agency, the City Engineer, and the Building Official.



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STEVEN SCARPA

VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

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ROHNERT PARK

DATE	2/17
	DRAWN BY: CHECKED BY: REVISIONS: DATE:
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**FARRELL-FABER**  
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ARCHITECTURE - PLANNING

STEVEN SCARPA

VINTAGE POINTE III MIXED-USE PROJECT  
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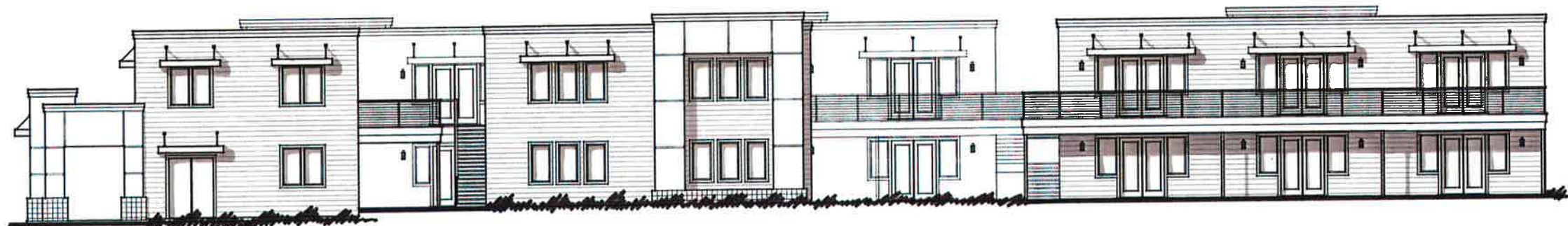
RESIDENTIAL/OFFICE SOUTH ELEVATION (FROM PARKING LOT)

SCALE: 1/8" = 1'-0"



RESIDENTIAL/OFFICE WEST ELEVATION (FROM CAMINO COLEGIO)

SCALE: 1/8" = 1'-0"



RESIDENTIAL/OFFICE EAST ELEVATION

SCALE: 1/8" = 1'-0"



RESIDENTIAL/OFFICE NORTH ELEVATION (FROM CALA WAY)

SCALE: 1/8" = 1'-0"

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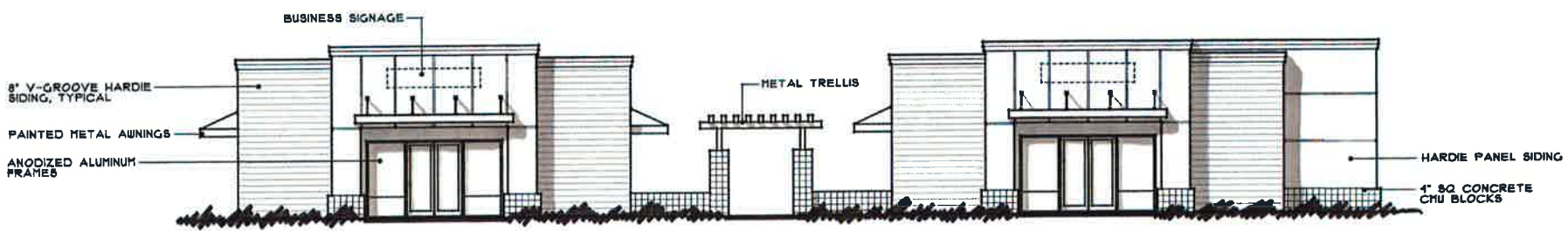
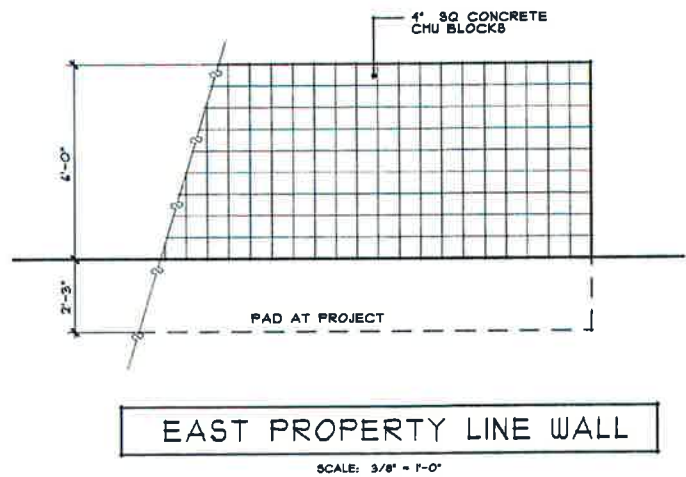
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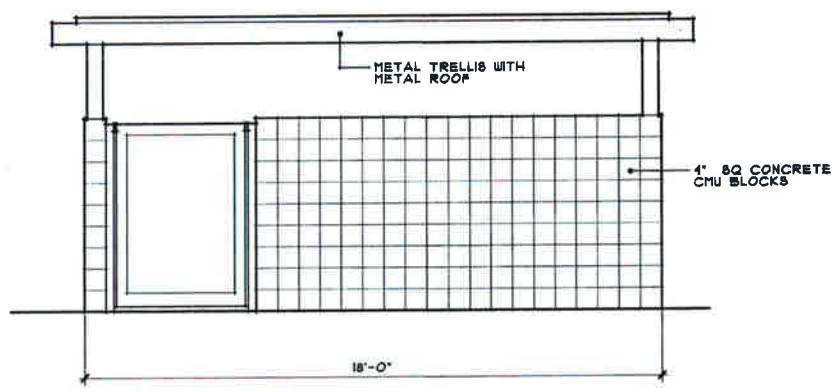
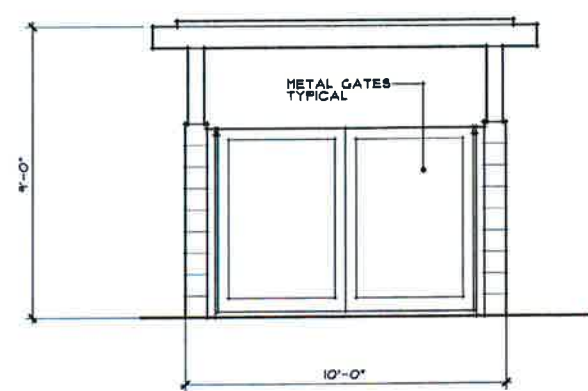
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SHEET 103 OF 103  
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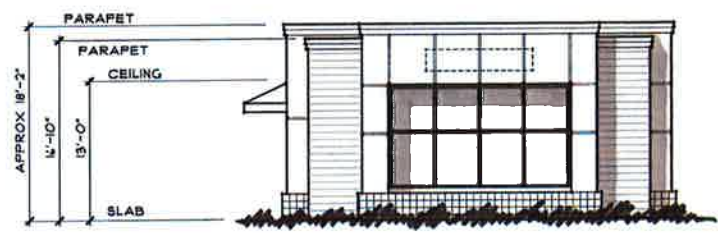




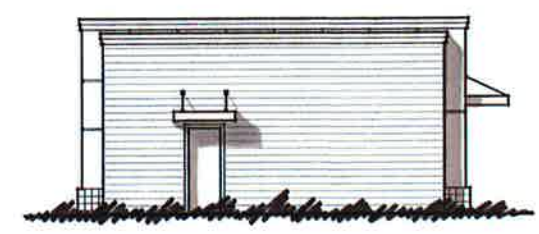
COMMERCIAL NORTH ELEVATION (FROM PARKING LOT)  
SCALE: 1/8" = 1'-0"



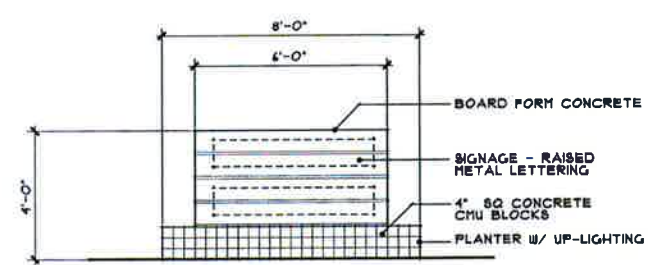
TRASH ENCLOSURES  
SCALE: 3/8" = 1'-0"



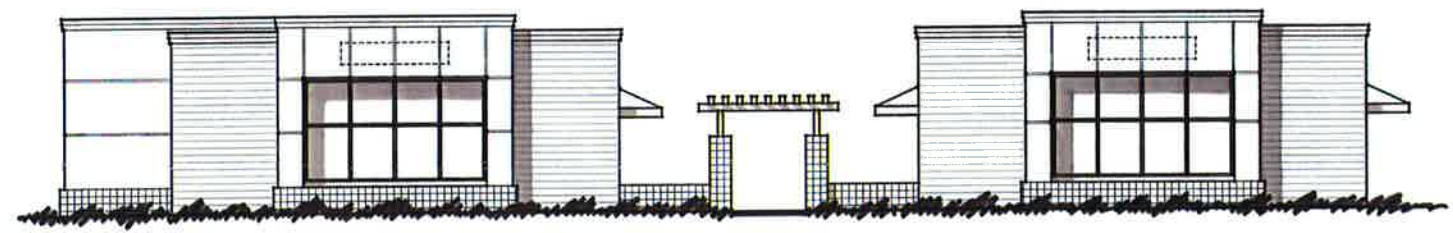
COMMERCIAL WEST ELEVATION (FROM CAMINO COLEGIO)  
SCALE: 1/8" = 1'-0"



COMMERCIAL EAST ELEVATION  
SCALE: 1/8" = 1'-0"



MONUMENT SIGNS  
SCALE: 3/8" = 1'-0"



COMMERCIAL SOUTH ELEVATION (FROM EAST COTATI AVE)  
SCALE: 1/8" = 1'-0"

DATE: 2/17

DRAWN BY: [blank]

CHECKED BY: [blank]

REVISIONS: [blank]

NOTES

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DESIGN FOR

STEVEN SCARPA

VINTAGE POINTE III MIXED-USE PROJECT

ROHNERT PARK, CALIFORNIA

FARRELL-FABER & ASSOCIATES, INC.

ARCHITECTURE • PLANNING

1022 Mendocino Avenue  
Santa Rosa, CA 95401  
TEL: 707-579-3811  
www.farrellfaber.com

SHEET JOB NO

11003-HCH

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UPPER FLOOR PLAN

SCALE: 1/20

LOWER FLOOR PLAN

SCALE: 1/20

NOTES

DATE: 2/17  
DRAWN BY:  
CHECKED BY:  
REVISIONS: DATE:

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STEVEN SCARPA

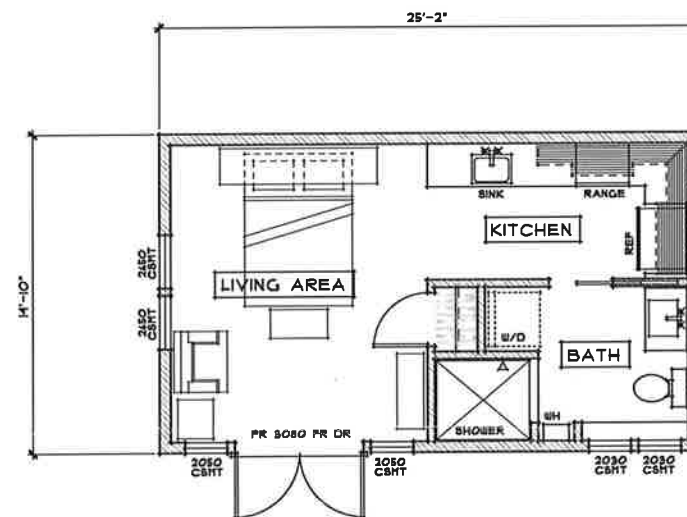
CAMINO COLEGIO MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

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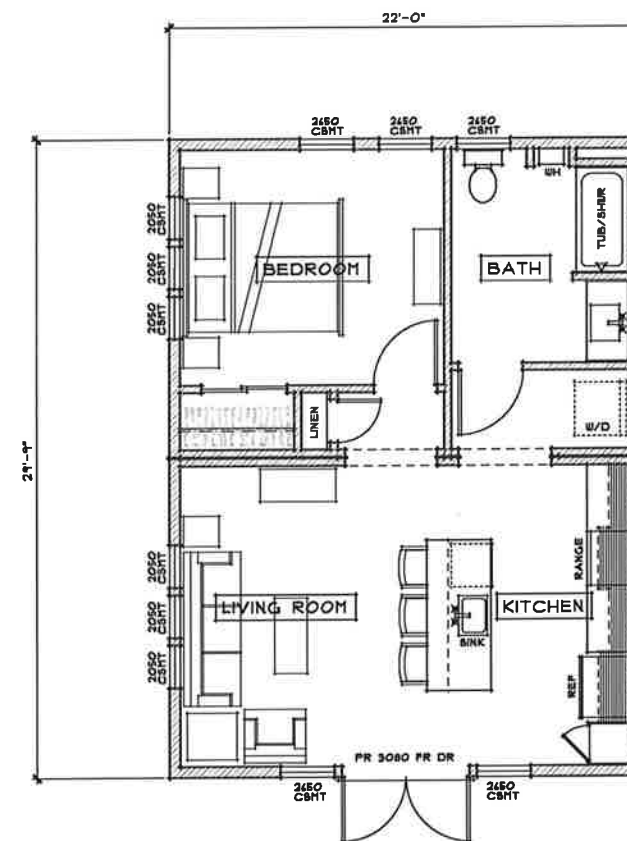
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STUDIO FLOOR PLAN

SCALE: 1/4" = 1'-0"  
APPROX 315 SQ FT

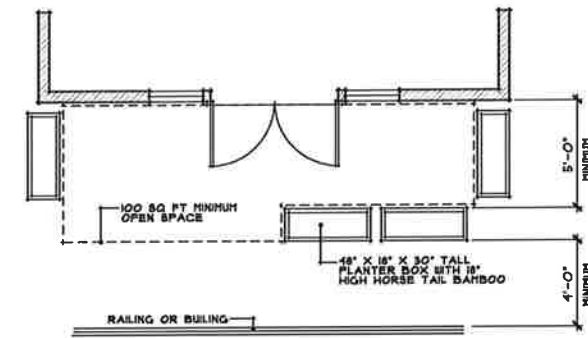


ONE BEDROOM FLOOR PLAN

SCALE: 1/4" = 1'-0"  
APPROX 455 SQ FT

PLANTER LOCATION MAY VARY PER UNIT  
TYPICAL PRIVATE PATIO DETAIL

SCALE: 1/4" = 1'-0"



DATE 2/17

DRAWN BY:  
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REVISIONS: DATE:

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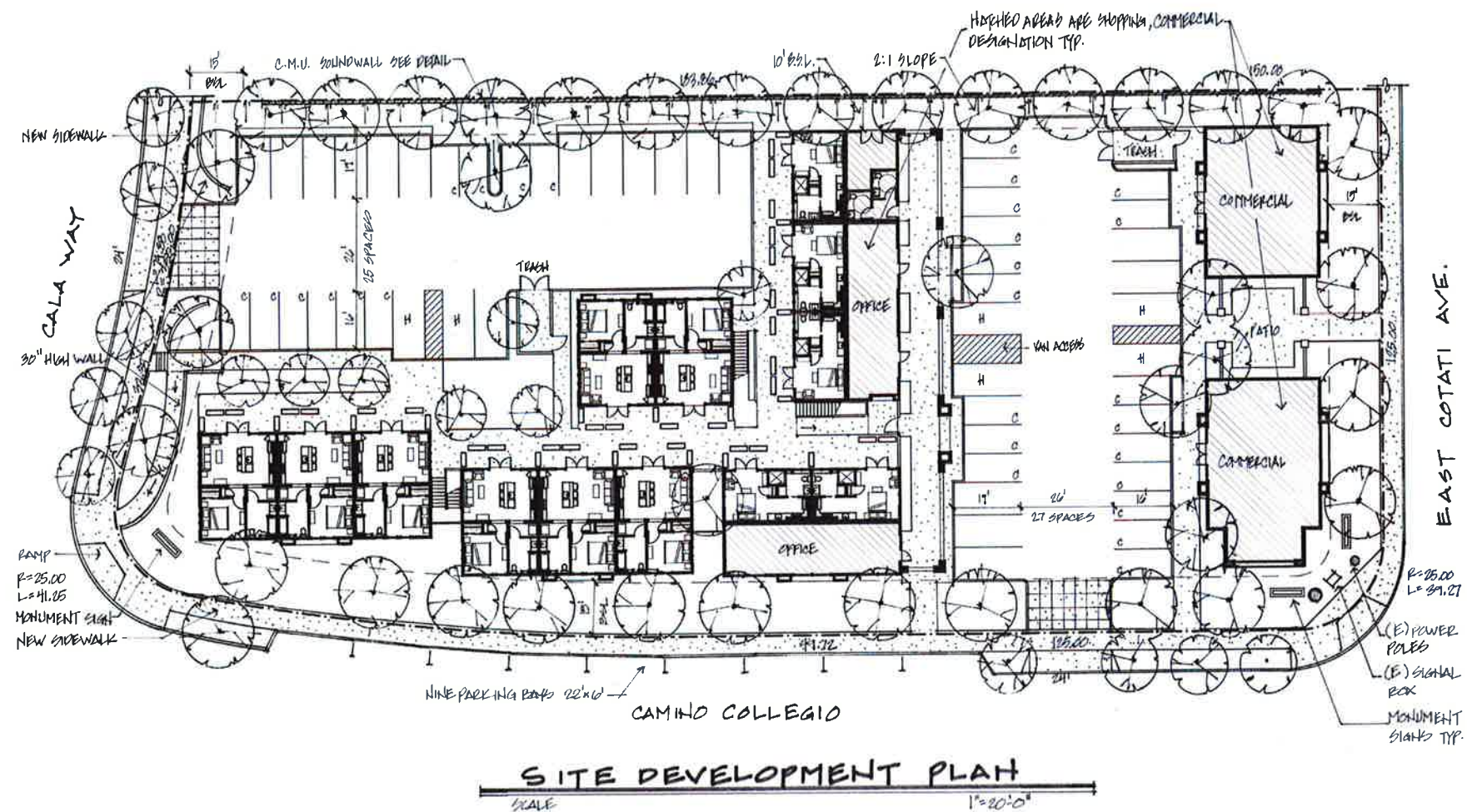
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**STEVEN SCARPA**  
VINTAGE POINTE III MIXED-USE PROJECT  
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DESIGN FOR

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**SITE DEVELOPMENT PLAN**  
 SCALE 1"=20'-0"

**SITE TABULATION:**

14 1-BEDROOM UNITS:	APPROX. 455 SQ. FT.
15 STUDIO UNITS:	APPROX. 375 SQ. FT.
OFFICE SPACE:	APPROX. 1485 SQ. FT.
COMMERCIAL SPACE:	APPROX. 2715 SQ. FT.
ON-SITE PARKING SPACES:	52
STREET PARKING SPACES:	9
28 COMPACT PARKING SPACES	

**DATE** 2/17

DRAWN BY:  
CHECKED BY:  
REVISIONS: DATE:

**NOTES**

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**DESIGN FOR**

**STEVEN SCARPA**

VINTAGE POINTE III MIXED-USE PROJECT

ROHNERT PARK, CALIFORNIA

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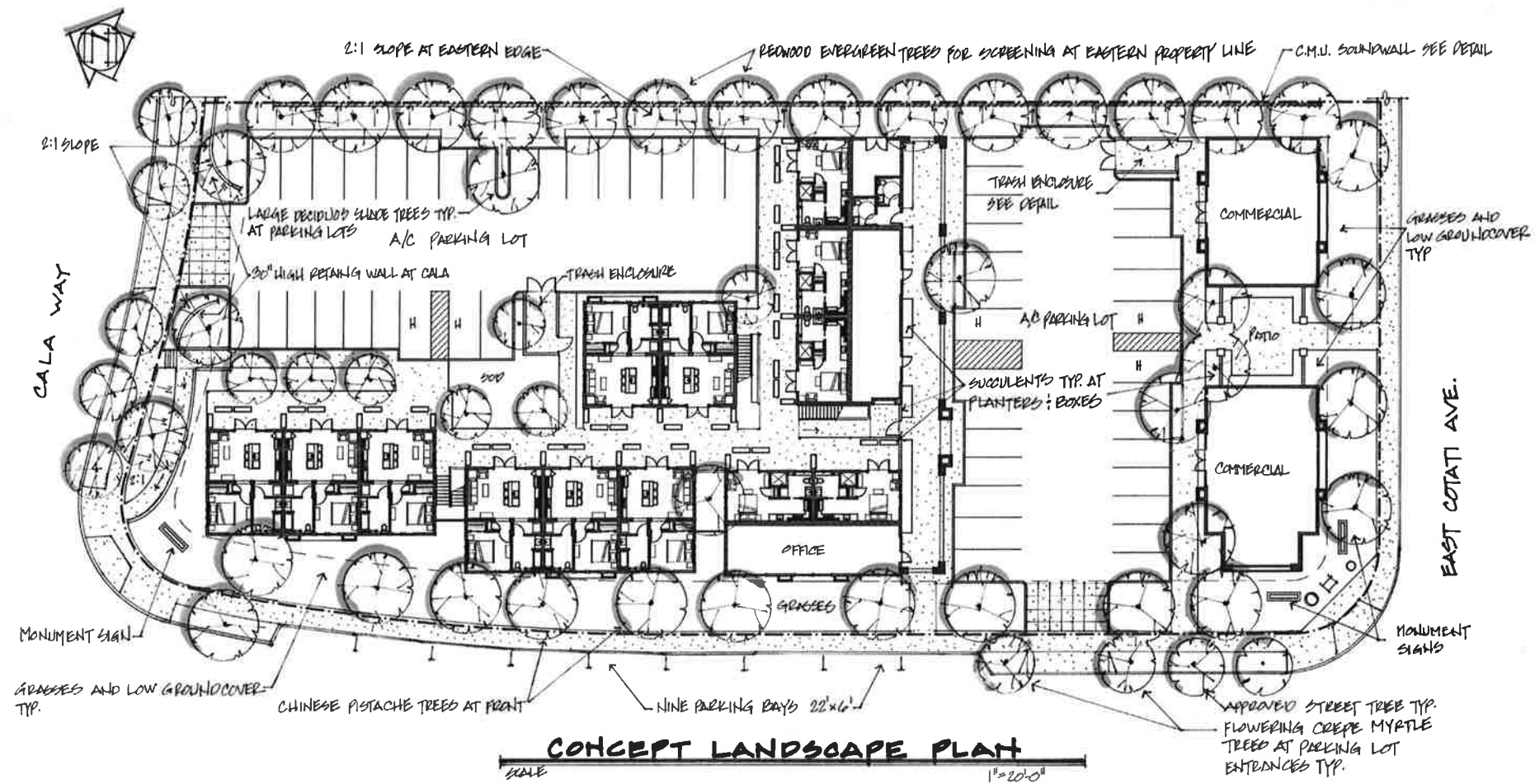
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**STEVEN SCARPA**  
 VINTAGE POINTE III MIXED-USE PROJECT  
 ROHNERT PARK, CALIFORNIA

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1003-HCH



City of Rohnert Park  
Planning Commission Report

**DATE:** July 13, 2017

**ITEM NO:** 8.1

**SUBJECT:** PLSU17-0002 Conditional Use Permit and Site Plan and Architectural Review for Mixed Use Residential and Commercial Project at the Northeast Corner of East Cotati Avenue and Camino Colegio Avenue

**LOCATION:** Northeast Corner of East Cotati Avenue and Camino Colegio Avenue APN 143-340-061 and 158-270-065

**REQUEST:** Consideration of Resolution No. 2017-19, approving a mixed use project consisting of 31 apartment units and 4,200 square feet of commercial and office space

**APPLICANT:** Steven Scarpa

---

**Background**

This item was scheduled for the June 22, 2017 Planning Commission meeting. At the request of the applicant, it was continued to the July 13, 2017 meeting. On June 22<sup>nd</sup>, the Commission opened the public hearing and accepted testimony from residents in attendance. The public hearing was left open and the item continued to July 13<sup>th</sup> Planning Commission meeting.

This vacant 50,529 square foot (1.16 acre) parcel at the northeast corner of East Cotati Avenue and Camino Colegio Avenue is zoned C-N Neighborhood Commercial. Property to the east and north on Cala Way and Caridad Court are zoned single family and multi-family and developed accordingly. Property to the west across Camino Colegio Avenue is zoned multi-family and neighborhood commercial and developed accordingly. The project site consists of two (2) parcels that will have to be merged if the application is approved.

At its meeting of November 10, 2016, the Planning Commission held a hearing on a conditional use Permit and Site Plan and Architectural Review (PLSU2016-0002) for a project consisting of

31 apartment units and 4,550 square feet of commercial space on this property. A motion to approve the project failed with 2 yes votes, 2 no votes and one Commissioner absent. The applicant appealed the application to the City Council but subsequently withdrew the appeal. The new application is by the owner of the property. A design has been proposed which corrects many of the deficiencies of the previous proposal.

### **Proposal**

The applicant proposes a mixed use project consisting of 31 multi-family units and 4,200 square feet of commercial and office space. In the C-N Neighborhood Commercial zone a mixed use project requires Conditional Use Approval and Site Plan and Architectural Review.

Mixed-Use Project- The C-N Neighborhood Commercial Districts permits retail commercial, service commercial and office uses. Multi-family residential is permitted subject to a Conditional Use Permit and only as part of a mixed use project. This project is a combination of retail commercial, office and multi-family residential and is considered a mixed-use project.

Commercial and Office Use- The East Cotati Avenue frontage would be developed with two single-story commercial buildings separated by a patio area. The building would accommodate commercial uses permitted in the C-N Neighborhood Commercial area. The office space would be located on the first floor of the residential building facing East Cotati Avenue with studio units above. The office use would be ideal for someone who wanted to live in one of the multi-family units and have an office in the same building. Parking for the commercial and office use would be located between the two buildings with access from Camino Colegio Avenue.

Multi-Family Units- The 31 multi-family units will be located along the Camino Colegio frontage of the property with access to the parking from Cala Way. The ground floor will consist of eight (8) one (1) bedroom units and five (5) studio units. On the second floor will be eight (8) one bedroom units and ten (10) studio units. The one (1) bedroom units will be 665 square feet and the studio units will be 375 square feet. Each ground floor unit will have a private patio and the second floor units will have private balconies. There is also common open space in front of some of the buildings the patio between the commercial buildings and along the east property line. Total open space conforms to the requirement of 200 square feet per unit for a mixed use project.

Property Setbacks- Fifteen (15) foot landscaped setbacks are provided along each of the three (3) street frontages. The setback between the project buildings and the rear property line of homes on Caridad Court backing up to the project is ten feet. There is a difference in grade between the homes to the rear and the subject property. The subject property is lower than the homes to the rear. A six (6) foot high masonry wall will be provided separating the subject property from the homes to the rear. This will serve both as a privacy separation and reduce noise between the project and the adjacent single-family homes. There will also be a retaining wall along a portion of the Calla Way frontage of the property because of the differences in grade on the property.

Parking- A total of 52 on-site parking spaces will be provided. The project would also indent the curb on Camino Colegio Avenue to provide an additional nine (9) parking spaces on the Camino

Colegio Avenue frontage of the property for a total of 61 spaces. The parking spaces on Camino Colegio have been recessed so as not to obstruct the bike path on the street.

The commercial and office area is considered a shopping center and the parking requirement is one (1) space per 300 square feet. Based on a total of 4,200 square footage of office and commercial use, the required commercial/office parking is 14 spaces.

The multi-family requirement is 39 spaces based on one (1) space per unit (31) plus eight (8) guest spaces for a total of 39 spaces. Total required parking for the development is 54 spaces (15 commercial plus 39 multi-family) which is one (1) more than the 53 on-site spaces. This does not include the nine (9) on-street spaces.

Because of the narrow property frontage on East Cotati Avenue access would not work from that street so access is from Camino Colegio and Cala Way. Six (6) handicap stalls will be provided for both the commercial and multi-family uses. This exceeds the requirement of one (1) handicap stall for every 25 parking spaces. Each parking lot will have a covered refuse enclosure, one for the apartment residents and one for the commercial use.

**Building Elevations-** The building will have a contemporary appearance. Building materials will consist of a concrete base and walls consisting of hardie siding and stucco. Painted metal awnings will be placed over many of the windows facing the streets and doors for both the commercial and residential buildings. The two commercial buildings facing East Cotati Avenue will be 18 feet high and the remainder of the buildings on the site will be 25 feet high. The patio area between the two commercial buildings will be partially covered with a metal trellis structure. In place of fences or walls, planter boxes will encircle the patios and balconies to define their area for the residents (Exhibit E). Building colors will be in the gray tones (Exhibits A & B). The refuse enclosure will consist of concrete masonry walls with metal roofing and metal gates. There will be two (2) refuse enclosures, one in each parking lot on the rear property line (Exhibit F). The refuse enclosures will be painted to match the buildings.

**Landscaping-** There are a number of large trees along the Camino Colegio Avenue frontage of the property. These have been inspected by the City arborist and has been recommended for removal. They are in danger of falling because of the large size and maturity. Recently a large branch from one of the trees fell into the vacant property and not the street. A combination of trees, shrubs and groundcover will be planted on-site (Exhibit H). Drought tolerant plants will be used. Evergreen trees will be planted along the easterly property line to produce screening for the adjacent single-family homes. Trees will be planted in the parking areas to conform to the city requirement of one (1) tree for every four (4) parking spaces.

**Signage-** The potential location of wall signs on the commercial building and the front of the first floor office area is shown on the building elevations (Exhibit F). They are also proposing three (3) monument signs. One would be located at the corner of Camino Colegio and Cala Way for the apartment building and two at the corner of Camino Colegio and East Cotati for the commercial building (Exhibit F). The sign section of the Zoning Ordinance permits one monument sign for each street frontage. Therefore, they can have the monument sign at the corner of Camino Colegio and Cala Way for the apartment units and a single monument sign at the along the East Cotati frontage for the commercial buildings. The monument signs would



have a low masonry base to match the building and a concrete frame enclosing panels with raised metal letters. Total height would be four (4) feet. Indirect lighting would be provided from the surrounding planter. Signs will require Sign Review approval prior to installation and the site plan can be revised at that time to eliminate the extra sign on the Camino Colegio frontage.

**Parking Study-** A traffic study of the project was prepared by W-Trans (See Attachment 2). The Study included a shared parking demand excluding one parking space for each residential unit. Shared parking demand assumes that different land uses often experience peak parking demand at different times. The survey takes into account customers and employees who may walk to work and those who may take public transportation. This includes customers and employees who may live in the adjacent residential units on-site. Regarding parking demand for the commercial spaces, the survey concludes that “on weekdays and weekends, the peak parking demand for residential and commercial is at 7:00 p.m. with a demand of 60 spaces.”

The proposed project will be providing 61 new parking spaces including the nine (9) on-street recessed spaces on Camino Colegio. It should be noted that these nine (9) spaces could not be accommodated without recessing them because of the existing bike lane on Camino Colegio. Based on the shared parking analysis, the project as proposed is expected to experience a peak parking demand for 54 spaces. With a planned supply of 61 spaces, the parking supply will be sufficient to meet peak parking demand.

### **Staff Analysis**

This will be the first mixed-use project in this area of Rohnert Park. The only other mixed-use development is on City Center Drive. This is a good location for a mixed-use project close to the SMART station and Sonoma State University. The site is within walking distance of both destinations. This project is unique in that there are both commercial and residential uses in the same building. The design of the site provides for the privacy of the residents while still providing a commercial component that is compatible with the commercial character of East Cotati in the vicinity.

Because of their small size and close location to SSU the units may be attractive to university students. It is a short walk or trip by bicycle to SSU and the SMART station. There are also commercial uses in the vicinity that would be used by students.

The developer has protected the privacy of the homes that back up to the project by proposing a six (6) foot high masonry wall to replace the dilapidated wood fences and planting trees to screen the building. There is also a difference in elevation between the two properties with the subject property being lower than the adjacent homes. This results in the second floor window of the units being less intrusive to the adjacent properties. There are also extensive trees in the rear yards of those homes that will help screen the project.

The attached parking study concludes that the 61 parking spaces, including the nine (9) new on-street spaces created, will be adequate to serve the project with minimal impact on the surrounding residential area. This is somewhat dependent on the type of commercial uses that occupy the two (2) commercial buildings on the East Cotati frontage of the property.

During the November 10, 2016 Planning Commission meeting on the previous proposal for this site a number of concerns were raised by the Planning Commission.

- The Commission asked about access from East Cotati.

*Staff replied that the frontage on East Cotati is fairly narrow to support a driveway. Also, East Cotati is a major arterial and the Engineering department would not approve ingress and egress access on East Cotati.*

- The Commission had concerns regarding parking and felt that college students would be attracted to the studio/one bedroom units and that would result in more than one (1) vehicle per unit.

*The Zoning Ordinance requires parking and guest parking based on the number of units. The proposal exceeds the parking requirement.*

- The Commission was concerned regarding the refuse enclosures being adjacent to the single-family homes at the rear of the project. In this project both refuse enclosures have been relocated further away from the east property line.

*In this project both refuse enclosures have been relocated further away from the east property line. The enclosure for the commercial/office use is fifteen (15) feet from the east property line and the refuse enclosure for the residential units is approximately 60 feet from the east property line.*

### **Environmental Determination**

This proposal is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) Section 15332 In-Fill Development Project Class 32 (a), (b), (c), (d) and (e). No further action is required pertaining to environmental review.

### **Public Notification**

A public hearing notice denoting the time, date, and location of this hearing was published in the *Press Democrat* for the June 22, 2017 Planning Commission meeting.


### **Recommended Planning Commission Action**

Based on the above analysis, staff recommends that the Commission adopt Resolution 2017-xx approving the Conditional Use Permit and Site Plan and Architectural Review for the mixed-use project at the corner of East Cotati Avenue and Camino Colegio Avenue.

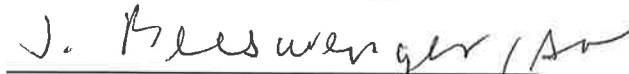
Attachments:      1. Resolution No. 2017-19  
                         2. Parking Study  
                         Exhibit A Cover Sheet

Exhibit B Perspective  
Exhibit C Site Plan  
Exhibit D Upper and Lower Floor Plan  
Exhibit E Studio and One Bedroom Floor Plans and Patio Detail  
Exhibit F Commercial Building Elevation, Trash Enclosure and Monument  
Sign  
Exhibit G Elevations of Offices and Residential Building  
Exhibit H Concept Landscape Plan

APPROVALS:

  
\_\_\_\_\_  
Norman Weisbrod, Technical Advisor

7.17.17  
Date

  
\_\_\_\_\_  
Jeffrey Beiswenger, Planning Manager

7.17.17  
Date

**PLANNING COMMISSION RESOLUTION NO. 2017-19**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROHNERT PARK, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AND SITE PLAN AND ARCHITECTURAL REVIEW FOR MIXED-USE MULTI-FAMILY AND RETAIL COMMERCIAL PROJECT LOCATED AT THE NORTHEAST CORNER OF EAST COTATI AVENUE AND CAMINO COLEGIO AVENUE (143-340-061 AND 158-270-065)**

**WHEREAS**, the applicant, Steven Scarpa, filed Planning Application No. PLSU17-0002 for a Conditional Use Permit and Site Plan and Architectural Review to allow a mixed-use multi-family and retail commercial project at the northwest corner of East Cotati Avenue and Camino Colegio Avenue (APN 143-340-061 and 158-270-065), in accordance with the City of Rohnert Park Municipal Code;

**WHEREAS**, Planning Application No. PLSU17-0002 was processed in the time and manner prescribed by State and local law;

**WHEREAS**, on June 22, 2017 the Planning Commission opened the public hearing and received testimony at which time the applicant requested the hearing be continued to the July 13, 2017 meeting to allow the owner the opportunity to attend;

**WHEREAS**, on July 13, 2017 the Planning Commission reviewed Planning Application No. PLSU17-0002 during a scheduled public meeting at which time interested persons again had an opportunity to testify either in support of or opposition to the project; and,

**WHEREAS**, at the July 13, 2017, Planning Commission meeting, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, the Commission considered all the facts relating to Planning Application No. PLSU17-0002;

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ROHNERT PARK DOES RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

**Section 1.** That the above recitations are true and correct.

**Section 2.** Factors Considered. The Planning Commission, in approving Planning Application No. PLSU17-0002 makes the following factors, to wit:

*A. That the developments general appearance is compatible with existing development and enhances the surrounding neighborhood.*

Criteria Satisfied. The proposed development is compatible with surrounding commercial and multi-family development. The design of the project will provide a contemporary element in the area and will complement and enhance the existing architecture in the area. The height and scale is consistent with the C-N Neighborhood Commercial District.

- B. *That the development incorporates a variation from adjacent on-site and off-site structures in height, bulk, and area; arrangement on the parcel; openings or breaks in the façade facing the street; and/or the line and pitch of the roof.*

Criteria Satisfied. The building elevations have deep recesses and major articulation in the building walls and the roof line reducing the bulk of the structures. The apartment units will have individual patios enclosed by attractive planter containers. Extensive tree planting will be included in the landscaped areas. An attractive outdoor patio is located between the commercial structures on East Cotati Avenue. The development will include attractive improvements on the street frontages.

- C. *That the development will be located and oriented in such a manner so as to provide pedestrian, bicycle and vehicular connections with adjacent properties, as appropriate, and avoids indiscriminate location and orientation.*

Criteria Satisfied. The development is located within walking distance of the SMART station, Sonoma State University and a wide variety of shopping options. Bike lanes are provided on East Cotati Avenue and on Camino Colegio Avenue. There is also a bike and pedestrian path along the SMART tracks leading to other designations in the city.

- D. *That the proposed location of the conditional use is consistent with the objectives of the zoning ordinance and the purposes of the district in which the site is located.*

Criteria Satisfied. The proposed development will be harmonious with surrounding residential and commercial development. The development will provide housing opportunities for nearby university students and residents seeking smaller units in a location close to public transportation. The project enhances the appearance of the city with quality design and landscaping.

- E. *That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity, and that the operation and maintenance of the conditional use will be compatible with surrounding uses.*

Criteria Satisfied. As a mixed use project including multi-family and commercial uses, the project will be compatible with surrounding commercial and residential uses. The developer has designed the project to protect adjacent single-family homes from any adverse impact from the development. The proposal conforms to the parking and setback requirements for the proposed uses.

- F. *The proposed conditional use will comply with each of the applicable provisions of this title.*

Criteria Satisfied. This development will conform to the requirements of the C-N Neighborhood Zoning District including building setbacks, parking, open space and building design.

**Section 3.** Environmental Clearance. This proposal is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) Section 15332 In-Fill Development Project Class 32 (a), (b), (c), (d) and (e). No further action is required pertaining to environmental review.

**NOW THEREFORE BE IT RESOLVED,** that the Planning Commission does hereby approve Planning Application No. PLSU17-0002 subject to the following conditions:

1. The Conditional Use and Site Plan and Architectural Review approval shall expire one year from the Planning Commission approval date, unless prior to the expiration a building permit is issued and construction is commenced and diligently pursued toward completion.
2. The Project is approved as shown in Exhibits A through H except as conditioned or modified below.
3. Bicycle racks shall be provided adjacent to the access for the commercial tenants and for the residential tenants for both short term and long term bike storage, details subject to Development Services staff approval.
4. Plans submitted for a building permit shall indicate accessible units.
5. Electrical Vehicle parking shall be provided as required by the Building Code.
6. A storm water determination form shall be submitted.
7. Prior to issuance of a building permit the two parcels shall be merged into a single parcel.
8. The project will require deferred permits for the Fire Sprinkler System, Fire Alarm System and hood a duct fixed extinguishing system. The permit applications and fees shall be submitted to the City of Rohnert Park Fire division prior to any construction is started on any of these systems.
9. Key access shall be provided to the interior of businesses, including utility shut-off placed in Fire Department lock box. Provide a new lock box as required (during site inspection).
10. Fire extinguishers shall be installed per the Fire Code.
11. Fire lanes/marking shall be reviewed during Fire Division construction inspections.
12. Illuminated exit signs shall be provided at all exits.

13. Illuminated address signs shall be provided details subject to approval of the Fire Division.
14. The adequacy of the existing fire hydrants will be verified as the project develops.
15. Operation permits: Place of Assembly may be required prior to occupancy.
16. All electrical panels and roof access ladders shall be located in a mechanical room or enclosure.
17. The applicant shall retain the existing trees along the east property line located on the adjacent residential properties.
18. The retaining wall along the Cala Way frontage shall be the same color as the apartment building.
19. The masonry wall shall be installed along the east property line shall be six (6) feet in height unless a shorter wall is requested by the adjacent property owners. The color of the wall shall match the building color.

**BE IT FURTHER RESOLVED** that said action shall not be deemed final until the appeal period has expired and that the appeal period shall be ten (10) working days from the date of said action. No building permits shall be issued until the appeal period has expired, providing there are no appeals.

**DULY AND REGULARLY ADOPTED** on this 13th day of July, 2017 by the City of Rohnert Park Planning Commission by the following vote:

AYES: \_\_\_\_\_ NOES: \_\_\_\_\_ ABSENT: \_\_\_\_\_ ABSTAIN: \_\_\_\_\_

ADAMS \_\_\_\_\_ BLANQUIE \_\_\_\_\_ BORBA \_\_\_\_\_ GIUDICE \_\_\_\_\_ HAYDON \_\_\_\_\_

\_\_\_\_\_  
Susan Haydon, Chairperson, Rohnert Park Planning Commission

Attest: \_\_\_\_\_  
Susan Azevedo, Recording Secretary





May 26, 2017

Mr. Norm Weisbrod  
City of Rohnert Park  
130 Avram Avenue  
Rohnert Park, CA 94928

## Vintage Pointe III Project Parking Study

Dear Mr. Weisbrod,

As requested, W-Trans has prepared a parking analysis relative to the proposed mixed-use project to be located at 1445 East Cotati Avenue in the City of Rohnert Park. The purpose of this letter is to determine the number of parking spaces the proposed project would require to meet projected parking demands.

### Project Description

The proposed project would allow construction of 31 residential apartment units, 2,715 square feet of commercial space and 1,485 square feet of office space on a currently vacant lot. The project plans show a supply of 61 parking spaces including 52 off-street spaces and nine on-street spaces along Camino Colegio. Based on the proposed site plan, there are 25 off-street spaces reserved for residents and 27 off-street spaces and nine on-street spaces bordering the project site on Camino Callegio to be shared among all uses. The proposed project would be accessed via two driveways; the residential portion of the site would primarily be accessed via a new driveway on Cala Way while the commercial side would be accessed at a new driveway on Camino Callegio.

### City Requirements

The City's off-street parking supply requirements are included in Chapter 17.16 of the City's Municipal Code, "Off-Street Parking Requirements." Multi-family residential land uses require one space per studio, one space per one bedroom unit, and one guest space for every four units. The proposed 1,485 square feet of office space would require one space per 200 square feet and the 2,715 square feet of planned commercial uses would require one space per 300 square feet of floor space. With the City's rates applied, the proposed project would be required to provide 54 off-street parking spaces.

Table 1 – Parking Requirements per City of Rohnert Park Municipal Code			
Land Use	Units	Rate Required	Spaces Required
Multifamily Residential	15 studios 16 1-bdrm	1.0 per studio; 1.0 per 1 bdrm; + 1.0 guest space per 4 units	39
Office	1,485 sf	1.0 per 250 sf	6
Commercial Shopping Center	2,715 sf	1.0 per 300 sf	9
<b>Total Parking Required</b>			<b>54</b>
<b>ULI Shared Parking Demand*</b>			<b>54</b>

Notes: du = dwelling unit; sf = square feet; \*Discussion provided in the following section

Although the proposed project would provide sufficient parking to meet the City's requirements, additional analysis was conducted to ensure that the supply would be sufficient to meet the anticipated peak parking demand generated by the various land uses on-site.

## Shared Parking Demand

Parking demand for new development is typically projected using empirically-derived rates established by organizations such as the Institute of Transportation Engineers (ITE) and the Urban Land Institute (ULI). In many cases, a determination of parking adequacy is gauged solely on whether or not a project meets the supply required by the jurisdiction's zoning code, rather than by assessing the actual projected demand. The use of standardized, single-use parking demand rates does not consider the potential for "shared parking." The concept of shared parking is based on the fact that different land uses often experience peak parking demand at different times, be it by time of day or even month of the year. Without taking shared parking demand into consideration, an oversupply of parking can result, adversely affecting the goals of this project to avoid expanses of empty asphalt.

A parking demand methodology that considers "shared parking" principles can significantly improve the accuracy of determining actual parking demand. The ULI publication *Shared Parking*, 2<sup>nd</sup> Edition, 2006, includes state-of-the-practice methodologies for determining parking demand based on the various components of a specific project. The ULI shared parking methodology focuses on temporal data, determining when the overall peak demand for various land uses occurs, including what time of day, whether it is a weekday or weekend, and what month of the year. The recommended parking supply is then tied to that maximum demand period. The ULI model considers the proposed mix of land uses, including quantities of each type of use.

Based on application of shared parking concepts, the demand for each component of the development was estimated using time-of-day distributions. Because parking spaces for the housing units would be reserved, one space per unit was assigned, and therefore not included in the shared supply.

The ULI's *Share Parking Model* takes into account mode adjustment and non-captive ratios. Mode adjustment is the estimated number of residents or visitors who access the site using a mode of transportation other than a private automobile, such as biking, walking, and transit. The model can also apply a non-captive ratio, which is the number of people who would travel from outside of the site to the various land uses. Since this is a mixed-use project, it is reasonable to assume that some parking demand may be reduced as people park once and then visit multiple land uses. For example, a resident may visit the coffee shop or shop at the retail stores, which would not require an additional parking spot for each use. The model starts by assuming that 100 percent of people accessing the site travel by a private automobile and are traveling from outside the site. Deductions are applied based on commuting behaviors, land uses, and regional knowledge of the area being studied.

For the residential and office land uses, as well as employees of the commercial uses, mode adjustments were determined from the US Census 2014 American Community Survey (ACS) for commuting patterns for Census Tract 1513.10, which is where the proposed project is located. This data showed that approximately 17 percent of residents living in this Census Tract travel to and from work by non-private automobiles and eight percent carpool. Since carpooling still requires parking for approximately half the number who participate, four percent was included in the mode adjustment. The mode adjustment was therefore reduced by 21 percent, which equates to a mode adjustment of 79 percent remaining after the deduction. Although employees could be drawn from the residents of the site or nearby area, it was conservatively assumed that 100 percent of employees of all the commercial land uses would be from outside of the site; this equates to a 100 percent non-captive ratio.

The mode adjustment applied to the retail land use was based on the City's General Plan projections for 2040 for non-private automobile travel. The City projects that by 2040, with the SMART train operating, eight percent of people will use alternative modes as their primary method of travel. This would result in a mode adjustment of 92 percent.

Additionally, it was assumed that some visitors of the retail shops would be from within the site, so a 10 percent deduction to the non-captive ratio was applied resulting in the assumption that 90 percent of visitors would travel to the retail stores from outside of the project site.

Table 2 summarizes the mode adjustments and non-captive ratio deductions applied to the parking demand to achieve the total estimated parking demand.

**Table 2 – Peak Shared Parking Demand Assumptions**

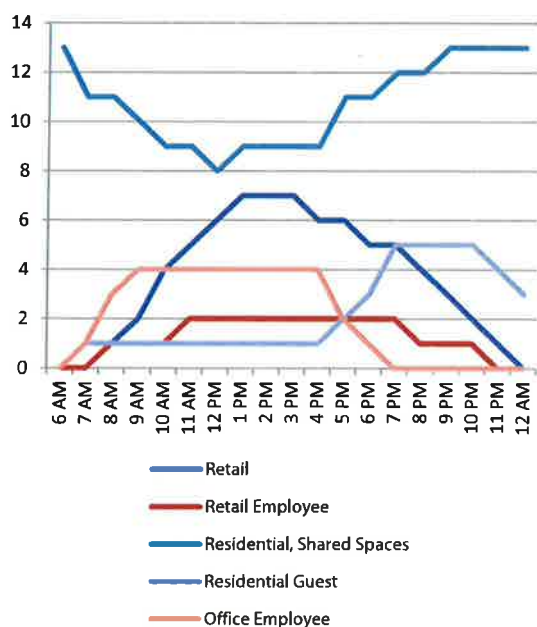
Land Use	Weekday		Weekend	
	Mode Adjustment	Non-Captive	Mode Adjustment	Non-Captive
Residential	79%	-	79%	-
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Retail	92%	90%	92%	90%

In addition to mode adjustment and internal capture rates, the shared parking model applies hourly and peak month factors to determine the time-of-day demand. The peak month for the proposed project, based on the Shared Parking Model's calculations, is anticipated to be December. With the mode adjustment, non-captive ratio, time-of-day, and peak month factors applied, the hourly parking demands generated by each component of the project for weekdays and weekends were derived.

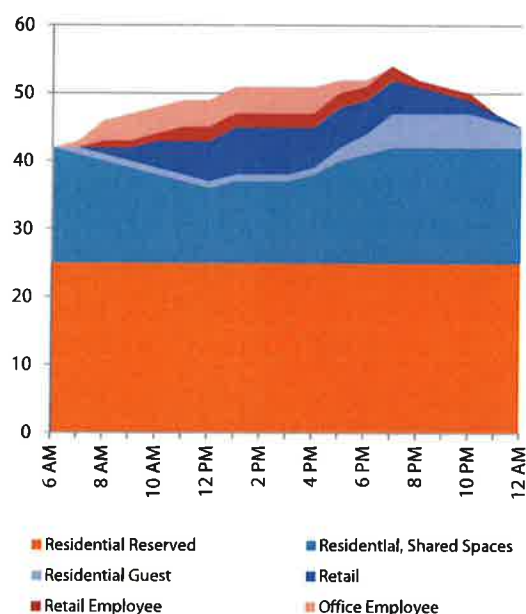
### Weekday Parking Demand

- **Time of Day:** The deductions described above were applied to derive the total estimated parking demand for each land use, as shown in Graph 1.
- **Cumulative:** Upon adding all of the parking demands together, the peak projected demand is expected to occur at 7:00 p.m. on a weekday with a demand of 54 spaces. The Weekday Cumulative parking demand is depicted in Graph 2.

**Graph 1 – Weekday Parking Demand by Land Use**



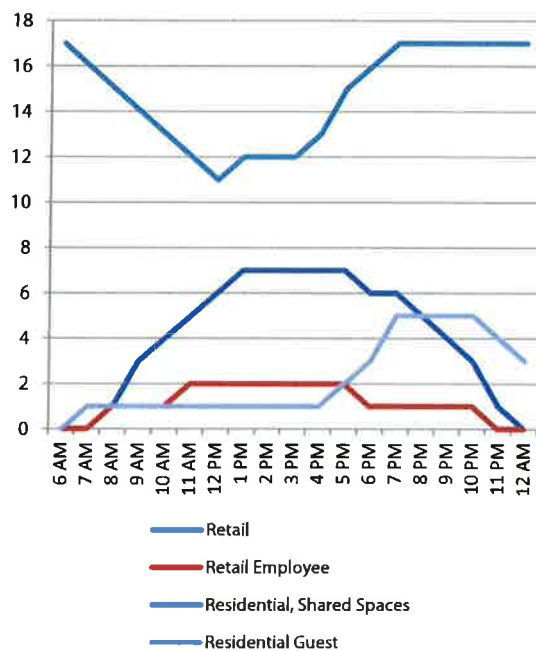
**Graph 2 – Weekday Cumulative Parking Demand**



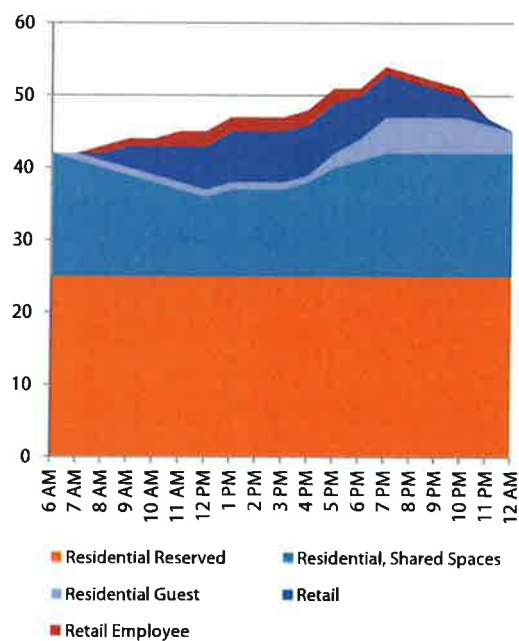
## Weekend Parking Demand

- **Time of Day:** The demand by time-of-day was estimated for a weekend day, as shown in Graph 3.
- **Cumulative:** The projected peak parking demand for the site is expected to occur on weekend evenings at 7:00 p.m., when a total of 54 parking spaces are expected to be needed. The Weekend Cumulative parking demand is depicted in Graph 4.

**Graph 3 – Weekend Parking Demand by Land Use**



**Graph 4 – Weekend Cumulative Parking Demand**



With plans to provide 61 spaces, the proposed supply is expected to be adequate to meet, and in fact exceed, the anticipated demand.

## Conclusions and Recommendations

- The City of Rohnert Park's Municipal Code would require the proposed project to provide 54 parking spaces. The proposed project includes a planned supply of 61 parking spaces, including 52 spaces on-site and nine on the street, which would meet the City's requirements and provide a surplus of seven spaces.
- Based on the shared parking analysis, the project as proposed is expected to experience a peak parking demand for 54 spaces. With a planned supply of 61 spaces, the parking supply would be sufficient to meet peak parking demand and provide excess parking that could offset other unserved demand in the area.
- Peak demand would be expected to occur at 7 p.m. on weekdays and weekends, which is when the nine off-street spaces would most likely be occupied by visitors to the commercial uses or residential guests. All projected parking demand could be accommodated by the planned 52 off-street spaces by 9:00 p.m. on weekdays and weekends.

Mr. Norm Weisbrod

Page 5

May 26, 2017

We hope this information is useful to you and City staff in addressing the adequacy of the proposed parking supply. Please call if you have any questions.

Sincerely,

Shannon Baker  
Assistant Planner

Dalene J. Whitlock, PE, PTOE  
Principal

DJW/scb/RPA072-1.L1



May 30, 2017

Mr. Norm Weisbrod  
City of Rohnert Park  
130 Avram Avenue  
Rohnert Park, CA 94928

RECEIVED

JUN 05 2017

## Vintage Pointe III Project Parking Study

CITY OF ROHNERT PARK

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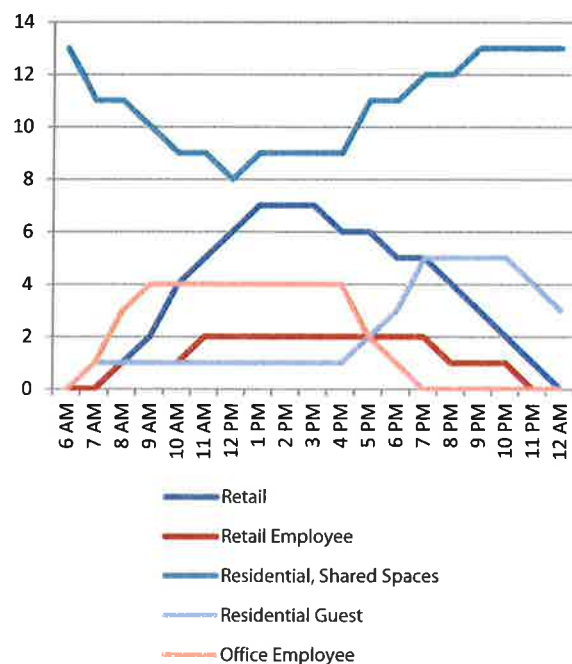
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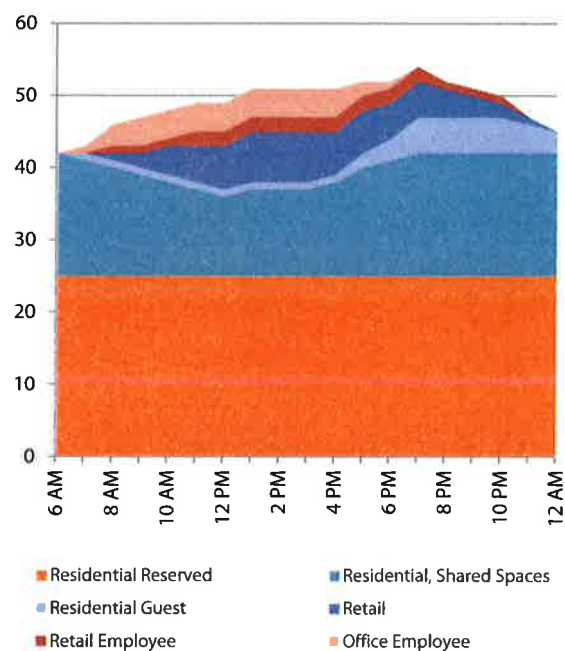
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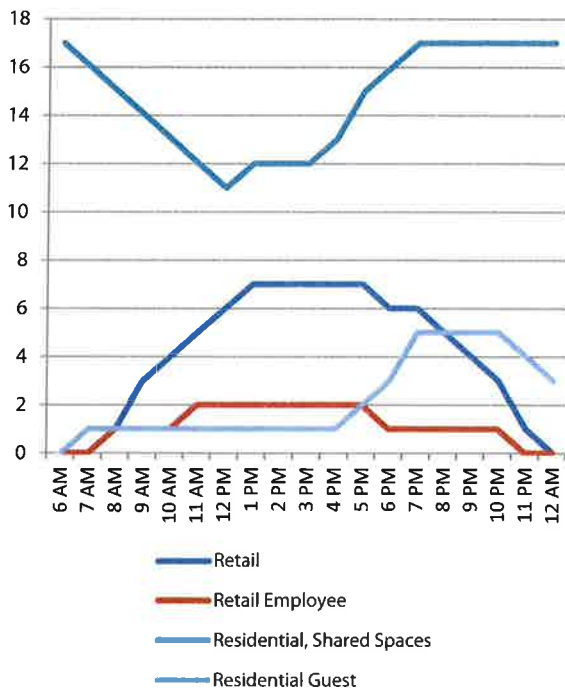
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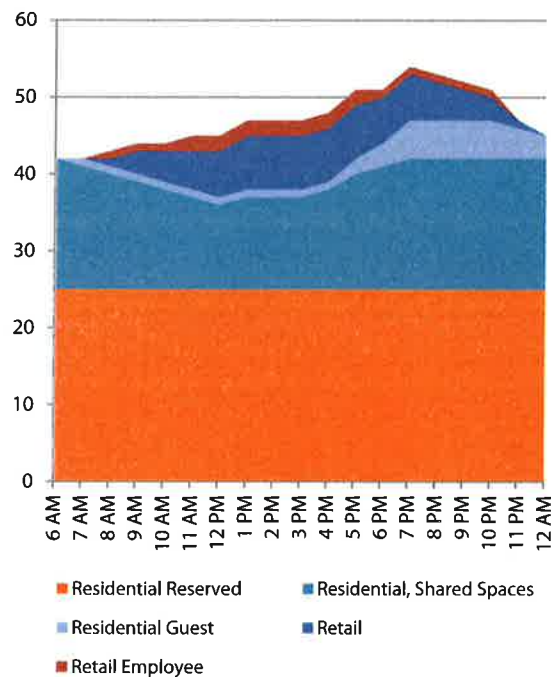
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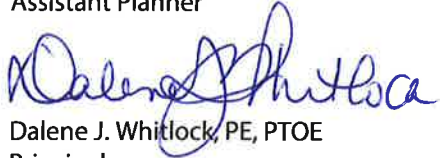
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We hope this information is useful to you and City staff in addressing the adequacy of the proposed parking supply. Please call if you have any questions.

Sincerely,



Shannon Baker  
Assistant Planner



Dalene J. Whitlock, PE, PTOE  
Principal

DJW/scb/RPA072-1.L1





April 19, 2017

Mr. Norm Weisbrod  
City of Rohnert Park  
130 Avram Avenue  
Rohnert Park, CA 94928

## **Proposal to Prepare an Updated Parking Study for the Vintage Point III Project**

Dear Mr. Weisbrod:

W-Trans is pleased to provide this proposal to evaluate potential parking needs associated with the Vintage Point III to be located at 1445 East Cotati Avenue in the City of Rohnert Park. As you know, we prepared similar information for another project previously proposed for the same site, and the following scope of services builds on that work as well as our experience with numerous other traffic studies for projects in Rohnert Park.

The following scope of services is suggested.

### **Tasks**

1. Information relative to the anticipated mix of uses and numbers of units will be obtained and used along with standard parking rates as contained in the City's zoning code as well as industry rates as published by the Institute of Transportation Engineers to develop the anticipated parking demand for the site. Consideration will be given to time-based demand as well as the potential for residents to use the SMART train in lieu of owning vehicles to determine adequacy of the proposed supply. Previous investigations performed for other projects will be applied as appropriate in terms of issues such as shared parking, car sharing, non-auto travel, unbundled parking, etc.
2. A draft letter report addressing the likely parking demand will be prepared and submitted along with supporting documentation for staff review.
3. One round of comments will be addressed prior to issuing a final letter report.
4. One hearing will be attended.

**Exclusions** – The scope of services includes only those items that are specifically identified above. Any additional services, such as meetings or additional hearings, requests for further analysis, or multiple rounds of comments, if needed could be provided on a time and materials basis after receiving written authorization for the extra work.

### **Schedule and Budget**

The draft letter report can be submitted for your comments within approximately three to four weeks following receipt of a Purchase Order. Our services will be conducted on a time and materials basis at the rates indicated on the enclosed sheet. Monthly invoices will be provided electronically unless a hard copy via mail is requested. The estimated maximum fee for this work is \$4,350.

Mr. Norm Welsbrod

Page 2

April 19, 2017

Please forward your contract documentation if you wish to initiate our services. This proposal will remain a firm offer for 90 days from the date of this letter.

Thank you for giving us the opportunity to propose on these services.

Sincerely,

A handwritten signature in blue ink, appearing to read "Dalene J. Whitlock".

Dalene J. Whitlock, PE, PTOE  
Principal

DJW/djw/RPA072-1.P1

Enclosure: 2017 Fee Schedule



## Fee Schedule

### 2017 Staff Billing Rates

Position	Billing Rate (per hour)
Principal	\$205 – \$250
Associate Principal	\$185 – \$200
Senior Engineer/Planner	\$160 – \$190
Engineer/Planner	\$130 – \$150
Associate Engineer/Planner	\$120 – \$130
Assistant Engineer/Planner	\$95 – \$115
Technician/Administrative	\$85 – \$95
Intern	\$30 – \$80
Field Technician	\$20 – \$40

### 2017 Expense Charges

Item	Charge
Mileage	\$0.594/mile*
Services and Expenses	10% surcharge

These rates are valid for work initiated prior to December 31, 2017. Work initiated after January 1, 2018, and any subsequent year may be billed at the revised rates established for that year.

\* Mileage charge will be based on the IRS Standard Mileage Rate (set at \$0.54 for July through December 2016; subject to change) plus 10 percent.





hybridCore<sup>TM</sup>  
HOMES

STEVEN SCARPA

VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

EXHIBIT A

NOTES	DATE	2/17
	DRAWN BY:	
	CHECKED BY:	
	REVISIONS:	DATE:
<p>DESIGN FOR</p> <p><b>STEVEN SCARPA</b></p> <p>VINTAGE POINTE III MIXED-USE PROJECT ROHNERT PARK, CALIFORNIA</p>		
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<p>1022 Mendocino Avenue Santa Rosa, CA 95401 TEL: 707.579.3811 www.farrellfaber.com</p> <p><b>FARRELL-FABER</b> ASSOCIATES, INC. ARCHITECTURE - PLANNING</p>		
<p>SHEET 1003-HCH</p>		





hybridCore<sup>TM</sup>  
HOMES

STEVEN SCARPA

VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

EXHIBIT B

DATE 2/17

DRAWN BY:  
CHECKED BY:  
REVISIONS: DATE:

NOTES  
△  
△  
△

1022 Mendocino Avenue  
Santa Rosa, CA 95401  
TEL: 707.576.3811  
www.farrellfaber.com

**FARRELL-FABER**  
8 ASSOCIATES INC.  
ARCHITECTURE • PLANNING

DESIGN FOR  
**STEVEN SCARPA**  
VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

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EVIDENCE OF ACCEPTANCE OF THESE  
RESTRICTIONS.

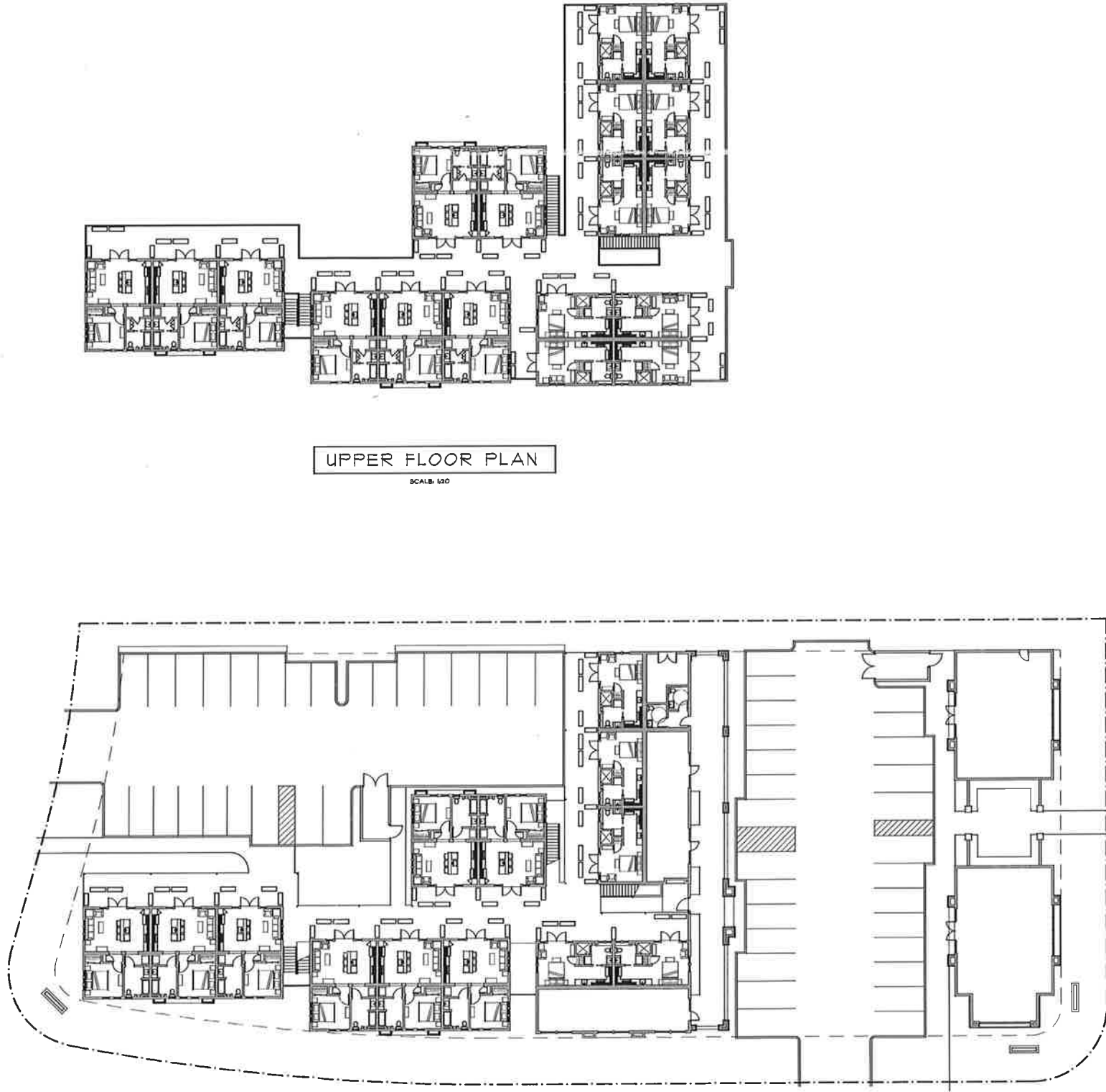
DO NOT SCALE PLANS

SHEET JOB NO

11003-HCH







UPPER FLOOR PLAN

SCALE: 1/80

LOWER FLOOR PLAN

SCALE: 1/80

EXHIBIT D

**FARRELL-FABER**  
& ASSOCIATES INC.  
ARCHITECTURE - PLANNING

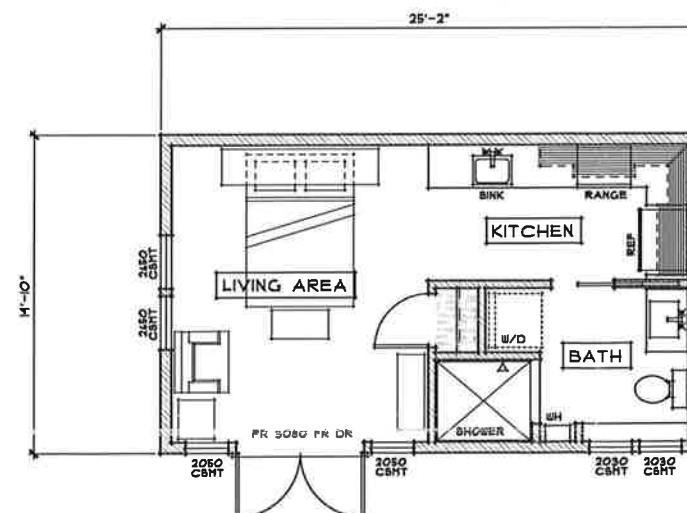
1022 Mendocino Avenue  
Santa Rosa, CA 95401  
TEL: 707.579.3811  
www.farrellfaber.com

**STEVEN SCARPA**  
CAMINO COLEGIO MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

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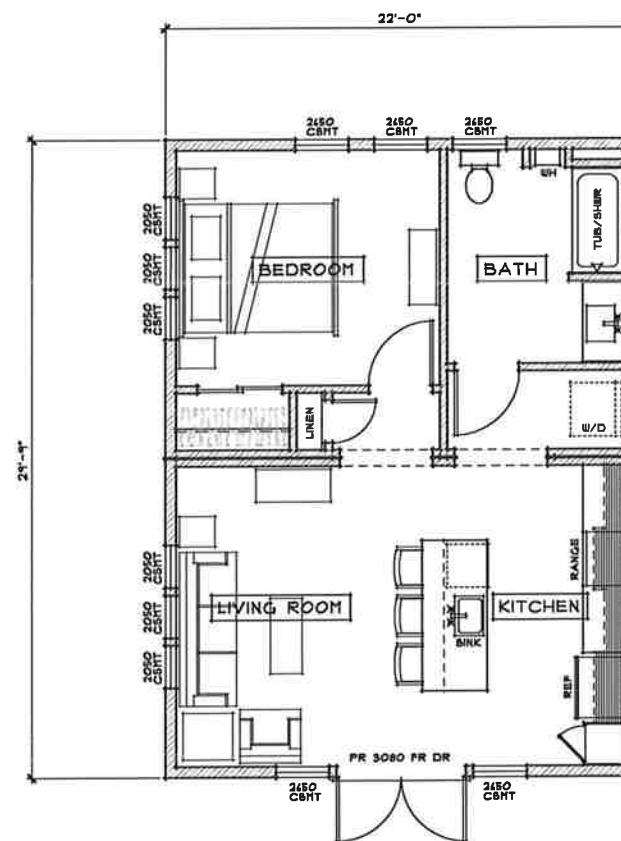
SHEET JOB NO 1003-HCH

DATE 2/17  
DRAWN BY:  
CHECKED BY:  
REVISIONS: DATE:



STUDIO FLOOR PLAN

SCALE: 1/4" = 1'-0"  
APPROX 375 SQ FT

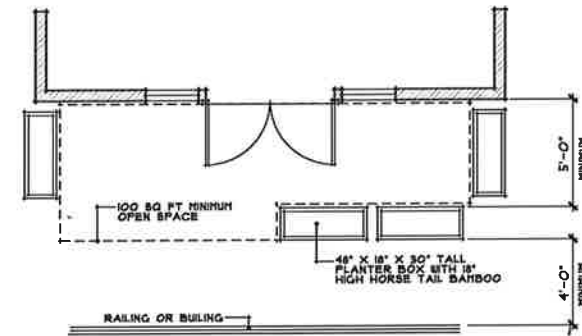


ONE BEDROOM FLOOR PLAN

SCALE: 1/4" = 1'-0"  
APPROX 655 SQ FT

PLANTER LOCATION MAY VARY PER UNIT  
TYPICAL PRIVATE PATIO DETAIL

SCALE: 1/4" = 1'-0"



DATE 2/17

NOTES  
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CHECKED BY:  
REVISIONS: DATE:

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Santa Rosa, CA 95401  
TEL: 707-579-3811  
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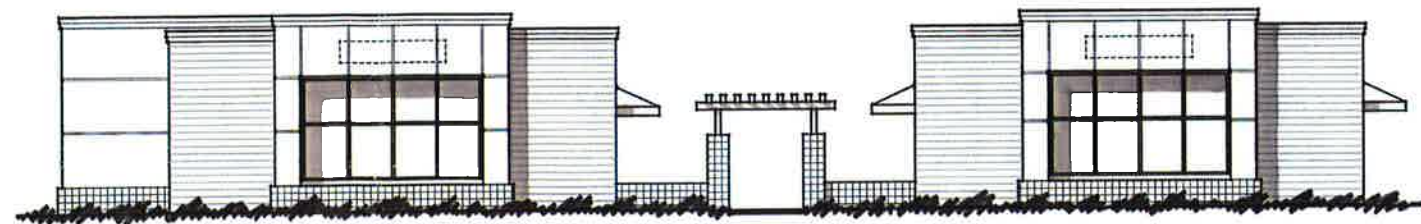
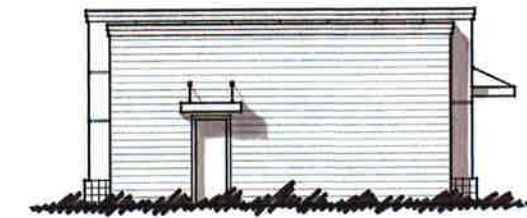
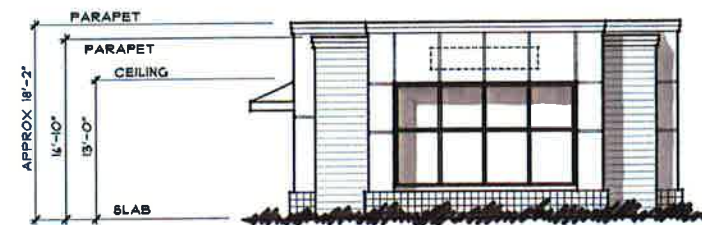
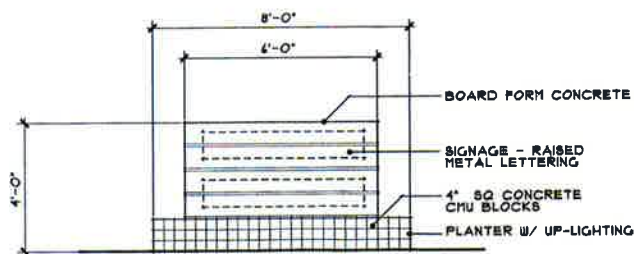
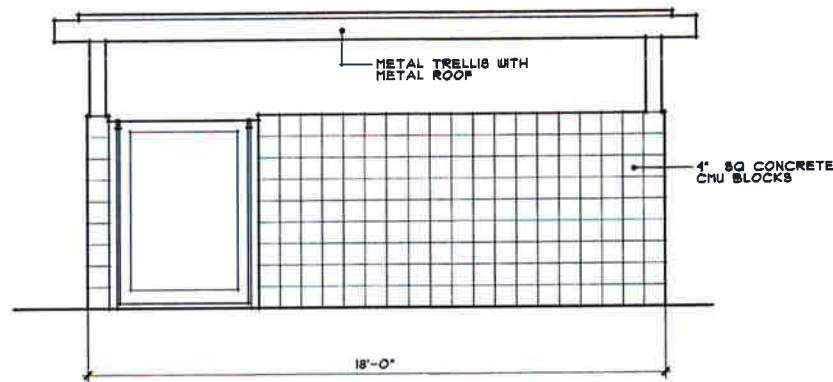
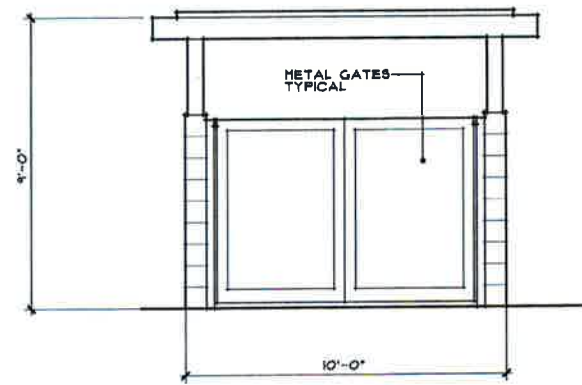
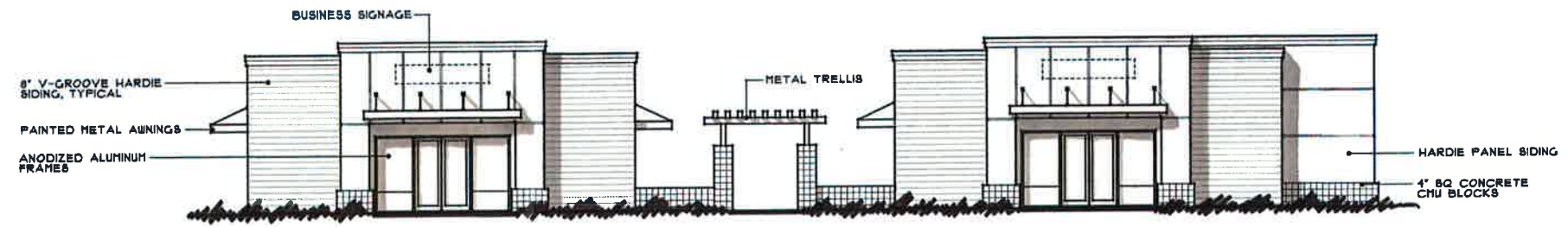
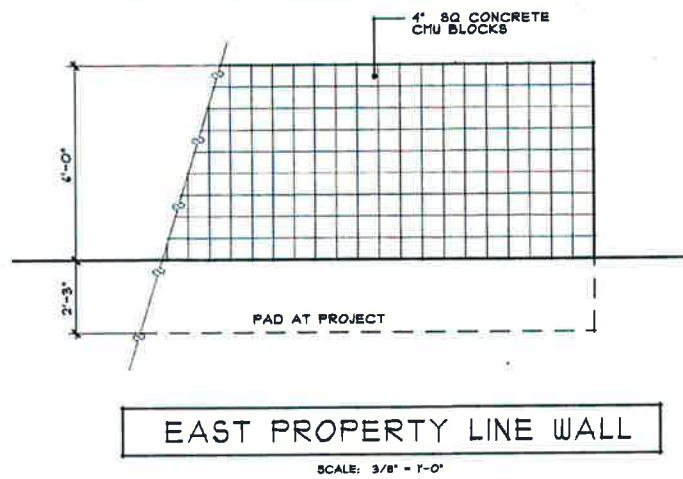
**STEVEN SCARPA**  
VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

DESIGN FOR  
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SHEET 301 NO 17003-HCH

EXHIBIT E





DATE: 2/17

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REVISIONS: [blank] DATE: [blank]

NOTES: [blank]

DESIGN FOR: STEVEN SCARPA  
VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

FARRELL-FABER & ASSOCIATES INC.  
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SHEET JOB NO. 17003-HCH

EXHIBIT F





RESIDENTIAL/OFFICE SOUTH ELEVATION (FROM PARKING LOT)

SCALE: 1/8" = 1'-0"



RESIDENTIAL/OFFICE WEST ELEVATION (FROM CAMINO COLEGIO)

SCALE: 1/8" = 1'-0"



RESIDENTIAL/OFFICE EAST ELEVATION

SCALE: 1/8" = 1'-0"



RESIDENTIAL/OFFICE NORTH ELEVATION (FROM CALA WAY)

SCALE: 1/8" = 1'-0"

DATE 2/17

DRAWN BY:  
CHECKED BY:  
REVISIONS: DATE:

NOTES

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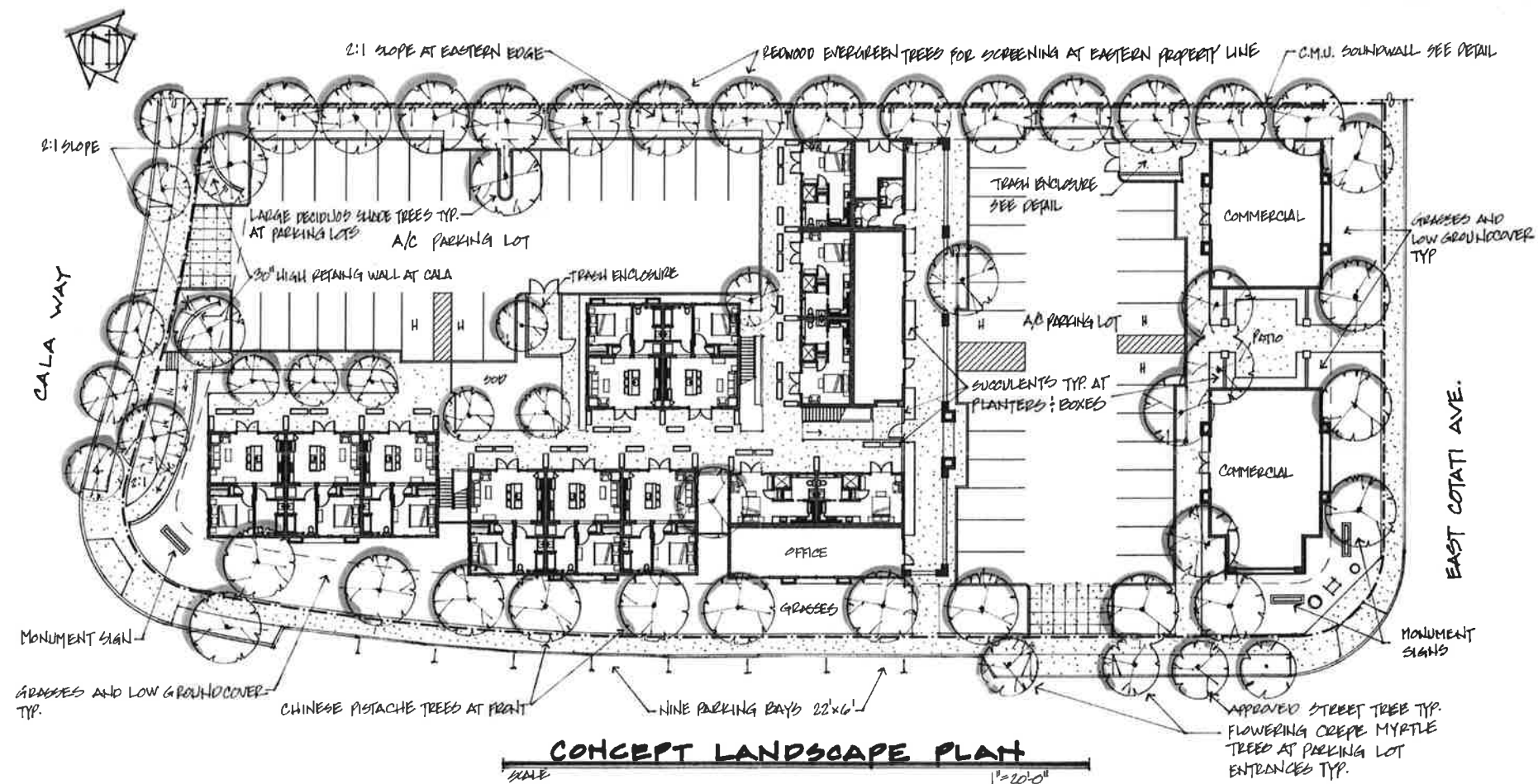
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**STEVEN SCARPA**  
VINTAGE POINTE III MIXED-USE PROJECT  
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**STEVEN SCARPA**  
VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

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NO NOT SCALE PLAN

SHEET JOB NO 17003-HCH

EXHIBIT H





**Zoning and Land Use Application**  
**Development Services**  
**Planning Division**  
**130 Avram Avenue**  
**Rohnert Park, CA 94928**  
**(707) 588-2236 information**  
**(707) 794-9242 fax**  
[www.rpcity.org](http://www.rpcity.org) website

For Staff Use Only  
 (Date Stamp)

**RECEIVED**

JUL 21 2017

CITY OF  
 ROHNERT PARK

File No. PLA 17-0001  
 Total Deposit/Fee 1240.00  
 Finance Account Code \_\_\_\_\_  
 Received by p. j. [signature]

APPLICANT: PLEASE PRINT CLEARLY AND FILL IN ALL APPLICABLE SECTIONS

**Type of Application (Mark all that apply):**

- |                                                        |                                                      |                                                    |
|--------------------------------------------------------|------------------------------------------------------|----------------------------------------------------|
| <input type="checkbox"/> Administrative Use Permit     | <input type="checkbox"/> Planned Development (Final) | <input type="checkbox"/> Temporary Use Permit      |
| <input type="checkbox"/> Conditional Use Permit        | <input type="checkbox"/> Rezoning                    | <input type="checkbox"/> Tentative Subdivision Map |
| <input type="checkbox"/> Development Area Plan         | <input type="checkbox"/> Sign Review/Sign Program    | <input type="checkbox"/> Tentative Parcel Map      |
| <input type="checkbox"/> Environmental Review          | <input type="checkbox"/> Site Plan & Arch. Review    | <input type="checkbox"/> Tree Removal Permit       |
| <input type="checkbox"/> General Plan Amendment        | <input type="checkbox"/> Specific Plan               | <input type="checkbox"/> Variance                  |
| <input type="checkbox"/> Planned Develop (Preliminary) | <input type="checkbox"/> Specific Plan Amendment     | <input checked="" type="checkbox"/> Appeal         |
| <input type="checkbox"/> Other: _____                  |                                                      |                                                    |

**GENERAL INFORMATION AND PROJECT DESCRIPTION**

<b>Location of Project (address)</b> 1445 E. Cotati Ave & 1209 Cala Way	<b>Assessor's Parcel Number s</b> 143-340-061 158-270-065	<b>Current Zoning</b> C-N	<b>Proposed Zoning</b> C-N
<b>Name of Proposed Project:</b> <input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Office <input checked="" type="checkbox"/> New <input type="checkbox"/> Remodel Vintage Pointe III			

**Project Description (Use additional sheet(s) if needed – additional information may be required i.e. # employees, hours of operation etc.)**

See Attachment

<b>Total Lot Size (Sq. Ft.) acres</b> See attachment	<b>Gross Square Feet of Proposed Use</b> See attachment	<b># of New Buildings/Units/Sq. Ft.</b> See attachment
---------------------------------------------------------	------------------------------------------------------------	-----------------------------------------------------------

**APPLICANT INFORMATION** - In signing this application, I as applicant represent that I have obtained authorization of the property owner to file this application. I agree to be bound by conditions of approval, subject only to the right to object at the hearing on this application or during the appeal period.

Name: Steven Scarpa Company \_\_\_\_\_  
 Address: 235 Posada del Sol City, State Zip Novato, Ca 94949  
 Phone # (415) 706-3172 Cell Phone # (415) 706-3172 E-Mail stevenscarpa@hotmail.com  
 Signature \_\_\_\_\_

**OWNER INFORMATION** - In signing this application, I as property owner, have full legal capacity to and hereby do authorize the filing of this application. I understand that conditions or approval are binding. I agree to be bound by those conditions, subject only to the right to object at a hearing or during the appeal period.

Name: Steven Scarpa Company \_\_\_\_\_  
 Address: 235 Posada del Sol City, State, Zip Novato, Ca 94949  
 Phone # (415) 706-3172 Cell Phone# (415) 706-3172 E-Mail stevenscarpa@hotmail.com  
 Signature \_\_\_\_\_ Please Print Steven Scarpa



## **Vintage Pointe III – Attachment for Appeal Application**

Owner, Steven Scarpa presents this appeal of the Planning Commission's denial of Owner's application PLSU2017-0002 (resolution number 2017-19) on Thursday, July 13, 2017. Owner appeals the denial of the Conditional Use Permit as well as the Site Plan & Architectural Design Review.

### **Project History:**

- The project site is zoned C-N (Neighborhood Commercial) which permits a mixed-use project.
- A prior project for this site was presented to the Planning Commission by a purchaser under contract with the Owner under application PLSU2016-0002 in November of 2016. Despite Rohnert Park City staff recommendation of approval, the application was not approved by a 2-2 vote of the commission, with only 4 members present (Chairperson Haydon was excused). The purchaser ultimately determined he could not proceed and withdrew from the project. It appears that no appeal was filed.
- Thereafter Owner hired Farrell · Faber & Associates, Inc. Architecture and Planning to review the project and to revise, re-organize & re-orient the project to address concerns raised by the public and the Planning Commission at the November hearing. Several months were spent in revising the design and reviewing the details to specifically address the concerns raised during the previous submittal. Pre-submission meetings and discussions were held between the design teams and City staff members to review the design changes and to seek guidance. Under Rohnert Park municipal code requirements, the submission could not have been accepted within a year of the prior application unless it was substantially modified from the previous submittal. The Owner's submission was made and after review and conclusion by the City attorney that the project was substantially altered from the previous application, the current project was accepted as application PLSU17-0002.

### **Project:**

- The Owner has proposed a mixed-use project for the site on his approximately 1.16 acre parcel on the northeast corner of East Cotati Ave and Camino Colegio. The site is surrounded by diverse land use varying from commercial (convenience store, retail, restaurant, etc.) to multifamily apartments and single family residences. The project site is in the immediate vicinity of new SMART Train station and nearby Sonoma State University. The Owner seeks to develop the land into 31 multifamily "efficiency" units and approximately 4,200 square feet of commercial and office space. The residential units are comprised of sixteen (16) 1-bedroom units and fifteen (15) studio units. The project description letter, site plan, perspective renderings, elevations, floor plans and conceptual landscape plans are submitted herewith. The project is further described in detail in the planning staff report and the attached project description that was submitted to City staff in March of 2017.

- In order to address concerns of the Planning Commission and the public, privacy for the neighbors, trash enclosures, traffic and parking considerations drove the re-design. The new design moves the bulk of residential building massing away from the neighboring properties to the Northeast. The buildings and residential parking were re-organized and re-oriented for safety and neighbor privacy. The residential buildings were relocated to the front of the lot closer to Camino Colegio, with parking creating a buffer between the buildings and the neighboring houses. Relocating the parking entrance from Camino Colegio to Cala Way affords greater traffic safety than the previous version of the project. Attached are site plans showing the orientation and massing of project 1) as presented in November 2016 and 2) as modified for the current application.
- The trash enclosures were moved further away from the neighboring properties. The commercial and residential enclosures shifted 10' & 60' respectively from their previous locations against the property line to the Northeast. A proposed condition of approval from Commissioner Borba at the last Planning Commission hearing was to relocate the commercial trash enclosure a minimum of 60' from the NE property line. This final submission to the City Council for appeal also includes relocation of the commercial trash enclosure to comply with the request from the commission.
- The design is kept to 2-story (despite zoning allowance for 3-story office building) out of privacy concerns, and the units are designed as efficiency units (1 bed/1 bath apartments and 15 studios). The Owner is aware of the nearly 97% occupancy rate in Rohnert Park, and has sought to provide smaller efficiency units to serve a whole sector of the community, particularly those who are young professionals, students, single mothers or the elderly. Commissioners Adams and Borba commended the Owner and design team for specifically addressing this very dire need of these efficiency units for the neighborhood and community.
- 61 parking spots are proposed (52 on-site and 9 off-site) which exceeds the zoning requirements by 11 parking spaces. The original traffic study prepared by W-trans concluded that the parking provided would "be adequate to serve the project with minimal impact on the surrounding residential area". A second traffic study, prepared at the direction of the City for the recent planning submittal, was prepared to review and address parking and traffic safety. The new report specifically addresses the relocation of the residential parking entrance from Camino Colegio to Cala Way.
- In an effort for neighborhood outreach and feedback, a total of three neighborhood meetings were hosted (one for the latest project design, held at the project site).
- Comments were made by the public that the project was the same as the previous design. This is not accurate and for illustrative purpose, submitted herewith are site plans reflecting the previous proposed project and the project in its current form. The significant project changes, all done to address planning commission and public concerns are clearly evident in the current design. Additional neighbor comments are listed below.
- On June 22, 2017 under item number 8.2, the planning staff submitted its report recommending the approval of the project. The report finds the project compliant with all factors it reviewed. Staff described the mixed-use project as well located and ideally suited for Sonoma State

students given its proximity to the University and SMART Train station. Staff concluded that the Owner had attempted to protect the privacy concerns of neighbors with the re-design. Staff concluded that the parking was adequate and exceeded the parking requirements, and that concerns regarding garbage enclosures had been addressed. The Owner refers to the planning staff report in support of his appeal.

**November 2016 (PLSU2016-0002) primary Planning Commission comments/concerns:**

1. Sight and vision impairments due to the layout of the residential parking ingress and egress on Camino Colegio.
2. Eligible uses available that do not require a Conditional Use Permit.
3. Potential relocation of commercial/office parking ingress and egress on East Cotati; street parking along East Cotati.
4. Concern for the provided parking and analysis does not address current market trends in terms of how many people occupy 1-bedroom units; nighttime parking program.
5. Neighbor questioned whether city staff attended any of the neighborhood meetings.
6. Project has great aesthetics and serves a need for smaller units; this trend will be well received.
7. Height of retaining wall/CMU block wall against neighboring properties to NE.
8. Location of trash enclosures.
9. Monitor of on-site parking spaces.

**Applicant/Owner responses to Planning Commission comments (re: PLSU2016-0002) for new submittal:**

1. The ingress and egress for the residential parking lot has been relocated to the Northern end of the site off Cala Way. This location is preferred to ease the traffic congestion and safety concerns by moving the parking lot entrance to a lesser trafficked street and further from the intersection of Camino Colegio and Cala Way. Existing sight and vision impairments are currently a city traffic safety issue, regardless of this proposed project. Relocating the residential parking ingress and egress has eliminated any additional stress at this intersection. Further discussion at the PLSU2017-0002 hearing discussed city fixes to this intersection and parking along Camino Colegio.
2. Technical Advisor Norm Weisbrod indicated that retail, small restaurant or strip mall type uses are eligible without a CUP. Additionally, office spaces/complex are an allowable use.
3. Mr. Weisbrod indicated that the Engineering Department reviewed the proposed project and are comfortable with the layout. There is no available parking along the East Cotati thoroughfare in the project vicinity. Planning Manager Jeff Beiswenger indicated that East Cotati is a major arterial and the Engineering Department would not approve ingress or egress from East Cotati.
4. The proposed project (current and previous) provides more parking spaces than the zoning code requires. The project site was chosen due to its proximity to the university and SMART Train station, and a major objective is to provide smaller units within walkable distance to the station, university and local businesses. It is intended that some of the residents of the project would utilize the walkable location to reduce the vehicular traffic and parking concerns.
5. The city staff responded that the neighborhood meetings are suggested by the city and arranged by the Owner to receive input and comments from the neighbors. City planning staff typically

- don't attend neighborhood meetings. Two neighborhood outreach meetings, one at the site and one at the community center, were held prior to the November 2016 hearing.
6. The Owner and design team have retained the style, massing and character of the proposed project for the new revised plans (PSLU2017-0002).
  7. The height of the retaining wall varies along the NE property line. The project site is lower than the adjacent properties by approximately 30" and a proposed 6' CMU sound wall is provided on along the NE property line (The 6' measurement is from the elevated, neighboring properties).
  8. The original locations of the trash enclosures (commercial and residential) were located against the adjoining property line. The revised plans submitted for the new application (PSLU2017-0002) include relocation of the trash enclosures further into the site. The commercial trash enclosure is located 10' from the property line and the residential trash enclosure is 60'+ from the property line.
  9. The Owner has committed that an on-site manager will reside on the premises. This manager will be responsible to monitor the parking use and check the units for over occupancy (per contracted lease with the future tenants). A designated parking space will be provided for each unit. Overflow/guest parking will occupy the remainder of the commercial parking lot during evening hours.

**July 2017 (PSLU2017-002) primary Planning Commission comments/concerns:**

1. The commissioners all acknowledged the existing traffic and parking issues of the neighborhood. Public safety is paramount, particularly for the residents, school children and elderly who cross the street in unmarked crossing zones. The following was proposed by Commissioner Guidice (regardless of the decision of this application):
  - a. Install a stop sign at the Camino Colegio/Cala Way intersection for safety of the local residents. The curve of Camino Colegio and existing street parking issues at the corner impair visibility for residents turning onto Camino Colegio from Cala Way.
  - b. Limit/monitor/enforce parking duration in the neighborhood.
  - c. Red-stripe all fire hydrants and along the corners of the Camino Colegio and Cala Way intersection.
  - d. Stripe parking spaces along Camino Colegio and Cala Way to encourage appropriate parking and avoid misused parking spaces due to improper parking.
  - e. Install crosswalks across Camino Colegio at Cala Way.
  - f. The city will look further into the neighborhood parking & traffic issues.
  - g. The city will look at the Zoning Code parking requirements as the parking provided conforms on paper but not in practice.
2. Mitigate commercial garbage through relocation to a minimum of 60' from the adjacent property line, or combine trash for both uses at the residential enclosure location.
3. The wall/fence should be 8' in height to provide additional privacy.
4. The commission discussed "awful" allowable alternatives for the site: Burger King, gas station, carwash, 3-story offices, etc. The project site has been zoned and planned for Neighborhood Commercial on the maps since adoption of the general plan.
5. The project serves a vital need with efficiency units and is within walking distance to the SMART Train and Sonoma State University. An infill project as appropriate as the proposed development is long overdue.
6. Chairperson Haydon proposed potential site redesign, including:

- a. A partially-subterranean parking structure located beneath the residences.
  - b. Removal of the Northern commercial structure in favor of additional surface lot parking.
  - c. Adding office space above the commercial structures.
  - d. Re-orienting the residential unit entrances to face Camino Colegio for “eyes on the street”
  - e. Moving the commercial parking lot entrance further to the Northwest.
7. The Owner does not have any commercial leasing experience.

**Applicant/Owner responses to Planning Commission comments (re: PLSU2017-0002) for new submittal:**

1. The Owner and applicant team acknowledge the existing parking and traffic safety issues of the neighborhood. The applicant team is in full support of city analysis of the parking and traffic situation and the potential solutions. The relocation of the residential parking ingress and egress will not put further stress on the intersection of Camino Colegio and Cala Way. The Owner is proposing to cut-in 9 parking spaces along Camino Colegio to eliminate potential sight issues from the intersection. Painted red-stripe curbs, stop signs and crosswalks will improve public safety. Striped parking spaces along Camino Colegio and Cala way will improve parking efficiency of the existing spaces. A new, revised traffic study was prepared at the direction of the city to analyze traffic, parking and the revised residential parking lot entrance.
2. The Owner has committed to relocating the commercial trash enclosure to a minimum of 60’ from the adjacent neighboring property lines. A combined enclosure is not recommended due to the location of the residential enclosure and the need to haul commercial trash through the residential part of the complex.
3. The Owner is committed to providing additional height to the fence/wall through the addition of lattice or other similar partially open screening atop the 6’ high CMU block wall. Screening trees are also proposed along this property line to provide additional privacy.
4. The general consensus of the Owner, design team, planners and commissioners is that the proposed project is the preferred use for the site.
5. The Owner is in agreement and is proud to present this project to the City of Rohnert Park.
6. The Planning Commission provided the design team and previous applicant with direction and comments regarding issues with the previous design. The Owner and design team re-designed and re-oriented the project to wholly address the comments from the previous submittal. None of the additional comments from Chairperson Haydon were mentioned at the original hearing. The staggering cost of construction for a subterranean garage would render the proposed development unfeasible, as are the comments to completely revise the project.
7. The Owner is a long-time business Owner and member of the Rohnert Park community, and is committed to leasing the commercial and office spaces to responsible tenants. Owner has significant and current experience in leasing/operating/maintaining residential multifamily real estate units. Owner also has extensive experience in working with professional commercial leasing agents and will engage such professionals to ensure that the commercial spaces are leased in a timely manner to suitable tenants.

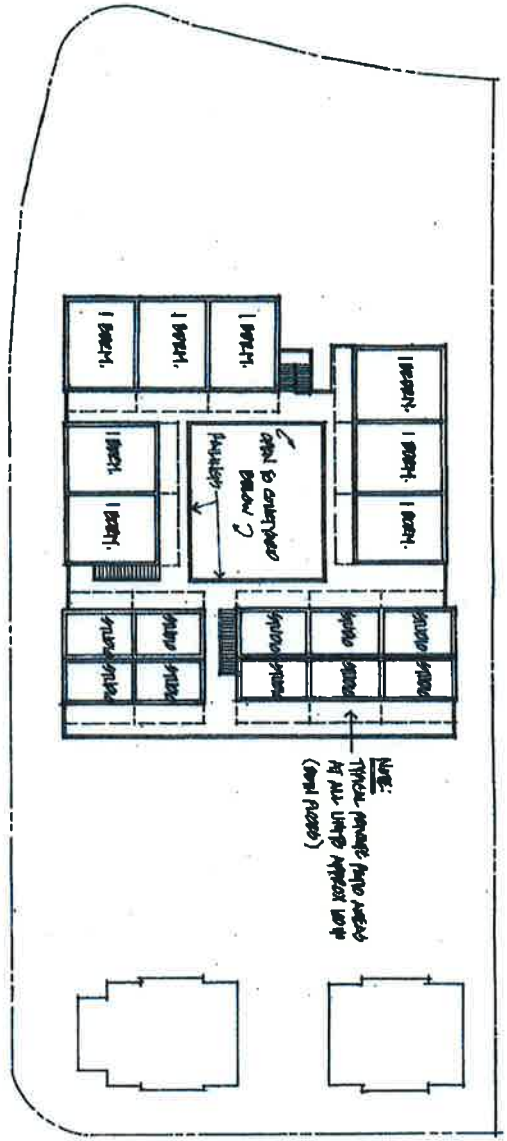
**Conclusion:**

Owner hereby submits that the Planning Commission's denial was in error and an abuse of its discretion. The proposed mixed use is permitted under the C/N zoning applicable to the site. As noted above, the Conditional Use Permit is in the interest of the public welfare and good for the community. In particular, Commissioners Adams and Borba commended the Owner for addressing the dire need of efficiency units for the neighborhood and community. The project will provide housing for people who cannot afford the high cost of single family homes and will address the underserved population of renters who need smaller units and cannot find room in existing complexes. Owner has addressed public health and safety issues, hired traffic studies to minimize traffic impact, relocated trash enclosures, and made certain that parking would be more than adequate to meet the needs of the project. Owner has further demonstrated above and in the attachments herewith that the Site Plan & Architectural Design were carefully and thoroughly prepared to make the project aesthetically pleasing, attractive with quality build/materials and landscaping.

The staff report makes it clear that the project is compliant with all requirements necessary for approval and furthermore that Owner considered the prior concerns of the neighbors and the Planning Commission in its re-design. The Owner spent several months with its design team and city staff to prepare a project that was sensitive to the concerns of the community. Commissioners Adams and Borba argued for approval of the project because the Owner met all the Planning Commission comments and objections from the November 2016 hearing. The commissioners stated that it would be unfair to the Owner and send the wrong message to others if the commission requires certain changes, the Owner makes those changes at the Owner's expense, and resubmits a revised design addressing all previous comments, only to receive additional changes from the Planning Commission. The unfairness of the changing requirements and requiring substantial re-design by the Planning Commissioners (Guidice, Blanquie and Haydon) indicate an additional abuse of discretion. Owner is a member of the Rohnert Park community and has a right to fair treatment under clear direction. Owner's proposed project will provide much needed housing stock and commercial space with an attractive and well-thought design.

Owner and design team kindly request review and consideration of this appeal.



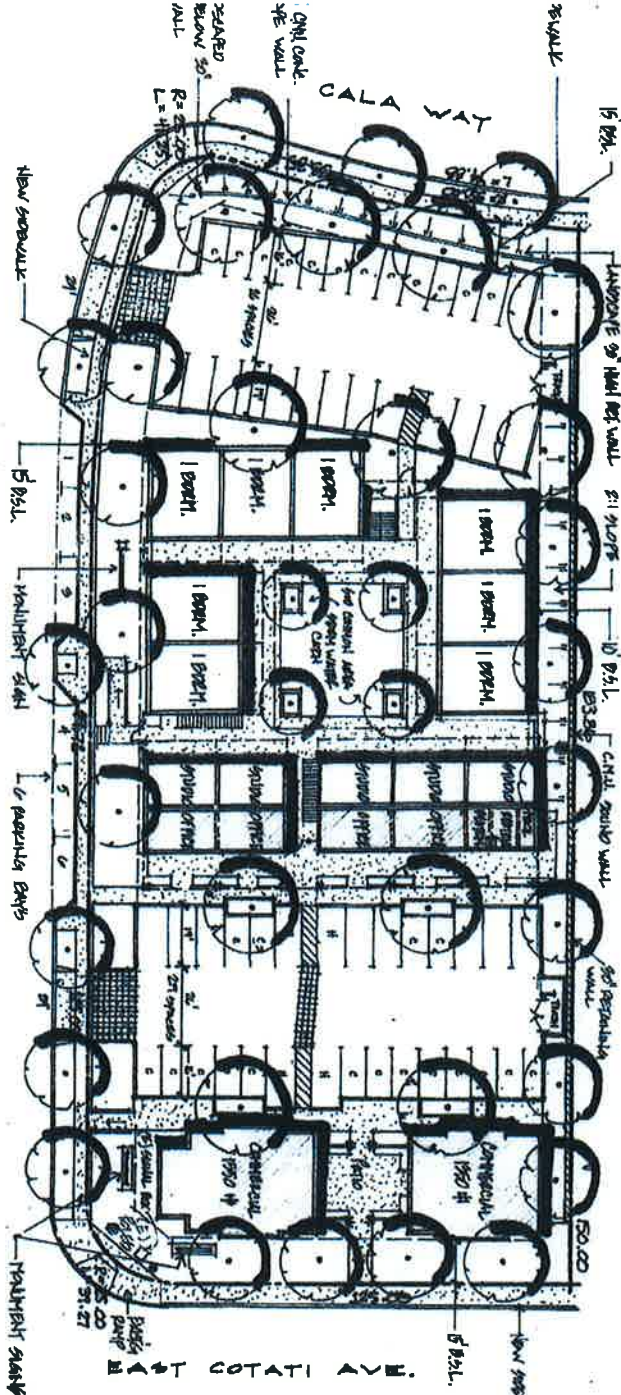


# UPPER FLOOR

SCALE 1"=20'-0"

## LEGEND:

APPROX. COMMERCIAL  
RESIDENTIAL  
APPROX. 11550 SF  
(SEE ARCHITECT'S PLAN)



# SITE DEVELOPMENT PLAN - LOWER FLOOR

SCALE 1"=20'-0"

CAMINO COLEGIO AVE.

EAST COTATI AVE.

## SITE DEVELOPMENT

- 16 10000 SQ. FT. APPROX. 660 SF
- 15 10000 SQ. FT. APPROX. 580 SF
- OFFICE SPACE 11550 SF
- COMMERCIAL SPACE 2,700 SF
- ON SITE PARKING SPACES 55
- STREET PARKING SPACES 6
- 24 CARPORT PARKING SPACES

SHEET NO. 3	DESIGN FOR <b>RED HILL ADVISORS</b> CAMINO COLEGIO MIXED USE ROHNERT PARK, CALIFORNIA	<b>FARRELL-FABER</b> ASSOCIATES INC. ARCHITECTS • PLANNERS	1022 Mendocino Avenue Santa Rosa, CA 95401 TEL: 707.570.3011 www.farrellfaber.com	DATE 9/16
				REVISIONS 1. 10/16

Site plan - previous Submission (11/16)





1022 Mendocino Avenue  
Santa Rosa, California 95401.4330  
TEL: 707.579.3811  
WEB: [www.farrellfaber.com](http://www.farrellfaber.com)

**March 30, 2017**

**City of Rohnert Park  
Planning & Economic Development Department  
100 Santa Rosa Avenue, Room 3  
Santa Rosa, California 95404**

**Re: Project Description**

**For: Vintage Pointe III  
C/O Steven Scarpa  
1445 East Cotati Avenue  
And 1209 Cala Way  
Rohnert Park, California**

**Dear Planner:**

**Vintage Pointe III is a mixed-use commercial project located at East Cotati Avenue, Camino Colegio and Cala Way, nearby the SMART Train Cotati Station and Sonoma State University. The project aims to bring urban mixed-use living to Rohnert Park, through providing a walkable, convenient place for the residents of Vintage Pointe III and the surrounding neighborhood to meet, socialize and spend time. The proposed development project promotes superior design by demonstrating thoughtful development of the site, and design of the mixed-use project. The development includes commercial spaces, office spaces, studios and one bedroom units.**

The commercial spaces at "Smart Corner" are targeting a lifestyle coffee house designed with comfortable indoor and outdoor spaces to meet friends, work and relax. Additional targeted retail and light office tenants may possibly include: secure receiving and holding of e-commerce deliveries, a work environment for small businesses, and/or pop-up retailers. Two commercial spaces along East Cotati Avenue anchor the project and provide the commercial frontage along the East Cotati corridor. Additional office spaces face the commercial parking lot and are incorporated with the residential buildings, transitioning to the dwelling units. The community commercial spaces total 2,715 square feet, and the office spaces total 1,485 square feet.

The residential portion of the project includes sixteen (16) 1-bedroom units and fifteen (15) studio units for a total of thirty-one (31) apartment units over five (5) connected buildings. The apartments are connected with integrated common exterior walkways and private exterior spaces. The units are designed to have high ceilings and large openings oriented towards the private patio areas. The 1-bedroom units are approximately 655 square feet each, and the studio units are approximately 375 square feet each. The residential buildings are oriented towards the Northern portion of the site, near the existing residential developments to the North.

The clean, modern architectural style is softened by plantings throughout the site and at the private patio terraces. The exterior siding consists of hard board panel siding, 8" v-groove horizontal hardboard siding, and 4" square-patterned concrete CMU blocks. Painted metal awnings accent the structures and provide valuable shade during the summer months. Well-defined exterior spaces act as exterior rooms and as an extension of the interior living spaces. Common public spaces include a park-like setting at the interior corner of the residential buildings, and a large patio area between the commercial buildings for outdoor entertaining.

A total of 52 parking spaces (28 compact) are provided on site, and an additional 9 spaces are provided along Camino Colegio. The parking is split for the commercial and residential uses. Commercial parking spaces will be occupied by patrons during regular business hours, and be reserved for residential guest spaces during the evening hours. Residential parking spaces will be reserved for each unit, and monitored by an on-site manager residing in one of the units.

The design and development team is proud to present this project to The City of Rohnert Park. We are available to answer any questions regarding the materials submitted for this application.

Regards,

A handwritten signature in blue ink, appearing to read "Matt Taylor", with a stylized flourish at the end.

**Matt Taylor**  
**Project Manager**  
**Farrell-Faber & Associates, Inc.**





hybridCore<sup>™</sup> HOMES

STEVEN SCARPA

VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

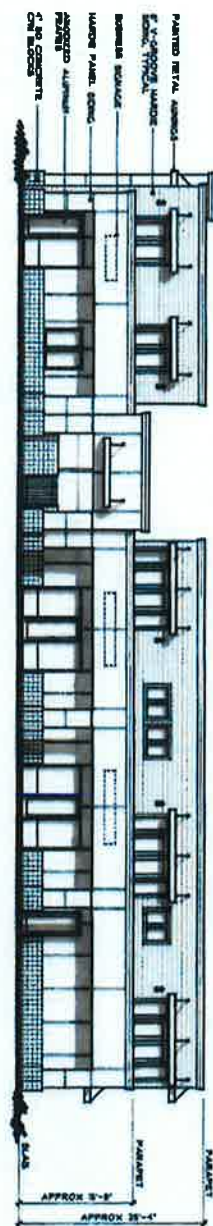




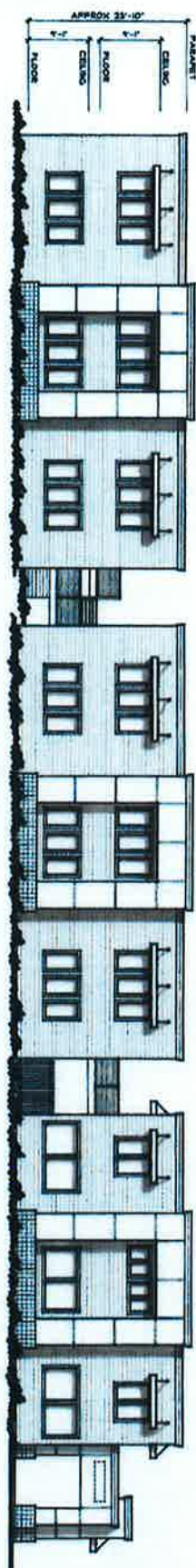
hybridCore<sup>™</sup>  
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## STEVEN SCARPA

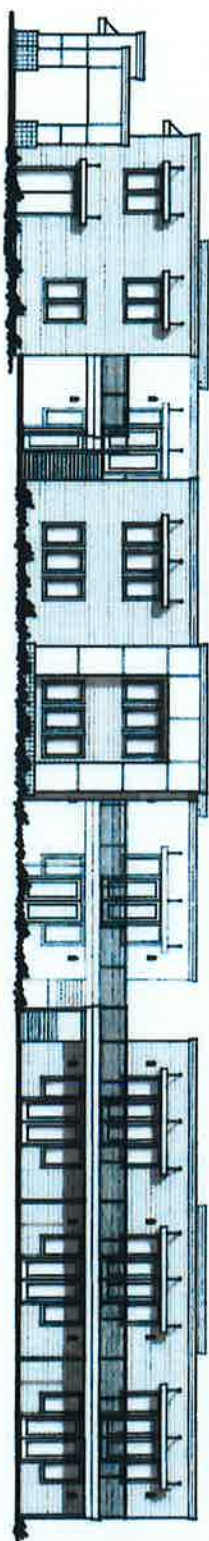
VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA



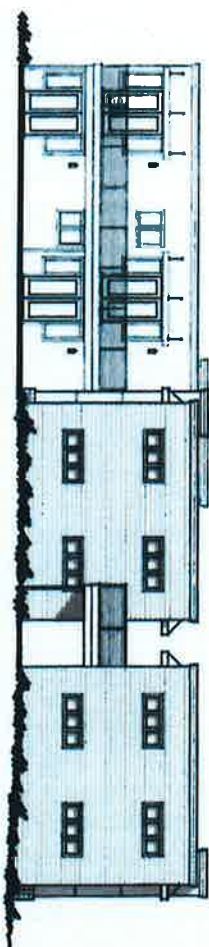
**RESIDENTIAL/OFFICE SOUTH ELEVATION (FROM PARKING LOT)**



RESIDENTIAL/OFFICE WEST ELEVATION (FROM CAMINO COLEGIO)

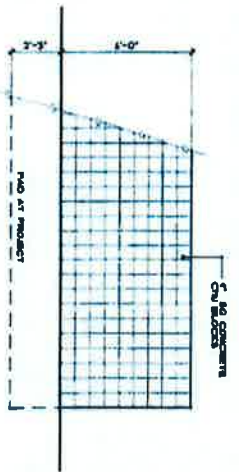


RESIDENTIAL/OFFICE EAST ELEVATION

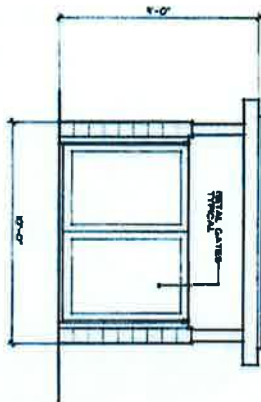


RESIDENTIAL/OFFICE NORTH ELEVATION (FROM CALA WAY)

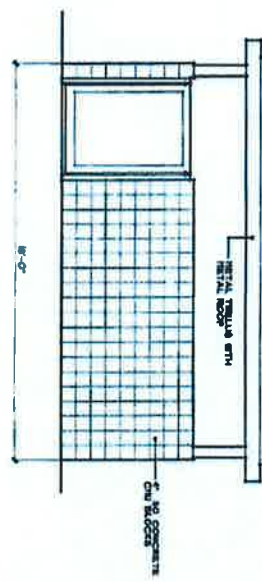




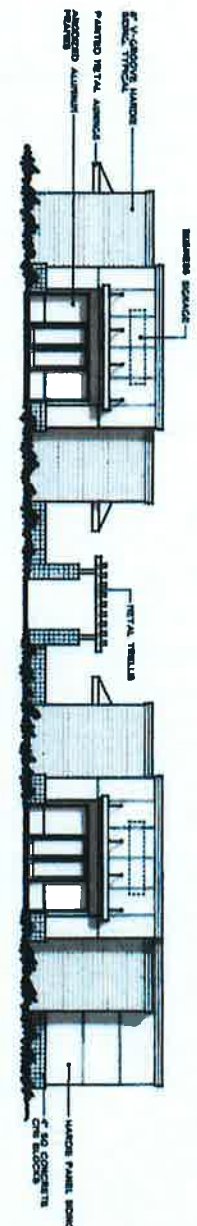
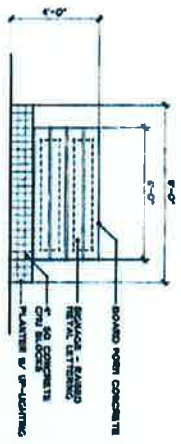
EAST PROPERTY LINE WALL  
SCALE: 1/8" = 1'-0"



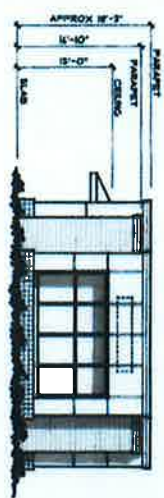
TRASH ENCLOSURES  
SCALE: 1/8" = 1'-0"



MONUMENT SIGNS  
SCALE: 1/8" = 1'-0"



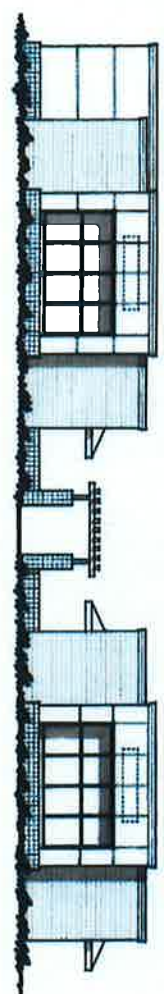
COMMERCIAL NORTH ELEVATION (FROM PARKING LOT)  
SCALE: 1/8" = 1'-0"



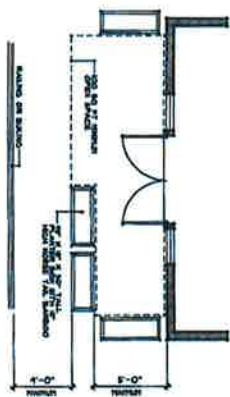
COMMERCIAL WEST ELEVATION (FROM CAMINO COLEGIO)  
SCALE: 1/8" = 1'-0"



COMMERCIAL EAST ELEVATION  
SCALE: 1/8" = 1'-0"

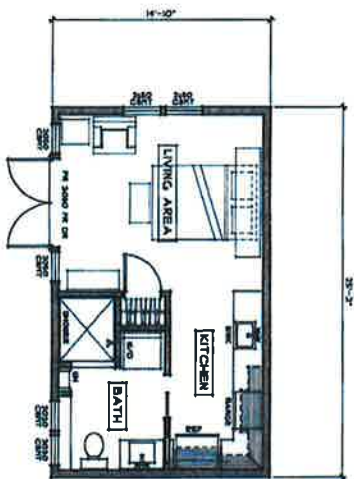


COMMERCIAL SOUTH ELEVATION (FROM EAST COTATI AVE)  
SCALE: 1/8" = 1'-0"



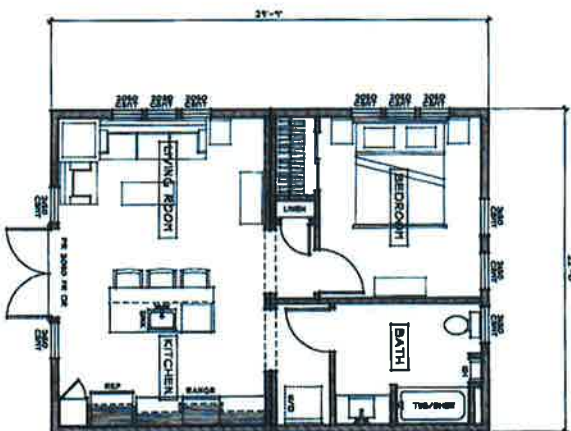
PLANTER LOCATION MAY VARY PER UNIT  
TYPICAL PRIVATE PATIO DETAIL

SCALE: 1/4" = 1'-0"



STUDIO FLOOR PLAN

SCALE: 1/4" = 1'-0"  
APPROX 375 SQ. FT.



ONE BEDROOM FLOOR PLAN

SCALE: 1/4" = 1'-0"  
APPROX 455 SQ. FT.

SHEET NO.

1003-HCH

DESIGN FOR

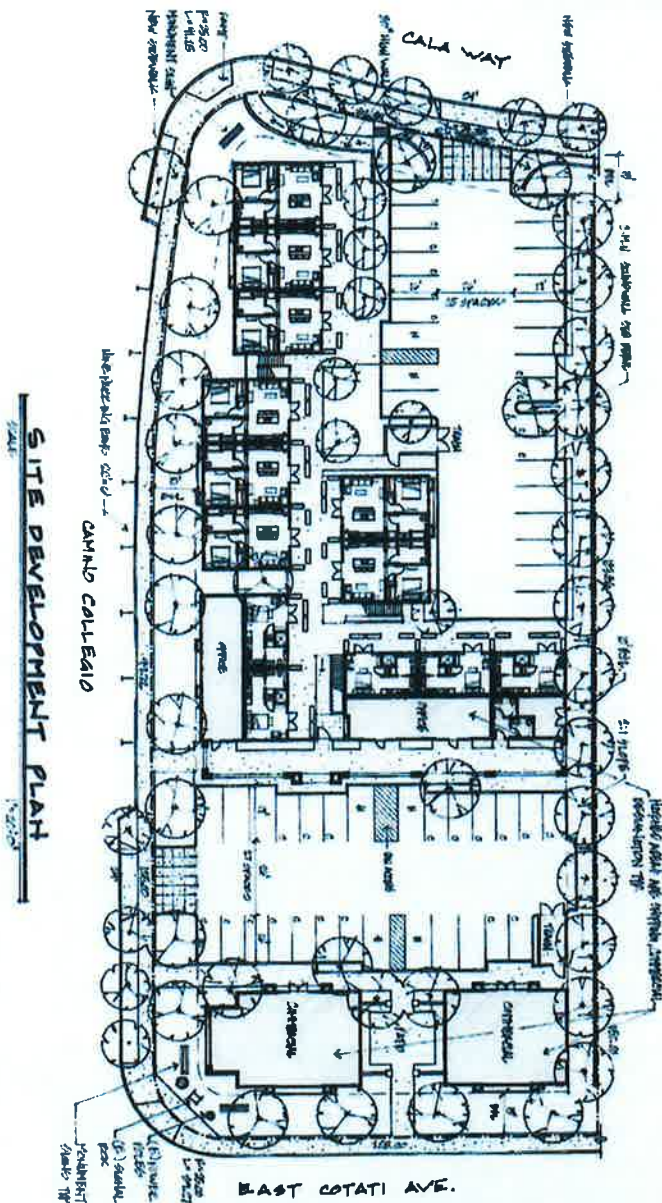
STEVEN SCARPA  
VINTAGE POINTE III MIXED-USE PROJECT  
ROHNERT PARK, CALIFORNIA

**FARRELL-FABER**  
R ASSOCIATES INC.  
ARCHITECTURE • PLANNING

1022 Mendocino Avenue  
Berkeley, CA 94601  
TEL: 787.570.3011  
www.farrellfaber.com

DATE: 2/17  
NOTES:  
1. SEE SHEET 1003-HCH FOR UNIT DETAILS.  
2. SEE SHEET 1003-HCH FOR UNIT DETAILS.

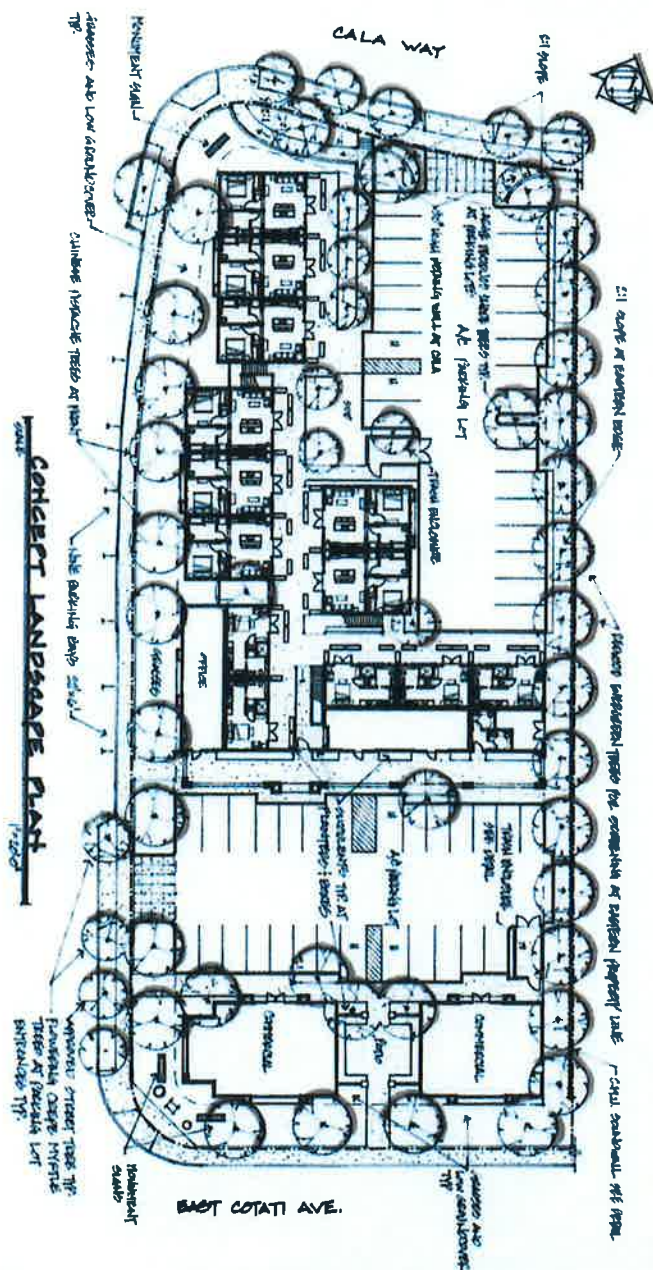




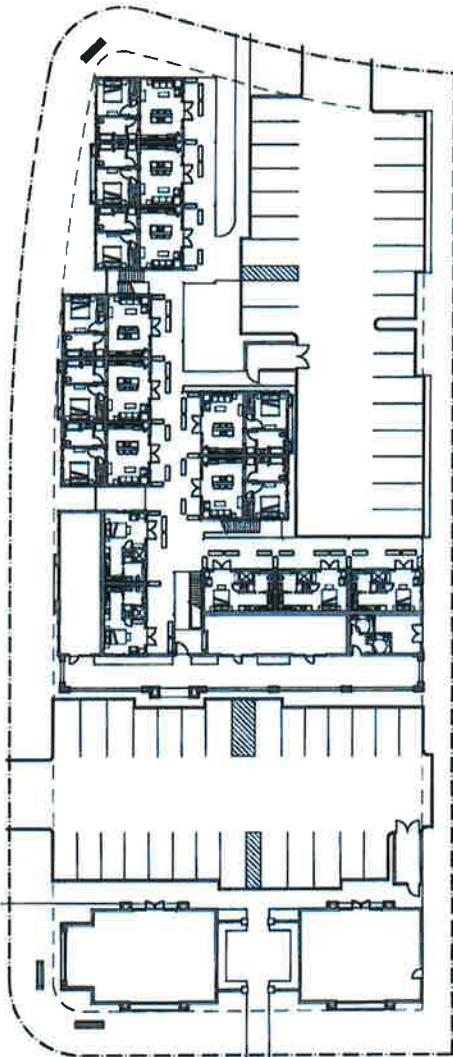
# **SITE DEVELOPMENT PLAN**

**SITE TABULATION:**

16 1-BEDROOM UNITS:	APPROX. 455 SQ. FT.
15 STUDIO UNITS:	APPROX. 315 SQ. FT.
OFFICE SPACE:	APPROX. 148 SQ. FT.
COMMERCIAL SPACE:	APPROX. 215 SQ. FT.
ON-SITE PARKING SPACES:	52
STREET PARKING SPACES:	9
28 COMPACT PARKING SPACES:	



LOWER FLOOR PLAN



UPPER FLOOR PLAN

